

SURVEYOR'S REAL PROPERTY REPORT - PART 1

PLAN OF SURVEY AND TOPOGRAPHY OF
**LOT 111
AND PART OF LOT 112
REGISTERED PLAN 641
TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON

0 5 10 15 20 M

SCALE 1 : 200

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor

2016

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SURVEYOR'S REAL PROPERTY REPORT - PART 2

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY

None

NOTABLES

Note the Location of the Fences around the Subject Property.
Note the Location of the Shared Asphalt Driveway along the
Northeasterly Limit of the Subject Property
Note the Location of the Overhead Wire along the
Northwesterly limit of the Subject Property
Note the Location of the Utility Pole in the vicinity of the
Northerly corner of the Subject Property

LEGEND

■	Survey Monument Found	N	North
□	Survey Monument Set	S	South
IR	Iron Bar	E	East
RIB	Round Iron Bar	W	West
IP	Iron Pipe		
(OU)	Origin Unknown		
P1	Registered Plan 641		
P2	Plan of Survey by McConnell - Jackson O.L.S., dated August 10, 1965		
P3	Plan by Sewell & Sewell, O.L.S., dated November 22, 1967		
P4	Plan by H. D. Sewell, O.L.S., dated August 13, 1956		
D1	Instrument No. 490305		
D2	Instrument No. 780689		
PROD	Production Tie		
DT	Direct Tie		
FF	Finished Floor Elevation		
INV	Invert Elevation		
EG	Established Grade Elevation		
TW	Top of Wall Elevation		
TC	Top of Curb Elevation		
BF	Board Fence		
CLF	Chain Link Fence		
DEC.	Deciduous Tree		
CON.	Coniferous Tree		
HYD.	Fire Hydrant		
LP	Lamp Post		
UP	Utility Pole		
CB	Catch Basin		
MH	Maintenance Hole		
WV	Water Valve		
TOS	Top of Slope		
CSP	Corrugated Steel Pipe		

BENCHMARK

Elevations are Referred to the Town of Oakville Benchmark No. 36,
having an Elevation of 94.3691m.

NOTE

This REPORT can be updated by this office, however NO ADDITIONAL
PRINTS of this ORIGINAL REPORT will be issued, subsequent to the
DATE OF CERTIFICATION.
All building ties are perpendicular to property lines unless otherwise noted.

This REPORT was prepared for Min Yan and the undersigned
accepts no responsibility for use by other parties.

NOTE

Distances shown on this plan are in metres and can be converted to
feet by dividing by 0.3048.

BEARING NOTE

Bearings are Astronomic, and are Referred to the Southeasterly Limit
of Waverly Avenue as shown on Reg'd Plan 641, having a Bearing
of N 38° 00' 00" E.

SURVEYOR'S CERTIFICATE

I certify that:
1: This survey and plan are correct and in Accordance with the Surveys
Act, the Surveyors Act, and the Regulations made under them.
2: The survey was completed on the 11th day of July, 2016.

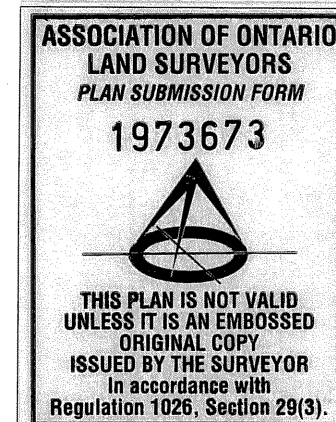
July 12, 2016

Date

Ashraf Rizk, O.L.S.

