

APPENDIX B

Site Plan Comments Report

Date: September 11, 2019 **# OF PAGES:** 10

To: **Jonathan Sprawson** Agent jon@dqi.ca
cc: **James Knowlton**, Applicant jim@masterhomes.org

From: **Brandon Hassan**, Planner, Planning Services Dept

Contact Info: T: 905-845-6601 ext. 3006
F: 905-338-4414
E: brandon.hassan@oakville.ca

Re: **Site Plan Circulation Comments (1st Submission)**

Application: Private Residence
Description: Semi-Detached Dwelling
Address: 79 Wilson Street

Site Plan File #: **SP.1715.042/01**

Comments:

The above-noted site plan application has been circulated to various municipal departments and external agencies for review. Comments which have been received with respect to the site plan application are included below. Please be aware that comments from some departments and/or agencies may still be pending.

Please contact the staff member responsible for each set of comments, as listed below, in order to resolve any outstanding site plan approval issues. Kindly request the responsible staff member to send me an email/fax of all correspondence for our records.

Revised and coordinated plans and documents which fully address the attached comments must be submitted to my attention at the Planning Services department at the Town of Oakville at your earliest convenience. You are also required to submit the following items (forming a complete resubmission package):

- a **cover letter** from each consultant describing how each comment within this report has been addressed.
- a **transmittal listing the materials submitted**, with the titles and information presented in the following format: "drawing title, drawing number, revision number and date, name of consultant"
- all reports, documents and drawings submitted must:
 - be in both paper and digital (PDF) format,
 - be presented in metric measure that can be accurately scaled,
 - be folded to 'letter' or 'legal' size format (8.5"x11" or 8.5"x14'), and
 - be prepared, stamped and signed by a qualified professional architect (for site plan and architectural drawings), engineer (for site plan and engineering drawings/reports), or landscape architect (for landscape and tree protection drawings/reports)

Circulation Comments:

PLANNING SERVICES – WEST DISTRICT

1 Current Planning Brandon Hassan ext. 3006

September 4, 2019 – Circulation 1

- A Minor Variance application is not required.

Note to the Applicant:

- Re-circulation fee will be required after the 3rd submission and every resubmission thereafter in the amount of \$862.50 (15% of the original application fee – Fee By-law 2016-078 Section 11).

Conditions of Final Site Plan Approval (TBD):

- *Cost Estimate* – That the owner provide a detailed written estimate of costs for landscaping, all paving, curbing, stormwater management facilities, installation and maintenance of erosion and siltation control measures, tree protection, boulevard restoration, roof top mechanical screening, garbage enclosures, site works and site restoration listing items, quantities, unit costs, and total costs. This estimate to be reviewed and approved by the Planning Services and Development Services Departments.
- *Securities* – That the owner deposit securities with the Finance Department, in a form meeting the Finance Department's requirements, covering full costs of all items noted above.
- *Site Plan Agreement* – That the owner enter into a Site Plan Agreement with the Town, to be registered on title, containing clauses suitable to the Director of Planning, Director of Development Engineering and the Town Solicitor.

2 Urban Design Dwight Ingalls ext. 3908

September 4, 2019 – Circulation 1 (Resubmission Required)

The following comments are based on materials circulated August 14, 2019

- [Circ.1] Any proposed tree planting to be used for tree canopy calculations must be within a 3.0M wide planted bed. Please update the canopy cover plan accordingly.

3 Development Engineering Dan Bijsterveld ext. 3763

September 11, 2019 – Circulation 1 (Resubmission Required)

SECTION 1: TECHNICAL REVIEW

Grading,
Stormwater and
Servicing

Development Engineering has reviewed the submitted storm water management, grading and servicing materials and provides the following comments:

- Building addresses are to be provided on future submissions
- Proposed and existing grades are required along the property line.
- Additional grades are required on the north side along Parcel 'A' to clearly show drainage pattern.
- There is a proposed retaining wall shown along the side yard for Parcel 'B'. Details of the wall are to be shown on the drawing and top/bottom elevations provided. A portion of the wall also appears to be constructed in the Wilson Street ROW. This will not be permitted. Please review and revise.
- Cross sections (to scale showing ex/proposed) are required along the side and rear property lines to demonstrate compatibility with the adjacent properties.
- The existing curb on Wilson Street is to be removed and replaced from the north limit as shown to the south limit of the new water service (ie.no partial removals).
- Show the limits and details for all trench and road restorations within Wilson Street.
- The elevation of the inlet pit at the rear of Parcel 'B' is 86.55 while existing elevation appears to be 86.59. A minimum 0.15m swale (typ.) is required. The inlet at the midpoint has no details provided.
- Details for the inlet pits, CB's, storm sewers etc being used are to be provided on the drawings.
- Show the location of downspouts.
- The sump pumps connect to side yard storm pipe which is quite shallow. The SWM engineer is to provide comment in the report on how this will function based on the depth and potential for water levels in the pits. A detail for the sump pump connection is also to be provided on the drawing.
- The dimensions for the soakaway pits shown on the drawing do not match what is shown in the SWM report. Please confirm and coordinate.
- The location of the pits is quite close to the property line. The engineer shall satisfy themselves that there will be no negative impact to adjoining properties.
- The soil engineer references the potential need for an emergency overflow for the soakaway pits. The engineer shall provide comment in the SWM report.

