



## THE CORPORATION OF THE TOWN OF OAKVILLE

### BY-LAW NUMBER 2014-060

A by-law to amend the Town of Oakville Zoning By-law 1984-63, as amended, and the Town of Oakville Zoning By-law 2014-014, as amended, to permit the use of lands described as  
Part of Lot 34, Concession 1 SDS  
(New Horizon Group 3340 Dundas Street West Inc.,  
File No.: Z.1434.02)

#### COUNCIL ENACTS AS FOLLOWS:

1. Map 91(18) of By-law 1984-63, as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 89, Special Provisions for Particular Parcels of Land, of By-law 1984-63, as amended, is further amended by adding a new Subsection as follows:

<b>"Special Provision</b>	<b>Applies to / Location</b>	<b>By-law Number</b>
<b>(887)</b>	<b><u>New Horizon Group 3340 Dundas Street West Inc.</u></b> <b><u>3340 Dundas Street West</u></b> <b><u>Part of Lot 34, Concession 1, S.D.S</u></b>	<b>(2014-060)</b>

The lands subject to Special Provision 887 may be used for the uses permitted in the general provisions of By-law 1984-63, as amended, subject to the applicable regulations therefore, except where in conflict with the following uses and regulations, in which case the following shall prevail:

#### **a) Only Permitted Uses**

- i) All R7 uses except single detached dwellings, semi-detached dwellings, maisonettes and apartment buildings.

- ii) On lands identified as Blocks 8 through 10 on Figure 887.1, back-to-back townhouse dwellings are additionally permitted.

**b) Zone Standards for All Lands**

The following regulations apply to all lands identified as subject to this Special Provision:

- i) Maximum number of multiple attached dwellings – 73
- ii) Minimum lot frontage – 6.0 metres per unit
- iii) Maximum lot coverage – not applicable

**c) Additional Zone Standards for Block 1 Lands**

The following additional regulations apply to lands identified as Block 1 in Figure 887.1:

- i) Minimum lot area – 220.0 square metres per unit
- ii) Minimum front yard – 7.0 metres
- iii) Minimum rear yard (Dundas Street West) – 1.0 metres
- iv) Maximum rear yard (Dundas Street West) – 2.5 metres
- v) Minimum side yard for end units – 1.5 metres
- vi) Maximum projection for a porch with or without foundations into a front yard – 1.0 metres, except that access stairs connecting a porch to the ground may project an additional 0.6 metres

**d) Additional Zone Standards for Blocks 2 through 7**

The following additional regulations apply to lands identified as Blocks 2 through 7 in Figure 887.1:

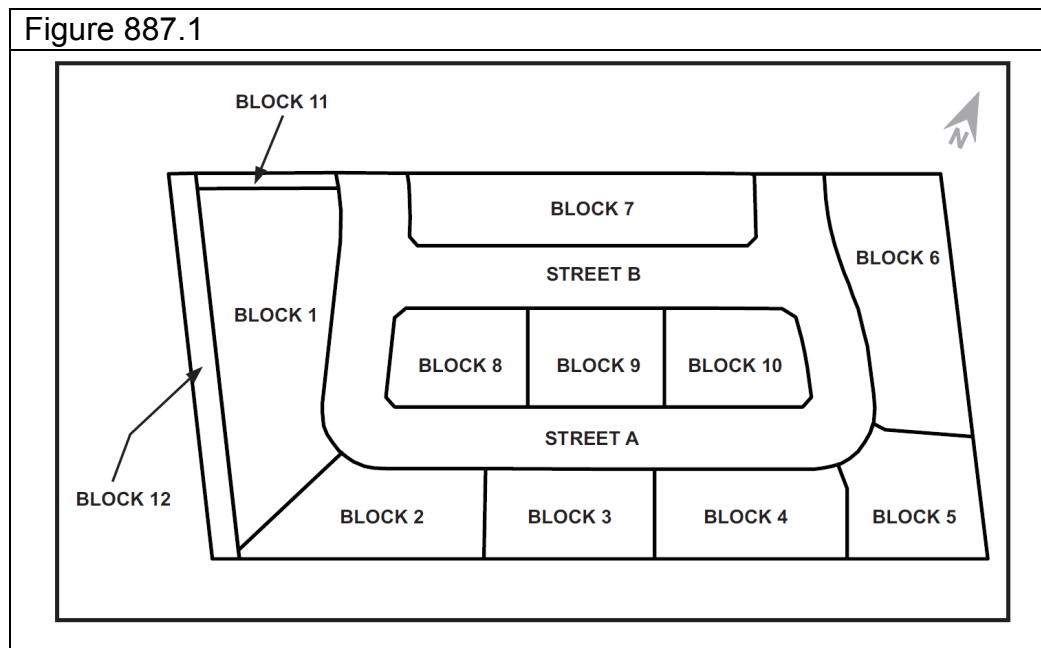
- i) Minimum lot area – 165.0 square metres per unit
- ii) Minimum front yard – 3.5 metres
- iii) Minimum front yard for a garage – 6.0 metres
- iv) Minimum flankage yard – 3.0 metres
- v) Minimum rear yard – 6.0 metres
- vi) Minimum interior side yard – 1.5 metres
- vii) Maximum projection for a porch with or without foundations into a front yard – 1.0 metres, except that access stairs connecting a porch to the ground may project an additional 0.6 metres
- viii) Maximum rear yard projection for an uncovered platform – 2.0 metres, except that access stairs connecting to the deck to the ground may project an additional 0.6 metres into the minimum rear yard

