

CALEB SMITH HOUSE

CONSERVATION PLAN

2460 Old Bronte Road, Oakville, Ontario

Issued: August 10, 2018



Project # 17-106-03
Prepared by PE / JF / JQ / EC

COVER PAGE: East elevation of 2460 Old Bronte Road (ERA, 2017).

PREPARED FOR:

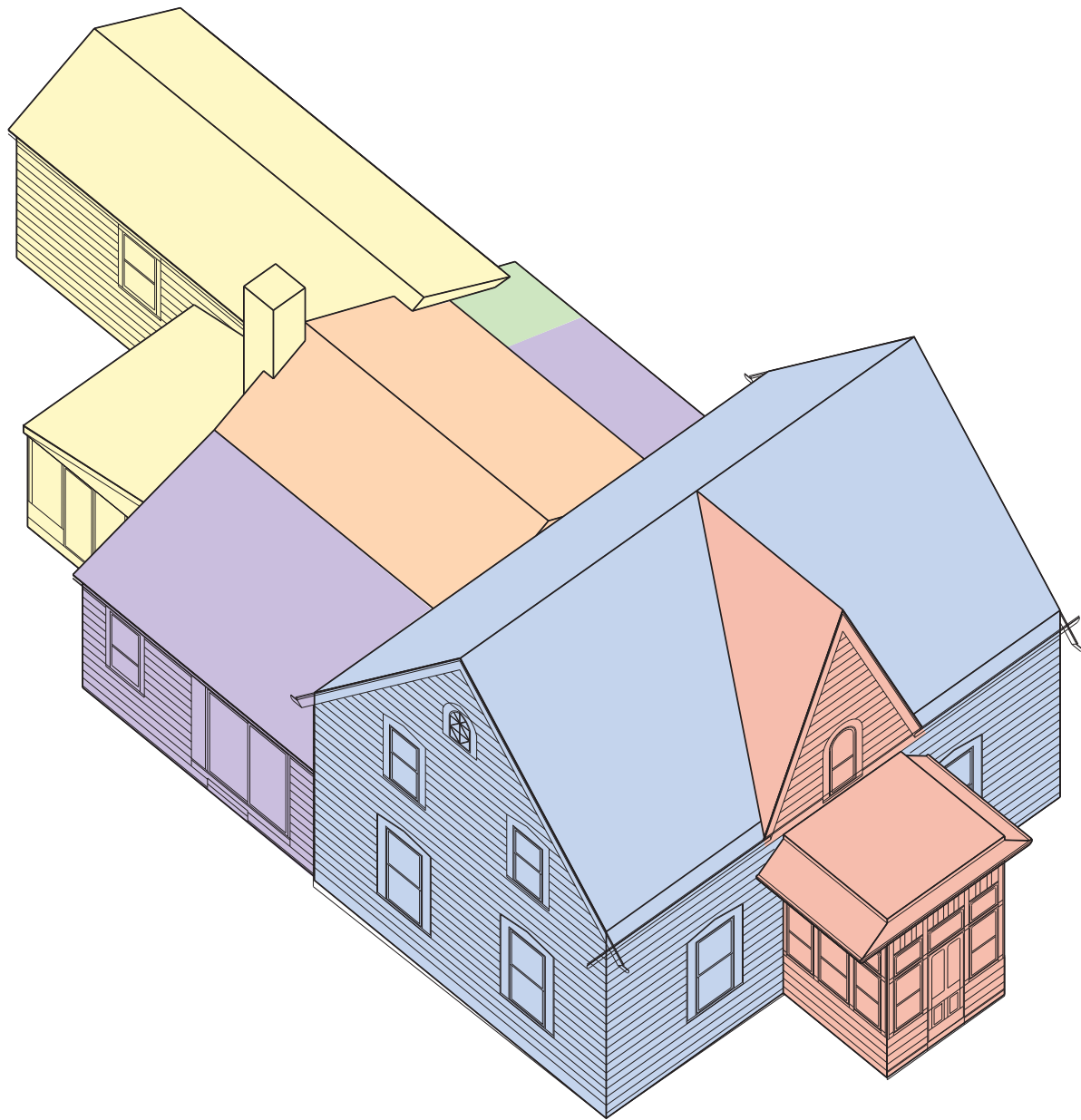
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|--|--|---|
| Pioneer framing circa 1820s, high quality craftsmanship | Atypical c. 1820s framing elements | Circa 1870s |
| Later 1820s framing, typical construction | Circa 1850s | Contemporary additions |

Axonometric diagram of the heritage house showing its evolution (ERA, 2018).

EXECUTIVE SUMMARY

This Conservation Plan identifies and describes the scope of work required to conserve the heritage attributes of the property at 2460 Old Bronte Road, Oakville. It also includes the salvage scope of work with the outbuilding located at 2444 Old Bronte, which is part of the larger development site.

The property contains a 2.5 storey Gothic Revival house built in stages from c. 1820s, which includes the original pioneer framing integrated within the rear (referred to as the pioneer structure throughout this report, please see diagram on the opposite page). It is identified on the Town of Oakville's Register of Properties of Cultural Heritage Value or Interest.