For questions and comments, contact Dan Bijsterveld,
Development Engineering ext. 3763.

Urban Forestry

- ***Urban Forestry comments to be provided under separate cover by the Urban Forester.***

For questions and comments, contact Tony Molnar, Development Engineering ext. 3869.

The applicant is advised that all of the above items must be resolved PRIOR to site plan approval, unless otherwise noted.

SECTION 2: CONDITIONS OF APPROVAL

Conditions which must be satisfied prior to final site plan approval:

- (1) That the owner submits the following information, to the satisfaction of the Development Engineering Department:
- Stormwater Management Plan and Report (*See comments*)
 - Grading, Drainage and Servicing Plan (*See comments*)
 - Tree Inventory and Protection Plan (*See comments by Urban Forester*)
 - Arborists Report (*See comments by Urban Forester*)
 - Tree Protection Securities: That the applicant deposit tree securities to the Town of Oakville. (*See comments by Urban Forester*)
 - Erosion & Sediment Control Plan (*Has not been submitted*)
 - Boulevard & Road Restoration Details to be provided on civil drawings.
- (2) That the owner submits the following information, to the satisfaction of the Engineering & Construction Department:

Note: The applicant is to consult with the Engineering & Construction Department regarding the need and or requirements any further permits and reports.

SECTION 3: NOTES TO THE APPLICANT

Conditions subject to change	The applicant is advised that the above conditions are subject to change pending subsequent site plan submissions.
Landscape Plan Requirement	The applicant is advised that all ash species should be removed from the landscape plans.
Complete submission	A cover letter from the appropriate consultant(s) is to be included with subsequent submissions stating how each engineering comment has been addressed.
Work within Road Allowance	All works within the road allowance to be completed during the hours of 9 AM – 3PM and will require the applicant to obtain a Temporary Street Occupancy Permit and Excavation Permit from the Development Engineering Department. In addition, the applicant is required to notify the Development Engineering Department 24 hours prior.

Major municipal road improvements (pavement widening, turn lanes and storm sewers) shall only be permitted to be constructed by Town approved contractors.

That at the building permit stage, the owner shall contact Permits and Construction Section to inquire what requirements may be required such as follows:

1. Driveway Permit
2. Excavation Permit
3. Sidewalk/Street Occupancy Permit
4. Boulevard (Streetscape) Permit
5. Construction Staging and Parking Plan
6. Any Boulevard & Road Restoration Details to be provided on civil drawings.

Signed & Sealed Reports Technical documents, such as the transportation assessment, stormwater management report or arborist's report, must be signed and sealed by a professional engineer or certified arborist, respectively.

