



**APPENDIX A**

**THE CORPORATION OF THE TOWN OF OAKVILLE**

**BY-LAW NUMBER 2019-053**

A by-law to amend the Town of Oakville Zoning By-law Zoning By-law 2014-014, as amended, to permit the use of lands described as Part of Lot 7, Block 68, Plan 1 (Design Quorum Inc., File No.: Z. 1715.23)

**COUNCIL ENACTS AS FOLLOWS:**

1. Map 19 (7a) of By-law 2014-014 as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Part 15, Special Provisions, of By-law 2014-014 as amended, is further amended by adding a new Section 15.398 as follows:

<b>398</b>	<b>79 Wilson Street</b>	Parent Zone: CBD
Map 19(7a)	<b>(Part of Lot 7, Block 68, Plan 1)</b>	(2007-010) (2008-051)(2019-053)
<b>15.398.1 Only Permitted Use</b>		
The following use is the only use permitted:		
a)	Semi-detached dwelling	
<b>15.398.2 Zone Provisions for All Lands</b>		
The following regulations apply to all lands identified as subject to this Special Provision:		
a)	Minimum first storey height	2.69 m
b)	Maximum height	12.0 m
c)	Maximum number of storeys	3 storeys
d)	Minimum front yard	2.0 m
e)	Minimum side yard	1.2 m
g)	Minimum width of landscaping along northerly lot line	0 m
h)	Minimum width of landscaping along easterly lot line	1.0 m

i)	Minimum width of landscaping along southerly lot line	1.2 m
<b>15.390.6 Special Site Provisions</b>		
The following additional provisions apply:		
a)	All lands as identified as subject to this special provision shall be considered as one lot for the purposes of this By-law.	

3. Part 16, Holding Provisions, of By-law 2014-014, as amended, is further amended by adding a new Section 16.3.41 as follows:

<b>H41</b>	<b>79 Wilson Street</b>	Parent Zone: CBD
Map 19(2)	<b>(Part of Lot 7, Block 68, Plan 1)</b>	(2019-053)
<b>16.3.41.1 Only Permitted Uses Prior to Removal of the “H”</b>		
For such time as the “H” symbol is in place, these lands shall only be used for the following:		
a)	Legal uses, buildings and structures existing on the lot.	
<b>16.3.41.2 Conditions for Removal of the “H”</b>		
The “H” symbol shall, upon application by the landowner, be removed by Town Council passing a By-law under Section 36 of the <u>Planning Act</u> . The following condition(s) shall first be completed to the satisfaction of the Town of Oakville:		
a)	That the Owner submit, to the satisfaction of the Region of Halton, a Ministry of the Environment, Conservation and Parks Acknowledged Record of Site Condition (RSC).	
b)	That the Owner submit, to the satisfaction of the Town of Oakville, a site plan application, demonstrating that stormwater management can be appropriately managed to Town standards and that appropriate landscape treatment and urban design criteria can be implemented.	

4. Part 15, Special Provisions, of By-law 2014-014, as amended, is further amended by deleting Section 15.149 and replacing it as follows:

<b>149</b> <b>(Old 800)</b>	<b>82 and 86 Wilson Street</b>	Parent Zone: CBD
Map 19(7a)	<b>(Part of Lots 6 and 8, Block 69, Plan 1)</b>	(2007-010) (2008-051) (2019-053)
<b>15.149.1 Prohibited Uses</b>		
The following uses are prohibited:		

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a)	All uses otherwise permitted as service commercial uses in the Central Business District (CBD) Zone.	
b)	Retail store	
<b>15.149.2 Zone Provisions</b>		
The following regulations apply:		
a)	Minimum front yard	2.0 m
b)	Minimum height	10.5 m
c)	Maximum number of storeys	3

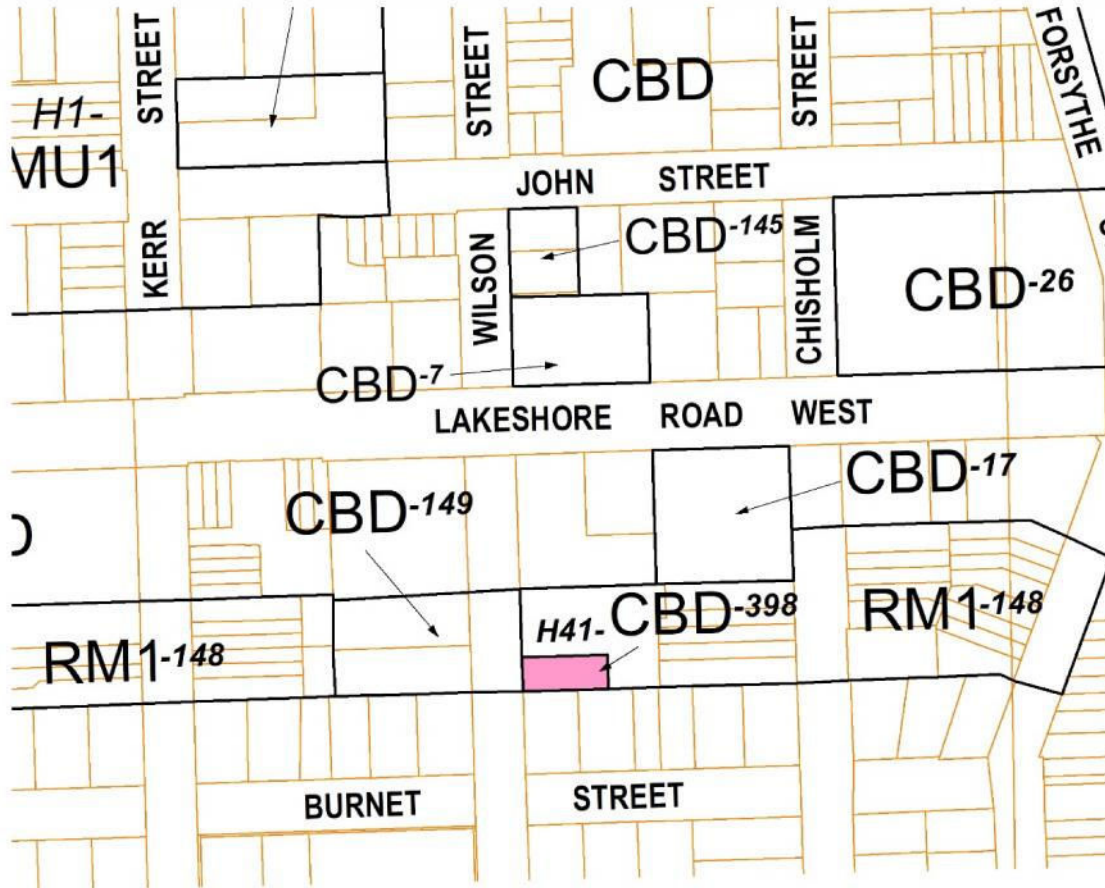
5. This By-law comes into force in accordance with Section 34 and Section 36 of the Planning Act, R.S.O. 1990, c. P.13, as amended.

PASSED this 13<sup>th</sup> day of May, 2019


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Rob Burton Mayor

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Kathy Patrick Acting Town Clerk

**SCHEDULE "A"**  
To By-law 2019-053



**AMENDMENT TO BY-LAW 2014-014**

 Rezoned from Central Business District (CBD-SP 149) to Central Business District (H41-CBD-SP 398)

EXCERPT FROM MAP  
19 (7a)