The proposed development anticipates the removal of the later rear additions, the relocation of the house and pioneer structure to the north, and the adaptive reuse of the house as a temporary sales centre for the forthcoming development.

In the future, a new rear addition will be integrated into the house, which will encapsulate the original framing of the pioneer portion. A new conservation plan may be provided, if required, once the design of the rear addition and the long-term use of the structure is confirmed.

The proposed conservation approach is rehabilitation. The work will be completed in two phases. The first phase will cover the roof, north, east, and south elevations. The second phase will address the conservation work for the rear (west) elevation, where the new rear addition will be integrated. The scope of conservation work includes:

- The protection of the pioneer structure during this phase of work;
- A new foundation and basement for the house and the pioneer structure at the new location;
- The restoration of the brick chimneys;
- The refurbishment of the wood windows, and their replacement where necessary;
- The replacement of the existing asphalt roof (which has reached the end of its lifespan) and installation of a new rainwater management system; and
- The investigation of the condition of the original wood siding once the existing vinyl siding has been removed, to determine whether it can be rehabilitated or whether it must be replaced in kind.

The Conservation Plan includes detailed drawings for the proposed conservation work along with a cost estimate. The cost estimate will be submitted under separate cover to establish a letter of credit amount to the secure the scope of work and to ensure fairness in the tendering process.

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. -Standards and Guidelines for the Conservation of Historic Places in Canada

1 INTRODUCTION



Aerial view with development site outlined in red (Google Maps, annotated by ERA).

1.1 Scope of the Report

ERA Architects Inc. (ERA) were retained by Zancor Oakville Ltd. as the heritage consultant for the redevelopment 2460 Old Bronte Road (the “Site”). This Conservation Plan has been provided in support of the Heritage Impact Assessment Report for the Site, also prepared by ERA and dated June 14, 2018. It should read in conjunction with architectural drawings prepared by Quadrangle and dated June 14, 2018.

The proposed conservation strategy was developed with reference to *Parks Canada’s Standards and Guidelines for the Conservation of Historic Places* and the Ministry of Culture’s Ontario Heritage Tool Kit Procedures.

This Conservation Plan addresses the conservation scope of work related to the relocation and rehabilitation of the house as a temporary sales centre as well as the relocation and protection of the pioneer structure. It includes a description of the conservation strategy, the scope of conservation work, preparation of drawings to show the extent and location of this work and an estimate of costs to execute the work.



North-west axonometric view with heritage house in green (Google Maps, annotated by ERA).

1.2 Site Location and Description

The development site is located on the west side of Old Bronte Road between Pine Glen Road and Dundas Street West, and contains the following:

- A 2-1/2 storey Victorian Gothic/Gothic Revival style house built in stages from c. 1820s and an outbuilding, at 2460 Old Bronte Road;
- A one-storey bungalow and an outbuilding at 2444 Old Bronte Road; and
- A one-storey bungalow and an outbuilding at 2454 Old Bronte Road.

1.3 Description of the Proposed Development

All buildings besides the Gothic Revival house are to be removed to allow for the construction of a condominium. The house will be relocated to the northern edge of the Site, at the same front setback as existing. The rear additions - with the exception of the pioneer portion - will be removed and made available for salvage. The house will be rehabilitated as a temporary sales centre.

In the future, a new rear addition will encapsulate the pioneer portion, provide a universally accessible entrance, and ensure the viability of the building for long-term activation.

1.4 Report Methodology

The scope of work for this report includes:

- Review of the Town's heritage policy documents;
- The undertaking of multiple site visits to determine all heritage attributes that must be conserved and those that are not as high priority, but would be preferred or desirable from a heritage conservation perspective;
- Assessment of both exterior and interior features and recommendations for conservation approach;
- Meetings/consultation with the City staff for SPA and permit application;
- The provision of detailed specifications for the conservation work to be undertaken on the Site:
 - Heritage General Requirements;
 - Heritage Protection, Demolition & Salvage; and
 - Heritage Exterior Restoration; and
- Preparation of the accompanying Heritage Impact Assessment, dated June 14, 2018.

These documents address the relocation and rehabilitation of the house as a temporary sales centre.

1.5 Accompanying Documents

Included within the appendices of this report are:

- Standards and Guidelines for the Conservation of Historic Places in Canada (Park's Canada, excerpts from the 2nd Edition);
- Architectural drawings prepared by Quadrange (dated June 18, 2018); and
- Conservation Plan Drawings prepared by ERA Architects (July 20, 2018).

1.6 Present Owner Contact

Zancor Oakville Ltd.
137 Bowes Road
Concord, ON L4K 1H3

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2 CONDITION ASSESSMENT

2.1 General

ERA conducted a condition assessment of the Site on November 15th, 2017. The assessment was done at grade and is based on visual inspection of all exterior elevations, and the interior spaces.

2.2 Exterior

The house was built in stages beginning in c. 1820s. It is a wood-frame building resting on a masonry foundation. The remnants of brick masonry chimneys, since removed, are visible in the attic. These are in fair condition, but later repointing with a cement-based mortar has caused deterioration to the brick.