**e) Additional Zone Standards for Blocks 8 through 10**

The following additional regulations apply to lands identified as Blocks 8 through 10 in Figure 887.1:

- i) Minimum lot area – 110.0 square metres per unit
- ii) Minimum front yard – 3.5 metres
- iii) Minimum front yard for a garage – 6.0 metres
- iv) Minimum interior side yard and flankage yard for end units – 3.0 metres
- v) Minimum rear yard – 0.0 metres
- vi) Maximum projection for a porch with or without foundations into a front yard, flankage yard or interior side yard – 1.5 metres, except that access stairs connecting a porch to the ground may project an additional 0.6 metres
- vii) For the purposes of this Section, “Back-to-Back Townhouse Dwelling” means a multiple-attached dwelling unit within a building containing four or more dwelling units divided by vertical common walls above grade, including a common rear wall.
- viii) The proposed common rear wall for the back-to-back townhouse dwellings will be deemed to be the rear lot lines for zoning purposes until Part Lot Control or Consent establishes the rear lot line.

Figure 887.1



3. Map 19(18) of By-law 2014-014, as amended, is further amended by rezoning the lands as depicted on Schedule 'B' to this By-law.

4. Part 15, Special Provisions, of By-law 2014-014, as amended, is further amended by adding a new Section 15.356 as follows:

<b>"356"</b>	<b>3340 Dundas Street West</b> (Part of Lot 34, Concession 1 S.D.S.)	Parent Zones: RM1 and RM2
Map 19(18)		(2014-060)
<b>15.356.1 Zone Regulations for All Blocks</b>		
The following regulations apply to all lands identified as subject to this Special Provision.		
a)	Maximum number of dwellings	73
b)	Minimum <i>lot frontage</i>	6.0 m per unit
<b>15.356.2 Zone Regulations for Block 1</b>		
The following additional regulations apply to lands identified as Block 1 on Figure 15.356.1:		
a)	<i>Minimum rear yard</i> (Dundas Street West)	1.0 m
b)	<i>Maximum rear yard</i> (Dundas Street West)	2.5 m
c)	Maximum allowable projection for a <i>porch</i> with or without foundations into a <i>front yard</i>	1.0 m, except that access stairs connecting a <i>porch</i> to the ground may project an additional 0.6 m
<b>15.356.3 Zone Regulations for Block 2 through 7</b>		
The following additional regulations apply to lands identified as Blocks 2 through 7 on Figure 15.356.1:		
a)	<i>Minimum front yard</i>	3.5 m
b)	<i>Minimum front yard</i> for a <i>private garage</i>	6.0 m
c)	Maximum allowable projection for a <i>porch</i> with or without foundations into a <i>front</i> and <i>flankage yard</i>	1.0 m, except that access stairs connecting a porch to the ground may project an additional 0.6 m
d)	Maximum allowable projection for an uncovered platform into a rear yard	2.0 metres, except that access stairs connecting to the deck to the ground may project an additional 0.6 metres into the minimum rear yard