4 Development Engineering **Tony Molnor ext. 3869**

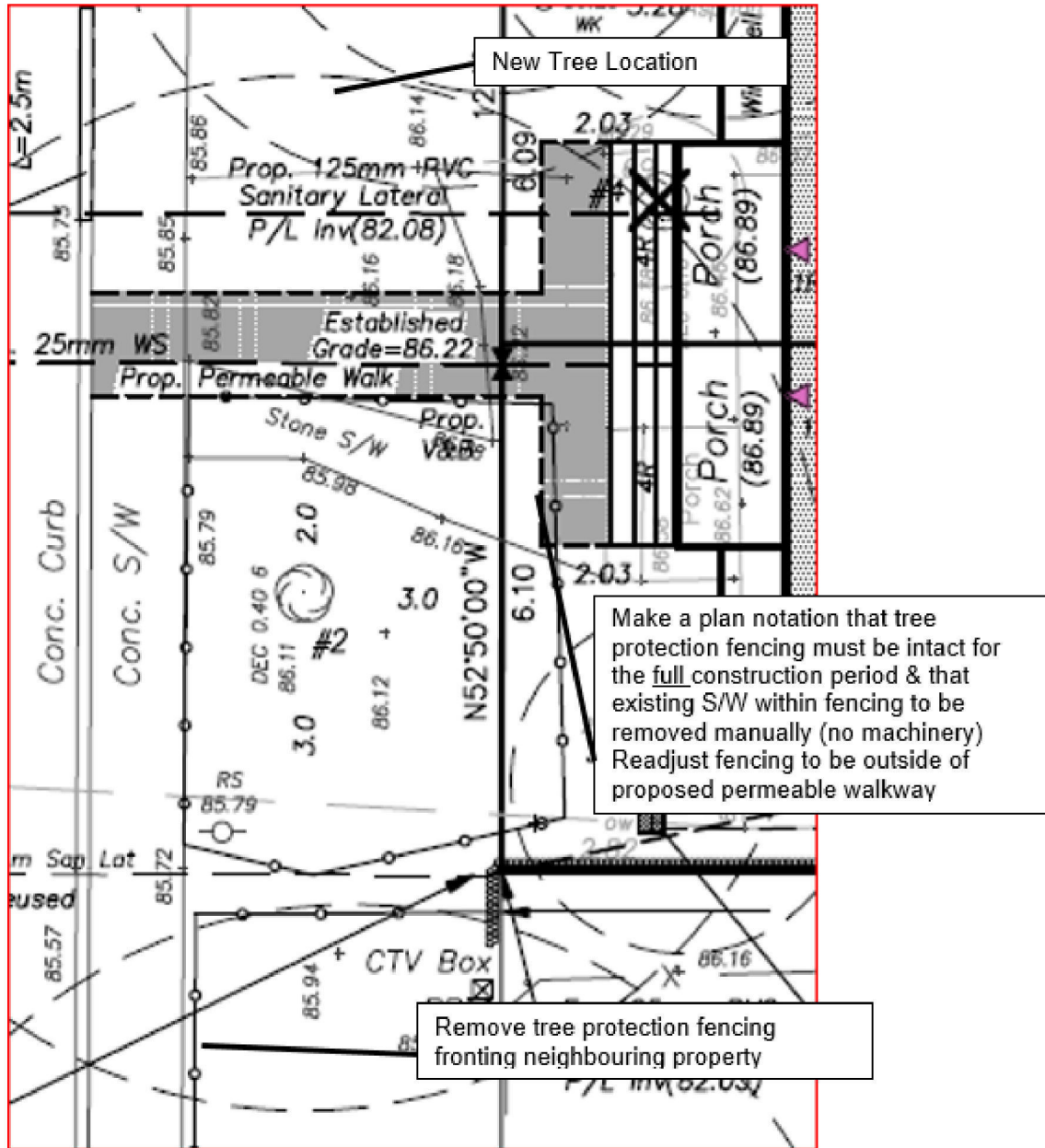
September 4, 2019 – Circulation 1 (Resubmission Required)

Site Plan circulation #1 dated August 14, 2019 materials reviewed:

- 1) Arborist Report by Maple Hill Tree Services dated Jan 4, 2018
- 2) Site Plan by Cunningham McConnell dated June 6, 2019

Urban Forestry has reviewed the first Site Plan circulation and has provided the following Site Plan conditions:

1. A Preliminary Arborist Report and Tree Preservation Plan was submitted as part of the subject Site Plan application. The report addresses regulated-sized trees that are positioned on 1) the subject site, 2) road allowance, and 3) on abutting private properties within a 6m designated limit. As part of this Site Plan application 2 municipal trees, 1 mulberry and 1 white birch, will be removed and the remaining 2 trees preserved; both trees proposed for removal are in decline and are considered relatively short lived species with limited tree canopy cover contribution. On the subject site there are a total of 5 trees all of which will be removed; trees include 2 mulberry, 1 Siberian elm, 1 white birch, and 1 linden. Five (5) neighbouring trees were inventoried and all 5 are being retained. Development Engineering has no objection to the removal of these trees provided the following comments are addressed to the satisfaction of Development Engineering staff:
2. The Arborist Report date is to be revised as the sequence of work does not follow. The report date is January 4, 2018 while the latest tree inventory date is noted as July 25, 2018. Further on if there are any report revisions that will be submitted for Site Plan purposes all



INTERNAL DEPARTMENTS

5 Building Services, Zoning Peter Kozelj ext. 3174

September 5, 2019 – Circulation 1 (Resubmission Required)

- H41 must be removed prior to any building permits are issued.
- **Section 4.6.6 c)** A rooftop terrace that is located on the roof of the top storey of a building shall be setback a minimum of 2.0 metres from the edge of the roof of that part of the building that faces the interior side and/or rear lot lines abutting any Residential Low Zone.

6 Engineering & Construction
Rebecca Medaric ext. 3181

August 28, 2019 – Circulation 1

- The new address will be 75 (south unit) and 77 (north unit) Wilson Street

7 Fire Prevention
Cameron Aplin ext. 3618

August 28, 2019 – Circulation 1 (Resubmission Required)

- Provide an O.B.C. design matrix for all the buildings illustrated in the current site plan. Additional information is required, regarding how many streets all buildings will be required to face and whether any of the illustrated buildings incorporate standpipe or sprinkler systems. The current plan did not indicate any Siamese connections.