The building is clad in vinyl siding over a wooden substrate most likely applied sometime in the late 20th century. Minor destructive testing revealed that the original wooden siding exists underneath, at least in some locations. The vinyl cladding will have to be removed entirely to assess the condition and intactness of the wood substrate. The vinyl was generally found to be in good condition, performing as intended. However in select locations – notably the porch addition – the substrate has succumbed to severe wood rot and the vinyl siding is detaching from the building. Severe water ingress is causing damage to this portion of the building.

The building includes a range of millwork, such as decorative bargeboards at the gables and Italianate brackets on the porch. Generally this millwork was found in fair condition, although lack of paint upkeep has led to overall deterioration. In locations it is defective, with evidence of wood rot. A section of bargeboard trim had detached from the front gable and fallen to the ground. The worst affected area is the porch extension where the millwork is severely deteriorated and some components have rotten and fallen off.

2.3 Windows

Most of the building's original windows were replaced in the past with sealed PVC units, which appeared in good condition excepting some discoloration from sunlight. The small lancet windows found in the gable peaks of the flank elevations, with original glazing bars and 19th century crown glass, are in good condition and performing admirably.

DEFINITION OF TERMS

The building components were graded using the following assessment system:

Excellent: *Superior aging performance. Functioning as intended; no deterioration observed.*

Good: *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

Fair: *Functioning as intended; Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

Poor: *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

Defective: *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

The inoperable 1/1 windows on the porch have an etched decorative pattern and are in fair condition with flaking paint and slight wood rot detected.

Elsewhere the building's wooden window surrounds, executed to a simple profile, were similarly found to be in fair condition; most exhibited peeling and flaking paint and some were showing signs of wood rot, particularly at the wooden sills where water is accumulating. The same applies to the modern aluminium units used for openings on the building's rear extension. The narrow 4/1 wooden windows on the east vestibule (likely a later addition, possibly early 20th century) are in good condition.

2.4 Roof

The cross-gable roof structure comprises common timber trusses, which appeared in good condition, and the roofing material is asphalt shingle, likely a late 20th-century intervention. Overall the roof appeared to be in good condition, although deterioration of wood trim at the eaves was noticed due to moisture, with some components eroded or missing. Rainwater systems consist of aluminum gutters and downspouts, generally appearing in good condition with typical deterioration.

2.5 Rear Extension

The rear extension includes a glazed section with a variety of cladding materials including wood, aluminium and corrugated plastic; these were found to be in fair condition.

2.6 Interior and Foundations

ERA inspected the cellar and building foundations, which are made of rubblestone masonry, with later concrete render and concrete block additions. No significant defects were observed. ERA also inspected all building interiors, which were found to be in good condition.



Paint flaking and deterioration of wood surrounds, typical (ERA, 2017)



Showing deterioration of wooden decorative elements on front porch (ERA, 2017)



Asphalt shingles in good repair; gutters and downspouts requiring maintenance (ERA, 2017)



Showing wood rot to cladding substrate and sections of vinyl siding in poor condition (ERA, 2017)



Showing wood rot and missing bargeboard (ERA, 2017)



Rubble stone foundation wall in good repair (ERA, 2017)



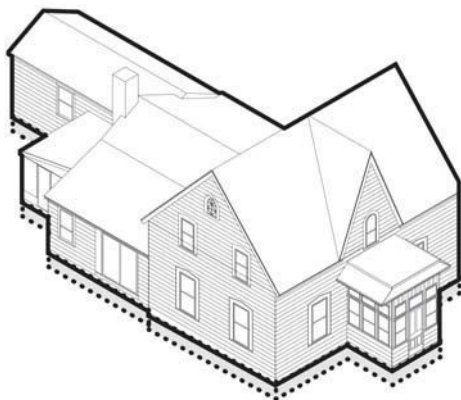
Porch details in poor condition (ERA, 2017)



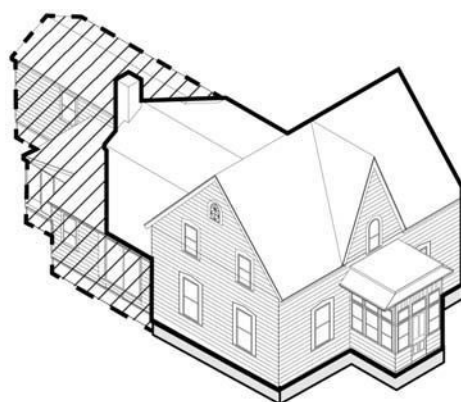
Showing original lancet window in attic in good repair, and brickwork in poor condition (ERA, 2017)

3 RELOCATION STRATEGY

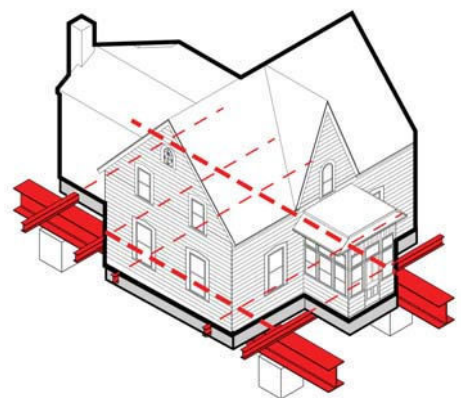
The house will be relocated as follows:



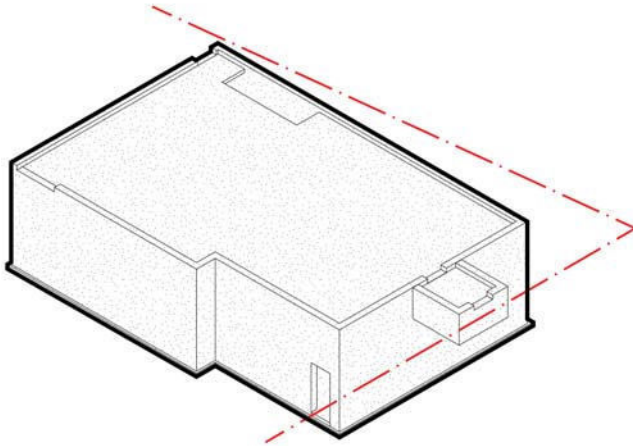
1) DISCONNECT SERVICES AND EXCAVATE AROUND THE FOUNDATION TO FACILITATE INSTALLATION OF STEEL BEAMS.



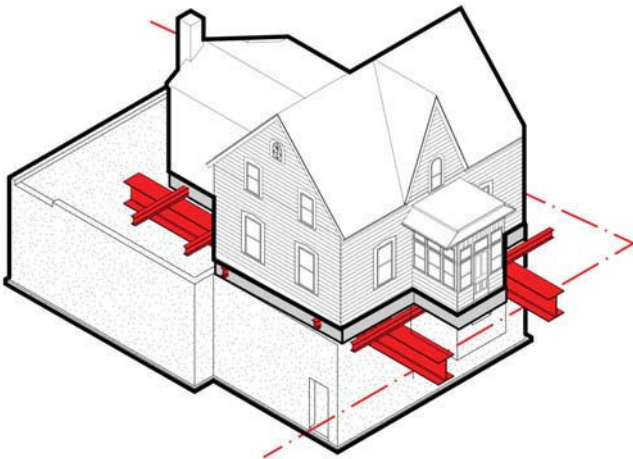
2) DEMOLISH REAR ADDITIONS. RETAIN PIONEER STRUCTURE AND BOWED RAFTERS. STABILIZE 2.5 STOREY STRUCTURE, 1 STOREY PORTICO AND PIONEER STRUCTURE.



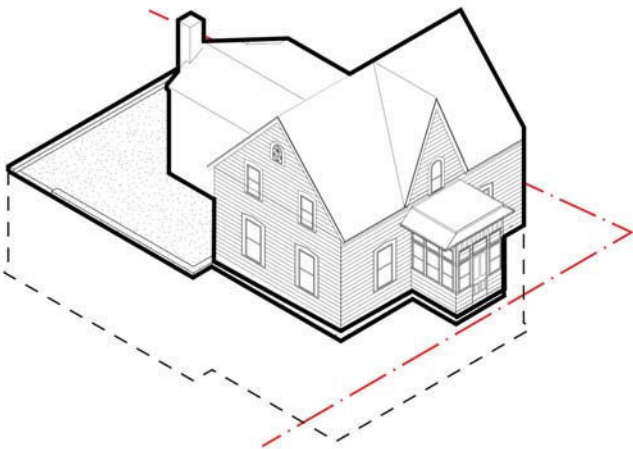
3) INSERT 2 LONGITUDINAL BEAMS AND CROSS LOADER BEAMS AS REQUIRED. RAISE AND SHIM STEEL FRAMEWORK TO UNDERSIDE OF BUILDING, THEN JACK ON CRIBBING PILES. REMOVE BASEMENT.



4) CONSTRUCT FOUNDATIONS, BASEMENT FLOOR AND GROUND FLOOR AT NEW SITE.



5) RELOCATE HOUSE TO NEW FOUNDATIONS WITH 2 ROLLER BEAMS UNDER THE MAIN 2 LONGITUDINAL BEAMS.



6) SECURE HERITAGE HOUSE TO NEW FOUNDATION AND BEGIN CONSERVATION WORK.

4 CONSERVATION SCOPE OF WORK

4.1 Conservation Approach

The proposed conservation scope is rehabilitation. The former dwelling recently housed commercial uses. After it is relocated, it will be used as a temporary sales centre for the proposed development of the Site.

Following its use as a sales centre it will likely continue to be used for commercial purposes (to be confirmed). The scope of work associated with its long term use and the integration of the rear addition will be described in future documents.

In order to protect the heritage resources of the Site, the following conservation scope has been prepared, specifically addressing the heritage features identified in the draft Statement of Significance in the accompanying Heritage Impact Assessment by ERA Architects dated June 14, 2018.

All proposed conservation work will follow heritage principles and guidelines found in Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (Appendix I).