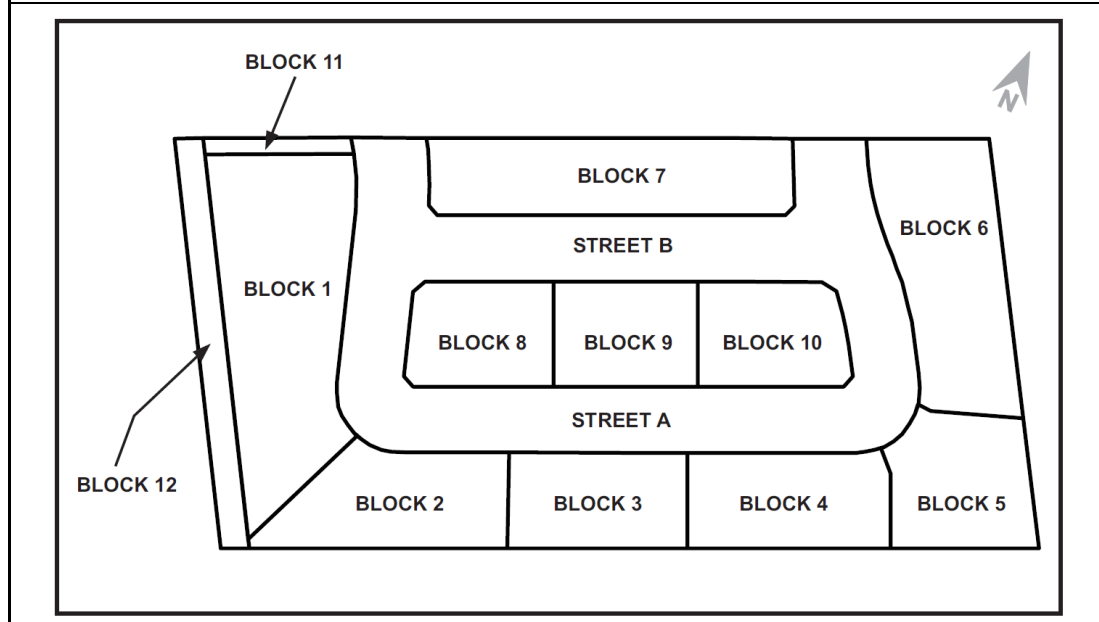
#### 15.356.4 Zone Regulations for Block 8 through 10

The following additional regulations apply to lands identified as Block 8 through 10 on Figure 15.356.1:

a)	Minimum <i>lot area</i>	110.0 sq. m per unit
b)	<i>Minimum front yard</i>	3.5 m
c)	<i>Minimum front yard for a private garage</i>	6.0 m
d)	Maximum allowable projection for a <i>porch</i> with or without foundations into a <i>front, flankage</i> or <i>interior side yard</i>	1.5 m, except that access stairs connecting a <i>porch</i> to the ground may project an additional 0.6 metres

#### 15.356.5 Special Site Figures

Figure 15.356.1



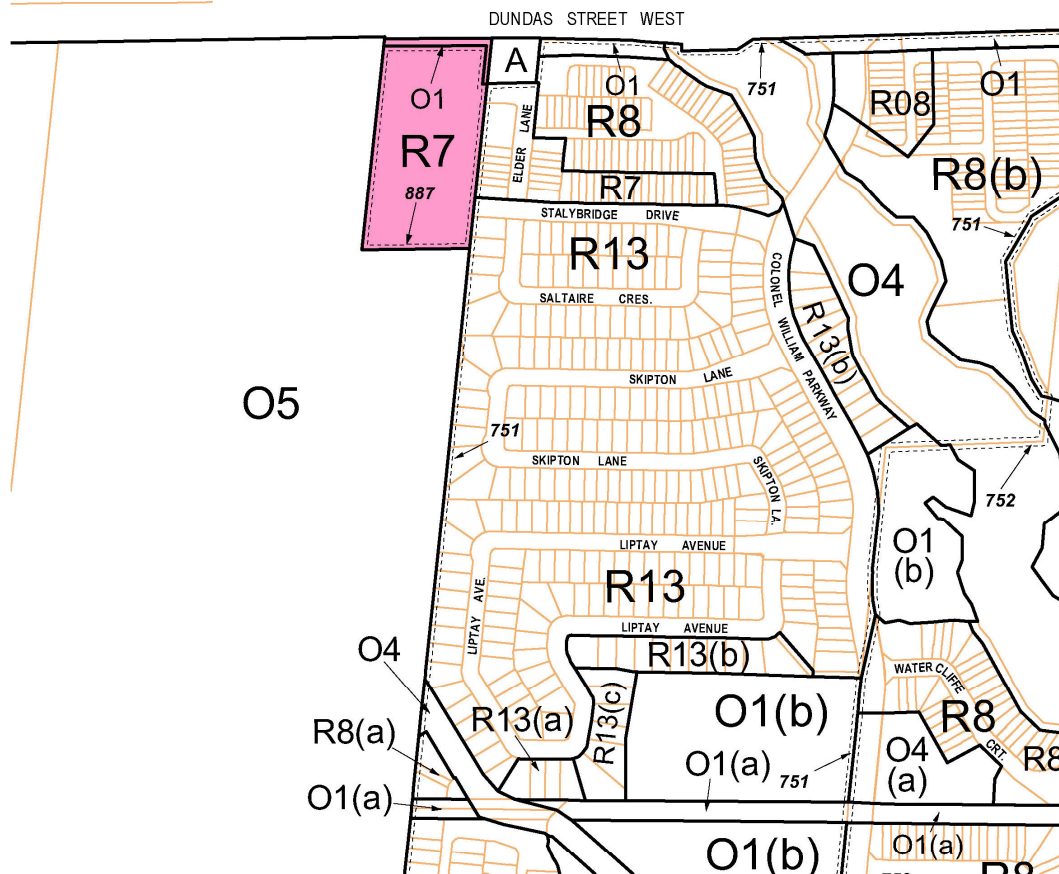
- This by-law comes into force in accordance with section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this \_\_\_\_th day of \_\_\_\_\_, 2014


