



**THE CORPORATION OF THE TOWN OF OAKVILLE
BY-LAW NUMBER 2020-073**

A by-law to amend the Town of Oakville Zoning By-law 2014-014, as amended, to permit the use of lands described as Part of Lot 17, Concession 2 Trafalgar South of Dundas Street, Designated as Part 10, 20R-15377, Town of Oakville
(API Development Consultants Inc., File No.: ZBA 1517.18)

COUNCIL ENACTS AS FOLLOWS:

1. Map 19(14) of By-law 2014-014, as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Part 15, Special Provisions, of By-law 2014-014, as amended, is further amended by adding a new Section 15.394 as follows:

394	170 North Service Road West	Parent Zone: C3
Map 19(14)	(Part of Lot 17, Concession 2 Trafalgar South of Dundas Street, Designated as Part 10, 20R-15377, Town of Oakville)	(2020-073)
15.394.1 Only Permitted Uses		
The following <i>uses</i> are the only <i>uses</i> permitted:		
a)	<i>Hotel</i> , but shall not include meeting facilities, and a <i>public hall</i> .	
15.394.2 Zone Provisions for All Lands		
The following regulations apply to all lands identified as subject to this Special Provision:		
a)	Minimum <i>lot area</i>	0.67 ha
b)	Maximum <i>height</i>	24 m
c)	Maximum number of <i>storeys</i>	7
d)	A <i>parapet</i> is permitted to project beyond the maximum <i>height</i> and above the top of a roof to a maximum of 2.9 m.	
e)	Maximum total <i>net floor area</i> for all <i>uses</i> other than <i>retail stores</i> on a <i>lot</i> shall not apply.	
f)	Minimum width of <i>landscaping</i> abutting a <i>public road</i>	0.65 m

15.394.3 Parking Provisions		
The following parking regulations apply:		
a)	Minimum number of <i>parking spaces</i> for a <i>hotel</i>	0.8 per <i>lodging unit</i> ; and no additional <i>parking spaces</i> are required for <i>net floor area</i> outside of a <i>lodging unit</i>

3. Part 16, Holding Provisions, of By-law 2014-014, as amended, is further amended by adding a new Section 16.3.40 as follows:

H40	170 North Service Road West (Part of Lot 17, Concession 2 Trafalgar South of Dundas Street, Designated as Part 10, 20R-15377, Town of Oakville)	Parent Zone: C3 (2020-073)
Map 19(14)		
16.3.40.1 Only Permitted Uses Prior to Removal of the “H”		
For such time as the “H” symbol is in place, these lands shall only be <i>used</i> for the following:		
a)	Legal <i>uses</i> , <i>buildings</i> and <i>structures</i> existing on the <i>lot</i> .	
16.3.40.2 Conditions for Removal of the “H”		
The “H” symbol shall, upon application by the landowner, be removed by <i>Town Council</i> passing a By-law under Section 36 of the <u>Planning Act</u> . The following condition(s) shall first be completed to the satisfaction of the <i>Town of Oakville</i> :		
a)	That a local watermain and sanitary sewer are extended within Kerr Street/North Service Road adjacent to this site and/or there are provisions put in place satisfactory to Halton Region in regard to the extension of these services.	

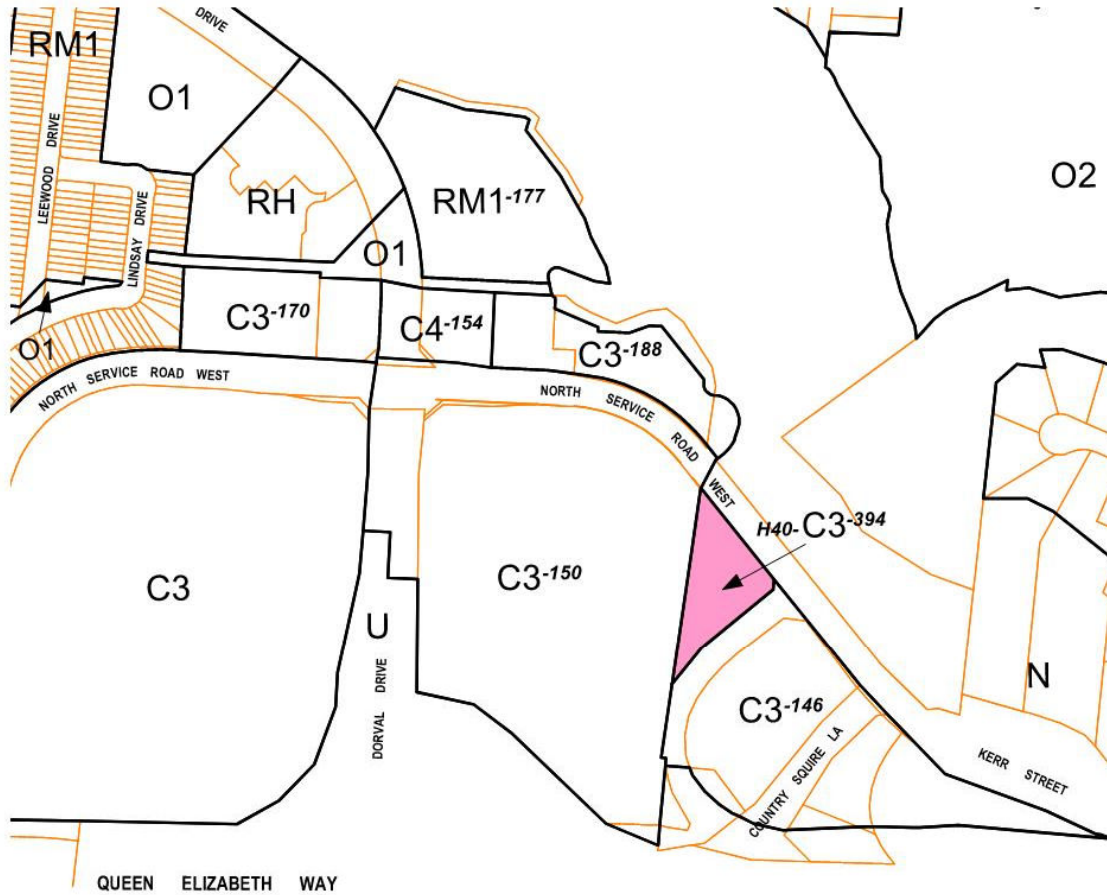
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this 6th day of July, 2020


_____ MAYOR

_____ CLERK

SCHEDULE "A"
To By-law 2020-073



AMENDMENT TO BY-LAW 2014-014

 Rezoned from Core Commercial (C3) to Core Commercial (H40-C3-SP:394)

EXCERPT FROM MAP
19 (14)