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

-Standards and Guidelines for the Conservation of Historic Places in Canada

4.2 Exterior Elevations

The conservation work for the exterior elevations will proceed in two phases. First, the north, east (principal), and south elevations will undergo conservation work. The existing vinyl will be removed and the wood siding either prepared, primed, and painted or replaced to match existing. Color to be determined.

The west (rear) elevation will undergo conservation work after the design of the new rear addition is confirmed and approved.

4.3 Windows & Doors

The existing wood windows will be refurbished and, where new PVC windows are located, replaced with new wood windows to match. This pertains to all the windows on the north, east (principal), and south elevation. There are no windows on the west (rear) elevation.

Both front doors will be refurbished and reinstalled. (The front portico door as well as the earlier front door leading into the main building block)

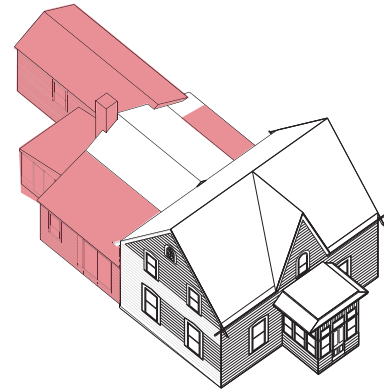
4.4 Removal of Rear Additions

All later additions, with the exception of the pioneer structure, will be removed and made available for salvage. See diagram to the right.

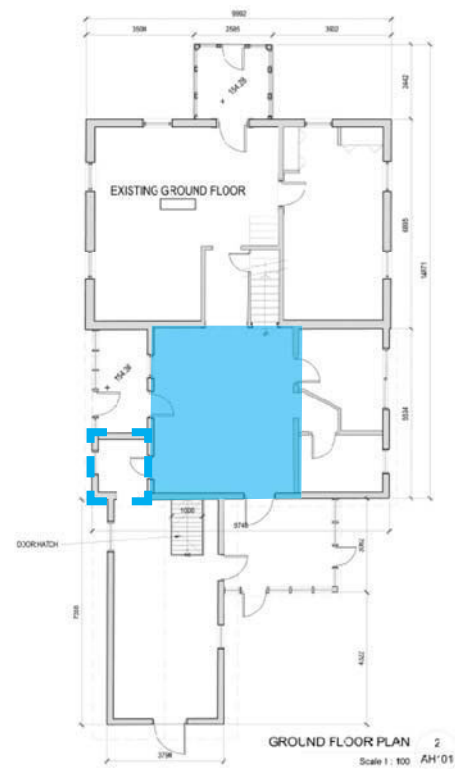
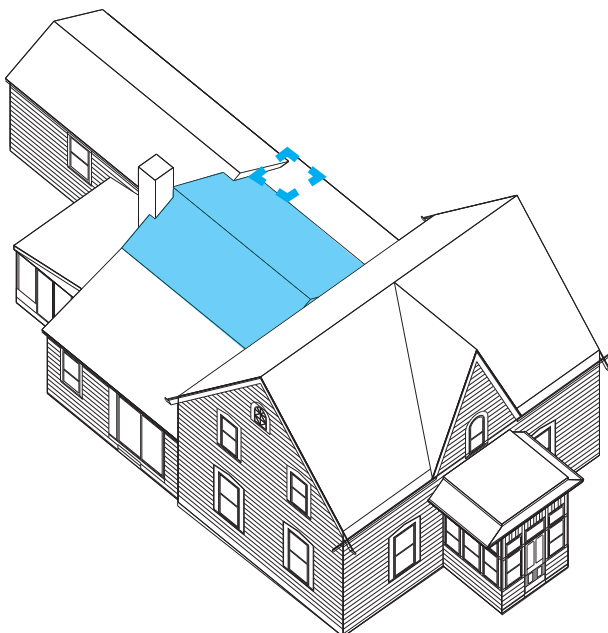
4.5 Pioneer Portion

The pioneer portion (highlighted in blue) will be conserved. It will remain connected to the larger house form and relocated to the new location. It will be protected and unoccupied during the interim period of the temporary sales centre. When the rear addition design is approved, it will be integrated into the new structure. Within the new structure, the later cladding will be removed to expose the high quality craftsmanship woodwork and select areas of original plaster may be exposed.

The bowed rafters (identified by the circled blue below), will be salvaged.



Areas of removal highlighted in red (ERA, 2018).



The framing of the pioneer framing shown above (and highlighted in blue in plan and in the axonometric diagram) will be conserved, which may include further alterations such as removal of some columns or beams (ERA, 2018). The area circled in blue will be dismantled and salvaged for reuse on site.

4.6 Decorative Bargeboard & Gable Trim Work

The existing gable trim work will be repaired, prepared, primed, and painted. The missing wood elements will be restored to match existing.

4.7 Roof Conservation and Repair

The roof will be replaced with a new plywood deck (if necessary), shingles (colour to be decided), roof insulation, roof vents, and new copper flashings.

4.8 Foundation Salvage Strategy

The original rubble stone foundation will be salvaged and made available for reuse.