Party Chief:	Drawn By:	Checked By:	Project:
J.W.	G.S.	A.R.	16-102

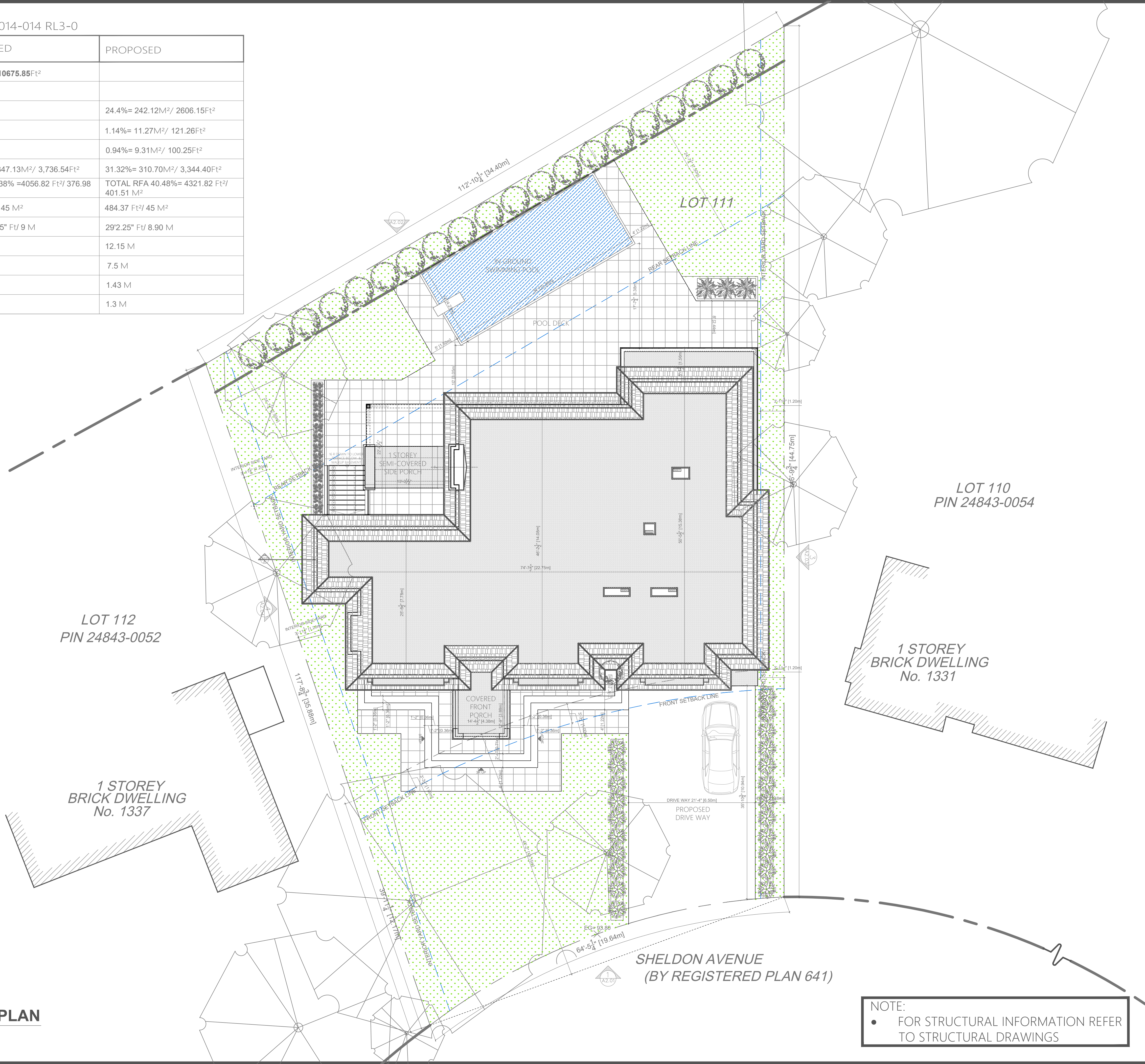
J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
office@jhgsurveying.ca
Phone:(905) 338-8210 Fax:(905) 338-9446



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

1333 SHELDON AVEN BY-LAW 2014-014 RL3-0

ZONING BY-LAW	ALLOWED	PROPOSED
6.3 LOT AREA	991.8M ² / 10675.85Ft ²	
6.4.2 LOT COVERAGE		
NEW DWELLING COVERAGE		24.4%= 242.12M ² / 2606.15Ft ²
FRONT PORCH COVERAGE		1.14%= 11.27M ² / 121.26Ft ²
SIDE PORCH COVERAGE		0.94%= 9.31M ² / 100.25Ft ²
TOTAL LOT COVERAGE	MAX 35% 347.13M ² / 3,736.54Ft ²	31.32%= 310.70M ² / 3,344.40Ft ²
6.4.1 RESIDENTIAL FLOOR AREA	MAX RFA 38% =4056.82 Ft ² / 376.98 M ²	TOTAL RFA 40.48%= 4321.82 Ft ² / 401.51 M ²
5.8.6 GARAGE AREA	484.37 Ft ² / 45 M ²	484.37 Ft ² / 45 M ²
6.4.6 BUILDING HEIGHT	MAX 29'6.25" Ft/ 9 M	29'2.25" Ft/ 8.90 M
6.4.3 MIN & MAX FRONT YARD	13.15 M	12.15 M
6.3 REAR YARD	7.5 M	7.5 M
6.3 INTERIOR SIDE YARD W. ELEV.	1.2 M	1.43 M
6.3 INTERIOR SIDE YARD E. ELEV.	1.2 M	1.3 M