8 Engineering & Construction - Transportation
Syed Rizvi ext. 3981

September 4, 2019 – Circulation 1

- No further comments

9 Legal Department
Jim Knighton ext. 3022

August 15, 2019 – Circulation 1

- Cash in lieu of parkland will be due as a condition of severance - consent for creation of new lot pursuant to S53 of the Planning Act.

EXTERNAL AGENCIES

10 Region of Halton, Planning & Public Works Dept
Taylor West tel. 905.825.6000 ext. 7554

August 30, 2019 – Circulation 1

Regional Planning staff has reviewed the Site Plan dated August 15, 2019 to facilitate the construction of two semi-detached residential units. Regional staff has **no objection** to the above referenced applications, subject to the conditions outlined in Schedule “A”. Staff offer the following comments.

Regional Official Plan

The Provincial Policy Statement provides clear direction on land use planning in Ontario to promote strong communities, a strong economy, and a clean and healthy environment. Regional staff are of the opinion the proposed application is consistent with the PPS.

The Growth Plan is a growth management tool for the Greater Golden Horseshoe, which provides policy direction on issues relating to transportation, infrastructure planning, land use

planning, natural heritage, urban form and housing. Regional staff are of the opinion the proposed consent generally complies with the Growth Plan.

The subject lands are designated as Urban Area in the 2009 Regional Official Plan (ROP). The Urban Area policies of the ROP are in effect and provide that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. All development, however, shall be subject to all other relevant the policies of the Regional Plan.

Regional staff has also reviewed this application within the context of the Halton Region's "Protocol for Reviewing Development Applications with Respect to Contaminated Sites". Regional staff note that the current zoning of the site has a holding provision (Z.1715.23) related to acquisition of an RSC.

Development Project Manager

There are existing services adjacent to the site that consists of the following:

Watermain:

A 300mm dia. watermain is located on Wilson Street adjacent to the property. Please note that the applicant should undertake their own fire flow testing in the area in order to confirm the design requirements for domestic water supply and fire protection.

Sanitary Sewer:

A 300mm dia. sanitary sewer is located on Wilson Street adjacent to the property.

Regional Road:

The property does not abut a Regional Road.

Finance

The Owner will be required to pay all applicable Regional development charges in accordance with the Region of Halton Development Charges By-law(s), as amended. If a subdivision (or other form of development) agreement is required, the water, wastewater and road portions of the Regional development charges for residential units are payable upon execution of the agreement or in accordance with the terms and conditions set out in the agreement. In addition, commencing January 1, 2017 every owner of land located in Halton Region intended for residential development will be subject to the Front-ending Recovery payment. Residential developments on lands located in Halton Region that prior to January 1, 2017 are part of a Regional allocation program, or have an executed Regional/Local Subdivision or consent agreement, or have an executed site plan agreement with the Local Municipality, or received a notice in writing from the Local Municipality that all requirements under the Planning Act have been met, or obtained a building permit are not subject to the Front-ending Recovery Payment.

The above note is for information purpose only. All residential development applicants and every owner of land located in Halton Region assume all of the responsibilities and risks related to the use of the information provided herein.

Please visit our website to obtain the most current information on Development Charges (DCs) and Front-ending Recovery Payment (FERP), which is subject to change.

CONCLUSION/CONDITIONS:

The Region has no objection to this application, subject to the following conditions:

1. The Owner shall contact the Regional Services Permit Section for review and approval of the proposed water and sanitary servicing, to obtain water and sanitary sewer Services Permits, and pay all necessary fees.
2. Any existing water service, sanitary service lateral, watermains and/or sanitary sewers to be disconnected from the system and abandoned must be decommissioned per the standards and specifications of the Region of Halton. The applicant is advised to contact Halton's Permits and Development Inspection Section for details on abandoning water and sanitary services.

**11 Oakville Hydro, Engineering Dept
Dan Steele tel. 905.825.9400**

August 14, 2019 – Circulation 1

- A new underground secondary electrical service (120/240V to a maximum of 400 Amps) is required for each unit from: Lakeshore Road East. Please contact Oakville Hydro Engineering with service size and anticipated demand load as soon as available. At that time, a servicing cost will be prepared, which is to be borne by the applicant. Oakville Hydro will supply required transformation. Any resulting conflicts with existing hydro facilities due to construction are to be rectified at the owner's expense.

**12 Union Gas
Tammy Salonga (289) 649-2067**

August 22, 2019 – Circulation 1

- We have an existing service to this address which will need to be abandoned prior to demolition. With respect to servicing the future Semi there should be no issue feeding the dwellings off of the existing 2" Main in front of the site.