4.9 Outbuilding Salvage Strategy

The outbuilding will be demolished and its original timber salvaged and made available for reuse.

4.10 Conservation Notes

Old Bronte Conservation Notes – Phase 1

C-000 DEMOLITION AND HOUSE RELOCATION WORK

C-001: REMOVE EXISTING 1-STOREY REAR ADDITIONS, 1-STOREY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.

C-002: DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).

C-003: RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.

C-004: PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-005: STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STOREY FRONT PORTICO AND 1-STOREY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS, ENGINEER TO CONFIRM.

C-006: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS

C-007: REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL RUBBLE STONE FOR REUSE.

C-008: DEMOLISH AND INFILL EXISTING BASEMENT.

C-009: ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-010: RETAIN EXISTING 2.5 STOREY HOUSE, 1-STOREY FRONT PORTICO AND 1-STOREY PIONEER STRUCTURE AND RELOCATE TO NEW LOCATION.

C-011: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).

C-012: SALVAGE EXISTING BOWED WOOD ROOFRAFTERS

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION).

C-101: REMOVE EXISTING WINDOWS, DOORS AND METAL GRILLS. PROVIDE PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS.

C-102: REMOVE ASPHALT SHINGLE ROOF AND FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-103: REMOVE ALL METAL FLASHINGS, RAINWATER DOWNPIPES AND GUTTERS.

C-104: SALVAGE EXISTING WOOD WINDOWS AND DOOR TO BE RERUBISHED.

C-105: REMOVE ALL EXISTING VINYL FROM ALL ELEVATIONS, AFTER THE HOUSE IS RELOCATED (TYP).

C-106: REMOVE EXISTING ATTIC FLOORS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.

C-107: REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.

C-200 MASONRY

C-201: REPAIR AND REBUILD INTERIOR BRICK CHIMNEYS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT AS REQUIRED, ENGINEER TO CONFIRM.

C-202: CLAD THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL OF THE HERITAGE HOUSE IN SALVAGED LAKESTONE.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP).

C-302: REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402: PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403: ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404: PREPARE, PRIME, PAINT ALL EXTERIOR WOOD (TYP).

C-405: REPAIR DETERIORATED EXTERIOR WOOD TO MATCH EXISTING (TYP).

C-406: RESTORE MISSING EXTERIOR WOOD TO MATCH EXISTING (TYP).

C-407: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408: PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

5 MAINTENANCE RECOMMENDATIONS

5.1 Scope of Work

With respect to continual maintenance, there are a number of procedures that should be undertaken on a regular basis, as follows:

Yearly

- Clean roof drains and rainwater leaders;
- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

Every 3-5 Years

- Complete an updated condition assessment of the building to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing, and adjacent grade conditions.

Every 5-10 Years

- Painting of exposed wood elements including fascia, painting and sealing of windows, renewal of caulking, inspection of operating hardware and weatherstripping.

10-20 Years

- Replacement of roofing membrane and flashings;
- Selective repointing of mortar joints in exposed locations.
- The creation of a maintenance log with regular entries of inspection and maintenance activity is key to refining the time frames for maintenance work, as the particular configuration and features of the building will provide their own rhythm of requirements to ensure ongoing conservation.

5.2 General Criteria for Hiring Qualified Specialists

Please refer to the Heritage Specifications for a breakdown of required qualifications per scope of conservation work. The contractor(s) will undertake the work in accordance with the Heritage Architects' specifications. This work will be reviewed on site by a consultant with heritage experience for general conformance with heritage guidelines, the conservation notes described in this Conservation Plan, and the Heritage Architects' specifications.

6 CONCLUSION

This report finds that the proposal to relocate and rehabilitate the building at 2460 Old Bronte Road as well as salvage the outbuilding at 2444 Old Bronte and the foundation of 2460 Old Bronte Road appropriately conserves the cultural heritage value of the heritage resources on Site.

7 APPENDICES

Appendix I: Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada

The Standards and Guidelines describes three approaches to treating a heritage site: (Source: Standards and Guidelines, 2nd Ed, Glossary)

- *Preservation: The action or process of protecting, maintaining, and /or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*
- *Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*
- *Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value.*

The primary treatment of 2460 Old Bronte Road is Rehabilitation.

The Standards and Guidelines recognize twelve possible standards in the rehabilitation process of historic properties. These standards have been listed below. One through nine of these standards relate to all three conservation methods, while ten, eleven and twelve apply to rehabilitation only.

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of a historic place if its current location is a character defining element.
2. Conserve change to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

5. Find a use for a historic place that requires minimal or no change to its character- defining elements.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

8. Maintain character-defining elements on an outgoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form material and detailing of the new elements compatible with the character of the historic place.

11. Conserve the heritage value and character defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of a historic place with not be impaired if the new work is removed in the future.