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- STRUCTURAL ENGINEER TO INSPECT RE-BAR SET UP PRIOR TO CONCRETE POURING. STRUCTURAL ENGINEER TO CERTIFY INSPECTED CONCRETE WALLS, FOOTINGS AND SLABS ONLY. GENERAL CONTRACTOR TO MAKE REQUIRED ARRANGEMENTS.
- TAGS NUMBERS SHOWN ON DRAWING TO BE READ IN CONJUNCTION WITH DRAWING NO. A6.01 FINISHES AND CONSTRUCTION SPECIFICATIONS.
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1	MAR 10, 2024	ISSUED FOR COMMITTEE OF ADJUSTMENT.	GK
REV.	DATE	PURPOSE OF ISSUE / REVISIONS DESCRIPTION	AUTH.

DRAWING PURPOSE OF ISSUE / REVISIONS DESCRIPTION

ARCHITECT:

ARCHITECTURE + DESIGN INC.

OAKVILLE, ONTARIO
PHONE: (416) 557-9339
gada.k@ag-arch.com

PROJECT:

**DETACHED SINGLE DWELLING AT :
1333 SHELDON AVE.
OAKVILLE, ON.**

DRAWING TITLE:

**SITE SETTING
OUT PLAN**

PREPARED: GK	CHECKED: AR	AUTHORIZED: GK
SCALE: 1/8" = 1'-0"	SHEET SIZE: 36" x 24"	DATE:
DRAWING NO.: A0.03	PROJECT NO.: AG-AR23-1333	REV.:
		1

SEAL:

NOTE:

- FOR STRUCTURAL INFORMATION REFER TO STRUCTURAL DRAWINGS

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O.B.C
ARTICLE
9.10.14.4.(2)