\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

**SCHEDULE "A"**  
**To By-law 2014-060**



**AMENDMENT TO BY-LAW 1984-063**

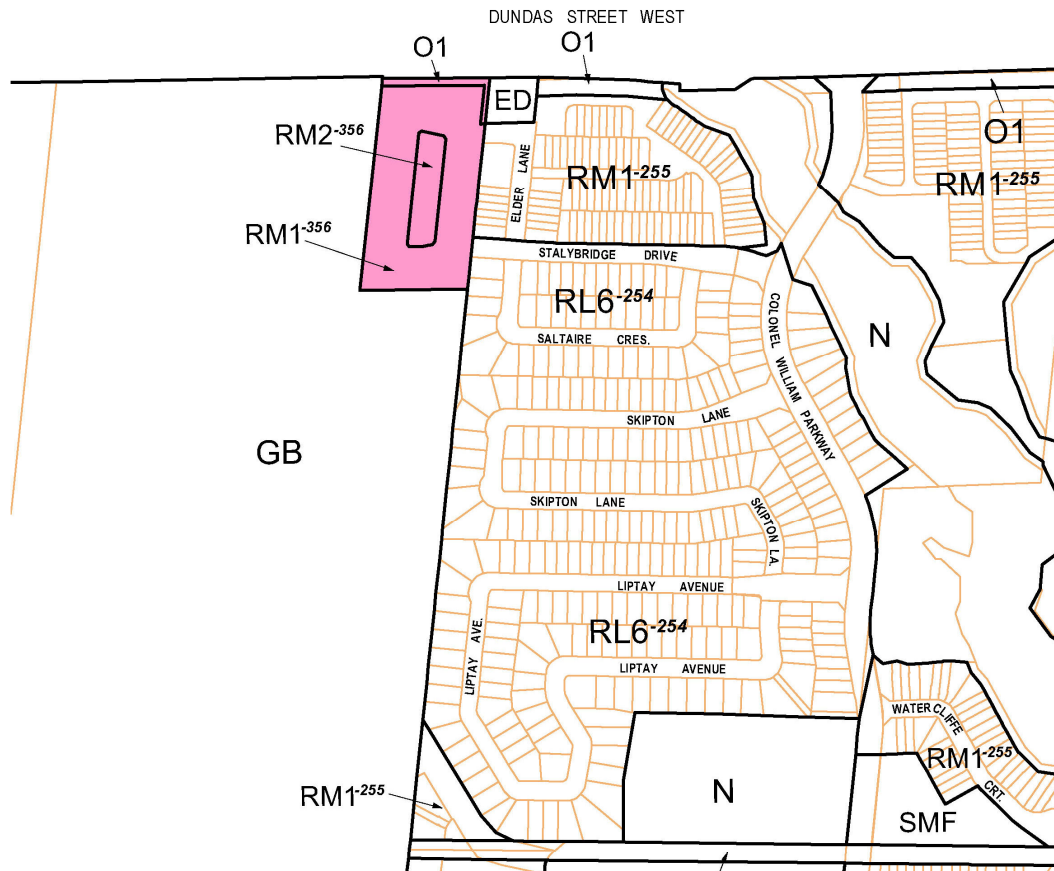
 Lands to be rezoned from  
Parkway Belt Agricultural (PBA)  
to  
Mixed Dwellings (R7 - SP 87) and  
Public Open Space (O1)

EXCERPT FROM MAP  
91 (18)



SCALE 1 : 5000

**SCHEDULE "B"**  
**To By-law 2014-060**



**AMENDMENT TO BY-LAW 2014-014**



Lands to be rezoned from  
Existing Development (ED)  
to  
Park (O1),  
Residential Medium (RM1 - SP 356) and  
Residential Medium (RM2 - SP 356)

EXCERPT FROM MAP  
19 (18)



SCALE 1 : 5000