Appendix II: Conservation Drawing Set by ERA Architects, dated August 10, 2018



2460, 2454 & 2444 OLD BRONTE RD

Project Address: Oakville, ON

Project No. 17-106-03

Issued for

CONSERVATION PLAN

AUGUST 10, 2018



HERITAGE ARCHITECT

ERA Architects
625 Church Street, Suite 600, Toronto, ON M4Y 2G1

HERITAGE DRAWING LIST

AH000	Cover Sheet
AH001	Conservation Notes
AH002	Existing Survey
AH003	Proposed Heritage House Relocation
AH004	Proposed Site Plan
AH005	Proposed Landscape Plan
AH101	Existing Basement and Ground Floor Plans
AH102	Existing Second and Attic Plans
AH103	Existing Roof Plan
AH104	Existing East and West Elevations
AH105	Existing North and South Elevations
AH106	Existing Section
AH201	Demolition Basement and Ground Floor Plans
AH202	Demolition Second and Attic Plans
AH203	Demolition Roof Plan
AH204	Demolition East and West Elevations
AH205	Demolition North and South Elevations
AH206	Demolition Section
AH301	Proposed Basement Plan
AH302	Proposed Ground Floor Plan
AH303	Proposed Second Floor Plan
AH304	Proposed Third Floor Plan
AH305	Proposed Roof Plan
AH501	Proposed East Elevation
AH502	Proposed West Elevation
AH503	Proposed South Elevation
AH504	Proposed North Elevation
AH601	Proposed Section

CONSERVATION NOTES

C-000 **DEMOLITION AND HOUSE RELOCATION WORK**

- C-001 REMOVE EXISTING 1-STOREY REAR ADDITIONS, 1-STOREY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STOREY FRONT PORTICO AND 1-STOREY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS, ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-010 RETAIN EXISTING 2.5 STOREY HOUSE, 1-STOREY FRONT PORTICO AND 1-STOREY PIONEER STRUCTURE AND RELOCATE TO NEW LOCATION.
- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.

C-100 **REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION)**

- C-101 REMOVE EXISTING WINDOWS, DOORS AND METAL GRILLS. PROVIDE PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS.
- C-102 REMOVE ASPHALT SHINGLE ROOF AND FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-103 REMOVE ALL METAL FLASHINGS, RAINWATER DOWNPIPES, AND GUTTERS.
- C-104 SALVAGE EXISTING WOOD WINDOWS AND DOOR TO BE RERUBISHED.
- C-105 REMOVE ALL EXISITNG VINYL FROM ALL ELEVATIONS, AFTER THE HOUSE IS RELOCATED (TYP).
- C-106 REMOVE EXISTING ATTIC FLOORS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.
- C-107 REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.

C-200 **MASONRY**

- C-201 REPAIR AND REBUILD INTERIOR BRICK CHIMNEYS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT AS REQUIRED, ENGINEER TO CONFIRM.
- C-202 CLAD THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL OF THE HERITAGE HOUSE IN SALVAGED LAKESTONE.

CONSERVATION NOTES

C-300 **WINDOWS AND DOORS**

- C-301 PROVIDE NEW WOOD WINDOWS (TYP).
- C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 **WOOD, ROOF, AND METAL WORK**

- C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).
- C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.
- C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).
- C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP) .
- C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).
- C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).
- C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.
- C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

CONSERVATION LEGEND

WOOD	
	RESTORE/RECREATE MISSING DECORATIVE WOOD ELEMENT
	REPAIR DETERIORATED DECORATIVE WOOD ELEMENT

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6	2018-07-10	COORDINATION DRAFT
7	2018-07-18	CLIENT COORDINATION
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9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

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LEGEND



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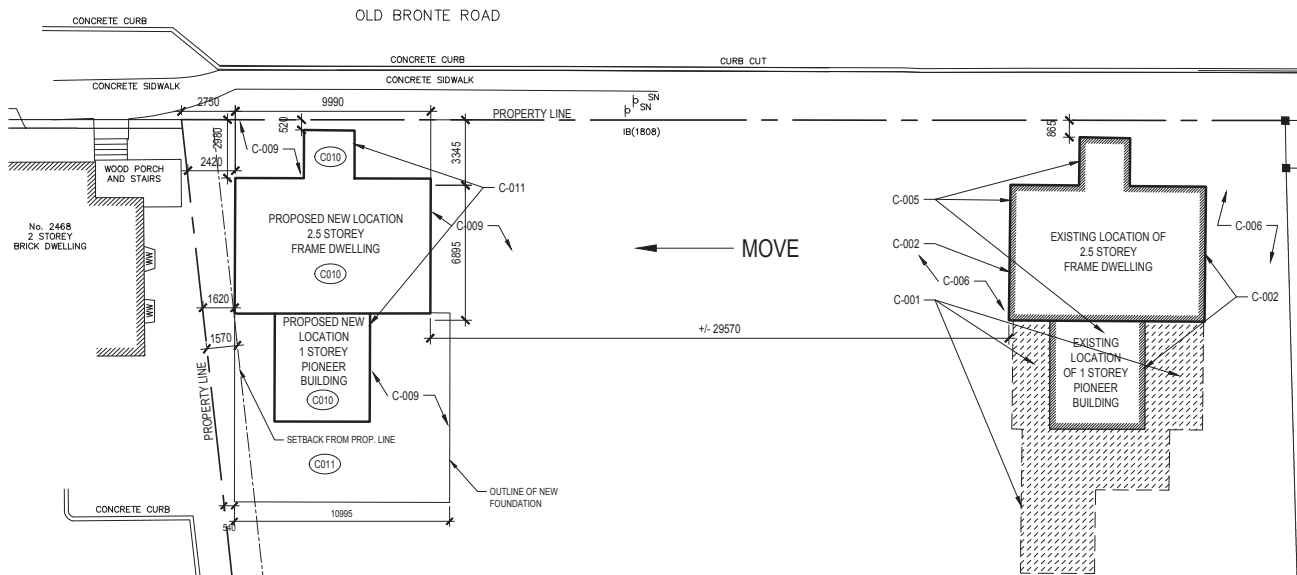
E.R.A. Architects Inc.