WEST ELEVATION

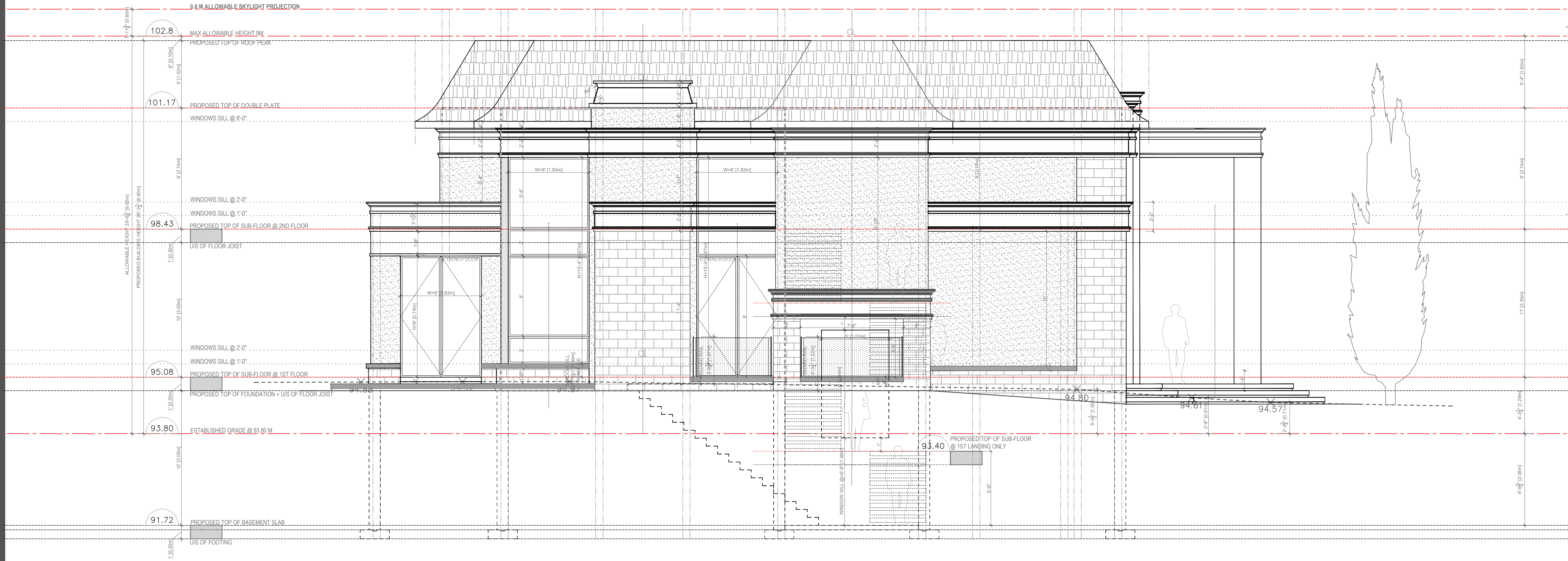
OPENING IN EXPOSING BUILDING FACE

MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALLS
O.B.C. ARTICLE 9.10.14.4.(2)

AREA OF EXPOSED BUILDING FACE	000 M ² 0000 Ft ²
LIMITING DISTANCE #1 AREA OF EXPOSED BUILDING FACE TABLE 9.10.15.4.(2) (WITH AREA=17.8M ² , LD=5.64M), ALLOWABLE PERCENTAGE OF GLAZED OPENINGS=67% ALLOWABLE GLAZED OPENINGS (WALL AREA 1)	LD=5.64M & AREA=17.8M ² ALLOWABLE=17.8 @67%= 6.86M ² PROPOSED=3.7M ²
LIMITING DISTANCE #2 AREA OF EXPOSED BUILDING FACE TABLE 9.10.15.4.(2) (WITH AREA=41.1M ² , LD=10.36M), NO LIMIT TO OPENING FOR GLAZED OPENINGS AREA AT (WALL AREA 2)	LD=10.36M & AREA=41.1M ² ALLOWABLE=NO LIMIT PROPOSED=5M ²
LIMITING DISTANCE #3 AREA OF EXPOSED BUILDING FACE TABLE (9.10.15.4 (WITH AREA=14SQ.M., LD=7.1 M), ALLOWABLE PERCENTAGE OF GLAZED OPENINGS=100% ALLOWABLE GLAZED OPENINGS (WALL AREA 3)	LD=20.71M & AREA=15M ² ALLOWABLE=NO LIMIT PROPOSED=3.7M ²
TOTAL PROPOSED AGGREGATE AREA OF GLAZED OPENINGS ABOVE GRADE	18.96 SQ.M. 204.1 SQ.FT.

ROOF TRUSS DESIGN GENERAL NOTES

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- ALL TRUSS HUNGERS, UPLIFT ANCHORS AND SPECIAL FASTNERS TO BE SPECIFIED BY TRUSS DESIGNER INCLUDING STAMPED HANGERS WHEN REQUIRED FOR APPROVALS.



FINISHING LEGEND:

- 12"x24" LIMESTONE VENEER (4.5" THICK) COMPLETED WITH PROPER WEEP HOLES AT 24" oc AT BASE (by others)
- PIGMENTED 2" STUCCO LIGHT GRAY COLOR
- PIGMENTED 2" STUCCO CHARCOAL COLOR
- PAINTED STEEL POST (by others)

- 4" PRECAST CONCRETE SILL C/W 2" PROJECTION W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
- 4" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
- 2" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
- ALUMINUM CLADDING CHARCOAL COLOR
- PAINTED STEEL POST
- 4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION

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- 1 NATURAL STONE VENEER
- 2 EXTERIOR WALL STUCCO FINISH
- 4 WALLS WITH EXPOSING BUILDING FACE WITHIN LIMITING DISTANCE OF 1.2M (3'-11")
- 5 EXCAVATION & BACKFILL
- 6 DAMPPROOFING AND DRAINAGE
- 7 FOOTINGS
- 9 FOUNDATION WALLS
- 13 FLOORS
- 14 TWO STORY HEIGHT SPACES
- 16 INTERIOR STUD PARTITIONS
- 17 GARAGE WALLS AND CEILING
- 18 ASPHALT SHINGLES ROOFING
- 19 2% SLOPED ROOFING
- 21 EAVES TROUGH, FACIA, DOWNSPOUTS
- 22 CONCRETE FLOOR SLABS ON GRADE
- 24 INSULATION & WEATHER PROOFING
- 26 HANDRAILS AND GUARDS
- 27 STAIRS
- 29 DOORS / WINDOWS / SKYLIGHTS
- 30 ACCESS TO ATTIC
- 31 WINDOW WELL
- 37 NATURAL VENTILATION

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REV.	DATE	PURPOSE OF ISSUE / REVISIONS DESCRIPTION	AUTH.
1	MAR 10, 2024	ISSUED FOR COMMITTEE OF ADJUSTMENT.	GK

DRAWING PURPOSE OF ISSUE / REVISIONS DESCRIPTION

ARCHITECT:



PROJECT:

DETACHED SINGLE DWELLING AT :
1333 SHELDON AVE.
OAKVILLE, ON.

DRAWING TITLE:

PROPOSED
WEST ELEVATION

PREPARED: GK	CHECKED: AR	AUTHORIZED: GK
SCALE: 1/4" = 1'-0"	SHEET SIZE: 36" x 24"	DATE: MARCH10, 2024 PROJECT NO.: AG-AR-23-1333 REV.
DRAWING NO.: A2.04		1

SEAL:

1
A2.04
SCALE 1/4" = 1'-0"

NOTE:

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9.10.14.4.(1)

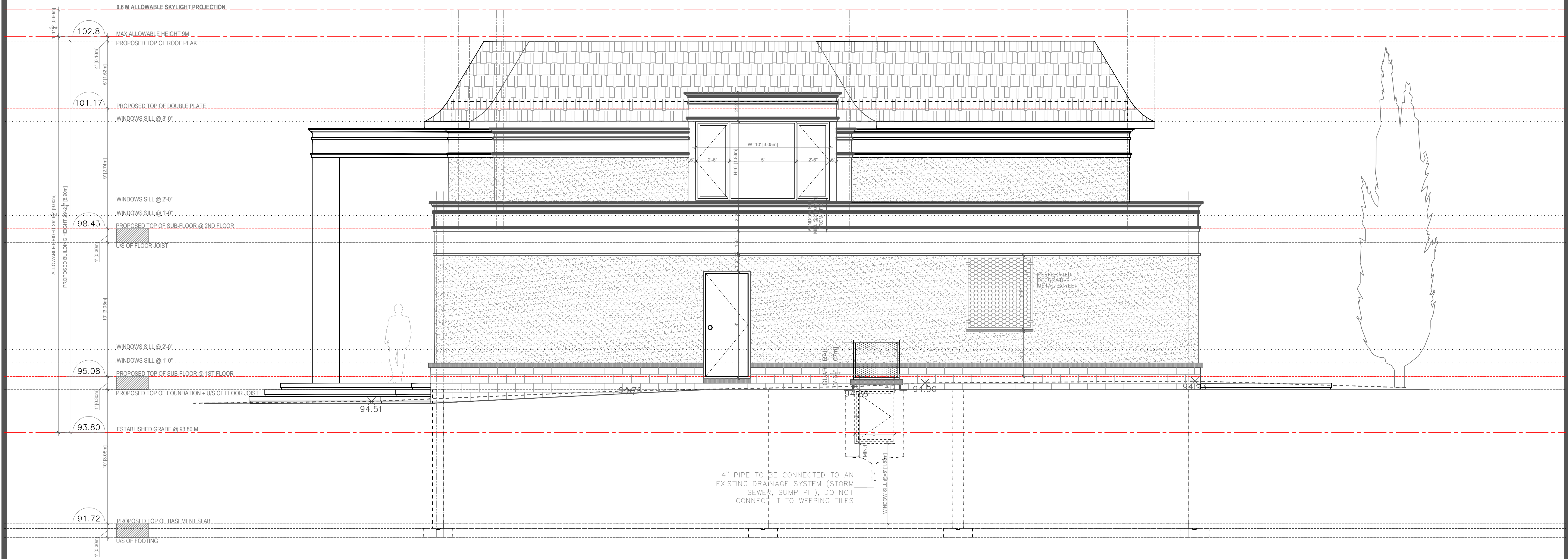
EAST ELEVATION

OPENING IN EXPOSING BUILDING FACE
MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALLS
O.B.C. ARTICLE 9.10.14.4.(1)

AREA OF EXPOED BUILDING FACE	107.9 M ² 1161.25 Ft ²
LIMITING DISTANCE AREA OF EXPOSED BUILDING FACE TABLE (9.10.15.4 (WITH AREA=107.9 M ² ,LD=1.25M), ALLOWABLE PERCENTAGE OF GLAZED OPENINGS=7% ALLOWABLE GLAZED OPENINGS	1.25 M 107.9 M ² 107.9 @7%= 7.6 M ²
TOTAL PROPOSED AGGREGATE AREA OF GLAZED OPENINGS ABOVE GRADE	5.6 M ² 60 Ft ²

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FINISHING LEGEND:

	12"x24" LIMESTONE VENEER (4.5" THICK) COMPLETED WITH PROPER WEEP HOLES AT 24" oc AT BASE (by others)
	PIGMENTED 2" STUCCO LIGHT GRAY COLOR
	PIGMENTED 2" STUCCO CHARCOAL COLOR
	PAINTED STEEL POST (by others)

(A)	4" PRECAST CONCRETE SILL C/W 2" PROJECTION W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(B)	4" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(C)	2" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(D)	ALUMINUM CLADDING CHARCOAL COLOR
(E)	PAINTED STEEL POST
(F)	4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION

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(1) NATURAL STONE VENEER	(5) EXCAVATION & BACKFILL	(9) FOUNDATION WALLS	(17) GARAGE WALLS AND CEILING	(22) CONCRETE FLOOR SLABS ON GRADE	(29) DOORS / WINDOWS / SKYLIGHTS	(37) NATURAL VENTILATION
(2) EXTERIOR WALL STUCCO FINISH	(6) DAMPPROOFING AND DRAINAGE	(13) FLOORS	(18) ASPHALT SHINGLES ROOFING	(24) INSULATION & WEATHER PROOFING	(29) DOORS / WINDOWS / SKYLIGHTS	
(4) WALLS WITH EXPOSING BUILDING FACE WITHIN LIMITING DISTANCE OF 12M (3-11)	(7) FOOTINGS	(14) TWO STORY HEIGHT SPACES	(19) 2% SLOPED ROOFING	(26) HANDRAILS AND GUARDS	(30) ACCESS TO ATTIC	
		(16) INTERIOR STUD PARTITIONS	(21) EAVES TROUGH, FACIA, DOWNSPOUTS	(27) STAIRS	(31) WINDOW WELL	

1 PROPOSED EAST ELEVATION

A2.03 SCALE 1/4" = 1'-0"

PROJECT:

DETACHED SINGLE
DWELLING AT :
1333 SHELDON AVE.
OAKVILLE, ON.

DRAWING TITLE:

PROPOSED
EAST ELEVATION

PREPARED: GK	CHECKED: AR	AUTHORIZED: GK
SCALE: 1/4" = 1'-0"	SHEET SIZE: 36" x 24"	DATE: MARCH10, 2024 PROJECT NO.: AG-AR-23-1333 REV.
DRAWING NO.: A2.03		1

SEAL:

NOTE:

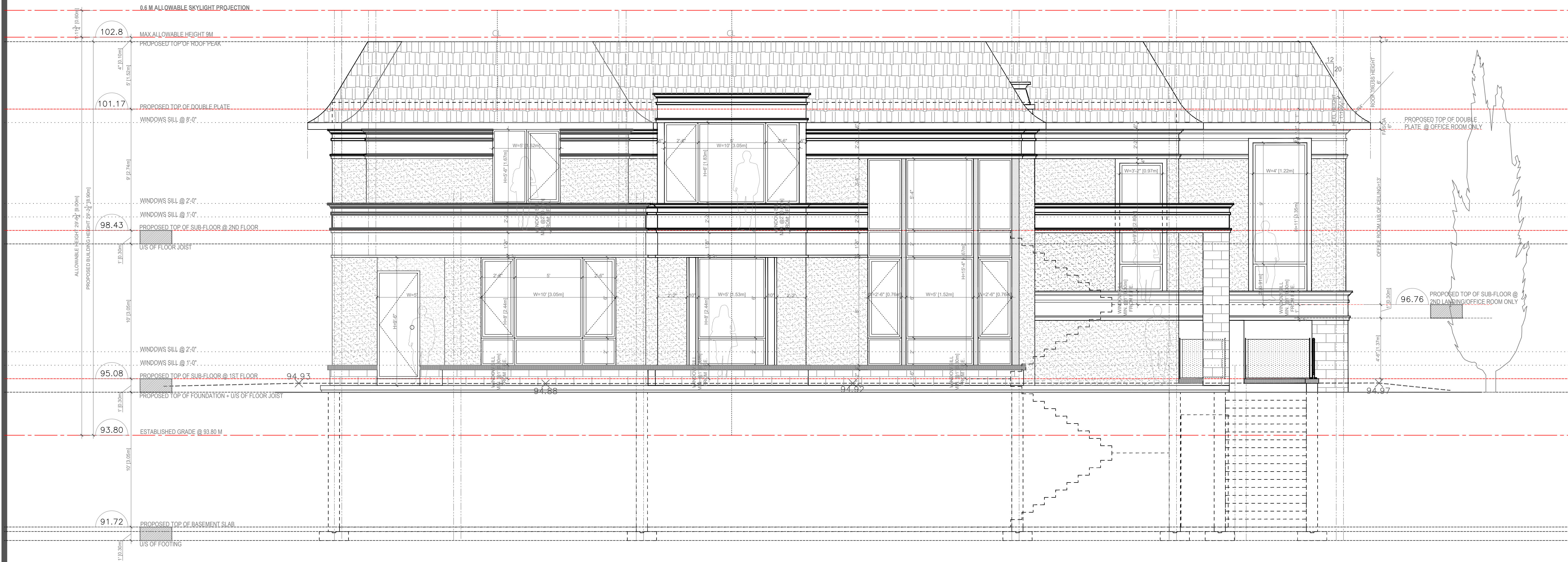
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- PIGMENTED 2" STUCCO LIGHT GRAY COLOR
- PIGMENTED 2" STUCCO CHARCOAL COLOR
- PAINTED STEEL POST (by others)

- A 4" PRECAST CONCRETE SILL C/W 2" PROJECTION W/D RIP EDGE, 2% SLOP AWAY FROM HOUSE
- B 4" STUCCO SILL PROJECTED 2"W/D RIP EDGE, 2% SLOP AWAY FROM HOUSE
- C 2" STUCCO SILL PROJECTED 2"W/D RIP EDGE, 2% SLOP AWAY FROM HOUSE
- D ALUMINUM CLADDING CHARCOAL COLOR
- E PAINTED STEEL POST
- F 4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION

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- 4 EXCAVATION & BACKFILL
- 5 DAMPPROOFING AND DRAINAGE
- 6 FOOTINGS
- 7 FOUNDATION WALLS
- 8 FLOORS
- 9 TWO STORY HEIGHT SPACES
- 10 INTERIOR STUD PARTITIONS
- 11 GARAGE WALLS AND CEILING
- 12 ASPHALT SHINGLES ROOFING
- 13 2% SLOPED ROOFING
- 14 EAVES TROUGH, FACIA, DOWNSPOUTS
- 15 CONCRETE FLOOR SLABS ON GRADE
- 16 INSULATION & WEATHER PROOFING
- 17 HANDRAILS AND GUARDS
- 18 DOORS / WINDOWS / SKYLIGHTS
- 19 DOORS / WINDOWS / SKYLIGHTS
- 20 ACCESS TO ATTIC
- 21 WINDOW WELL
- 22 NATURAL VENTILATION

1 PROPOSED REAR ELEVATION
A2.02 SCALE 1/4" = 1'-0"

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TYP. CORNICE TRIM 4" STUCCO COVERED
CROWN MOULD ON CREZON FLAT
STOCK W/2" HIGH X +/- 1-1/4"
DEEP BOTTOM TRIM (TOTAL 12" HIGH)

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6. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION PERTAINING TO THIS APPLICATION.
7. STRUCTURAL ENGINEER TO INSPECT RE-BAR SET UP PRIOR TO CONCRETE POURING. STRUCTURAL ENGINEER TO CERTIFY INSPECTED CONCRETE WALLS, FOOTINGS AND SLABS ONLY. GENERAL CONTRACTOR TO MAKE REQUIRED ARRANGEMENTS.
8. TAGS NUMBERS SHOWN ON DRAWING TO BE READ IN CONJUNCTION WITH DRAWING NO. A6.01 FINISHES AND CONSTRUCTION SPECIFICATIONS.
9. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SEALED AND SIGNED BY THE ARCHITECT.

DRAWING PURPOSE OF ISSUE / REVISIONS DESCRIPTION	
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OAKVILLE, ONTARIO
PHONE: (416)557.9339
gada.k@ag-arch.com

DRAWING TITLE:

PREPARED: GK	CHECKED: AR	AUTHORIZED: GK
SCALE: 1/4" = 1'-0"	SHEET SIZE: 36" x 24"	DATE: MARCH10, 2024
		PROJECT NO.: AG-AR-23-1333
DRAWING NO.:		REV.

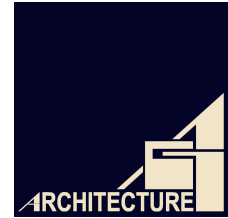
SEAL:

(A)	4" PRECAST CONCRETE SILL C/W 2" PROJECTION W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(B)	4" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(C)	2" STUCCO SILL PROJECTED 2"W/DRIP EDGE, 2% SLOP AWAY FROM HOUSE
(D)	ALUMINUM CLADDING CHARCOAL COLOR
(E)	PAINTED STEEL POST
(F)	4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION

1 NATURAL STONE VENEER	5 EXCAVATION & BACKFILL	9 FOUNDATION WALLS	17 GARAGE WALLS AND CEILING	22 CONCRETE FLOOR SLABS ON GRADE	29 DOORS / WINDOWS / SKYLIGHTS	37 NATURAL VENTILATION
2 EXTERIOR WALL STUCCO FINISH	6 DAMPPROOFING AND DRAINAGE	13 FLOORS	18 ASPHALT SHINGLES ROOFING	24 INSULATION & WEATHER PROOFING	29 DOORS / WINDOWS / SKYLIGHTS	
4 WALLS WITH EXPOSING BUILDING FACE WITHIN LIMITING DISTANCE OF 12M (3'-11")	7 FOOTINGS	14 TWO STORY HEIGHT SPACES	19 2% SLOPED ROOFING	26 HANDRAILS AND GUARDS	30 ACCESS TO ATTIC	
		16 INTERIOR STUD PARTITIONS	21 EAVES TROUGH, FACIA, DOWNSPOUTS	27 STAIRS	31 WINDOW WELL	

1 PROPOSED FRONT ELEVATION
A2.01 SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"



1333 Sheldon Ave, Oakville

2024-03-10

Good day,

Please see the following clarification related to Committee of Adjustment Application/ minor variance for project at 1333 Sheldon Ave, Oakville

Drawings provided

A- Architectural:

1. A0.02-RFA & Coverage Calculation
2. A0.03-Site Plan & Landscape plan
3. A1.01-Basement Plan First Floor Plan
4. A1.02-First Floor Plan Roof Plan
5. A1.03-Second Floor Plan Rear elevation
6. A1.04-Roof Plan
7. A2.01-Front Elevation
8. A2.02-Rear Elevation
9. A2.03-East Elevation
10. A2.04-West Elevation

B- Survey Drawing

C 105 Survey Plan

C- Landscape drawing

Refer to Architectural site Plan, it contains all required information for paved areas and green areas, at this stage the owner has not reached stage to hire professional Landscape designer, please let us know should the provided Site Plan addresses the required information for Landscape

In addition to the above, please note the following regarding the attached application form:

1. Application form, item 10 Variance Request, not sure which one is applicable Section 45 (1) or 45 (2) of the planning Act?
(This Application for minor variance ONLY to request additional RFA), please advise.
2. Application form, item 7a. no information available regarding the existing building height, the existing building/ Structure is 1 Storey Brick Dwelling totally to be demolished.
3. The owner request additional RFA, 264 Ft²/24.5M² to accommodate 3RD bedroom & washroom @2ND floor. Due to the irregular Lot shape that force limitation on the proposed RFA, allowable RFA will accommodate only 3 bedrooms at second floor (Primary Bedroom + 2 rooms, the family needs 3 bedroom at 2ND floor in addition to Primary Bedroom, total 4 bedrooms at second floor). The proposed design comply with all other applicable zoning by law, NO increase in the proposed coverage (allowable 35% proposed 31.5%) and NO increase in the proposed building height (allowable 9M proposed 8.0M). Please see Architectural drawing (A0.02-RFA & Coverage Calculation)

Please let us know should further information/ clarification required
Thank you and best regards

Gada Kassab

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