Project	
2460, 2454 & 2444 OLD BRONTE RD	
Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 1/1x17	NA
Drawn by	JQ
Reviewed by	JQ
Drawing title	

Conservation Notes

Sheet no.

AH001



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

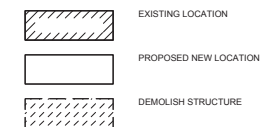
- C-001 REMOVE EXISTING 1-STOREY REAR ADDITIONS, 1-STOREY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STOREY FRONT PORTICO AND 1-STOREY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS. ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
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- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.

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Project

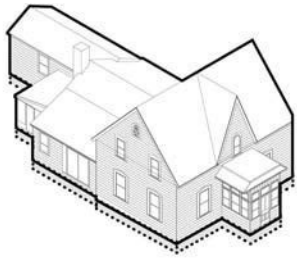
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 250
Drawn by	JQ
Reviewed by	JQ
Drawing title	

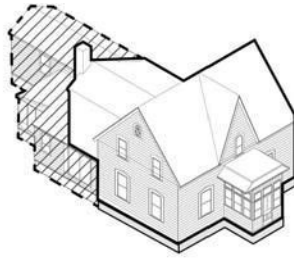
Proposed Heritage House Relocation

Sheet no.

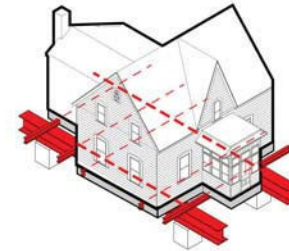
AH003



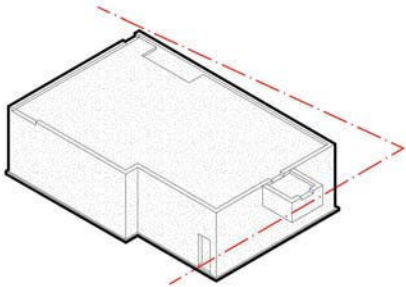
1) DISCONNECT SERVICES AND EXCAVATE AROUND THE FOUNDATION TO FACILITATE INSTALLATION OF STEEL BEAMS.



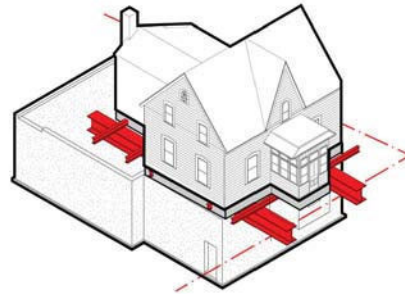
2) DEMOLISH REAR ADDITIONS. RETAIN PIONEER STRUCTURE AND BOWED RAFTERS. STABILIZE 2.5 STOREY STRUCTURE, 1 STOREY PORTICO AND PIONEER STRUCTURE.



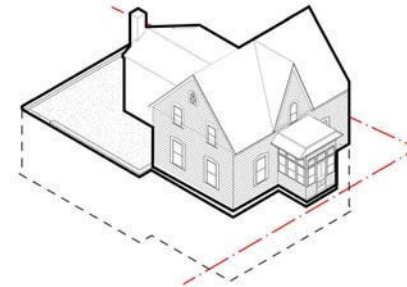
3) INSERT 2 LONGITUDINAL BEAMS AND CROSS LOADER BEAMS AS REQUIRED. RAISE AND SHIM STEEL FRAMEWORK TO UNDERSIDE OF BUILDING, THEN JACK ON CRIBBING PILES. REMOVE BASEMENT.



4) CONSTRUCT FOUNDATIONS, BASEMENT FLOOR AND GROUND FLOOR AT NEW SITE.



5) RELOCATE HOUSE TO NEW FOUNDATIONS WITH 2 ROLLER BEAMS UNDER THE MAIN 2 LONGITUDINAL BEAMS.



6) SECURE HERITAGE HOUSE TO NEW FOUNDATION AND BEGIN CONSERVATION WORK.

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	DEMOLISH STRUCTURE
	EXCAVATE AROUND FOUNDATION
	HIDDEN LINE OF BEAM
	PROPERTY LINE
	HIDDEN LINE OF NEW BASEMENT

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Project

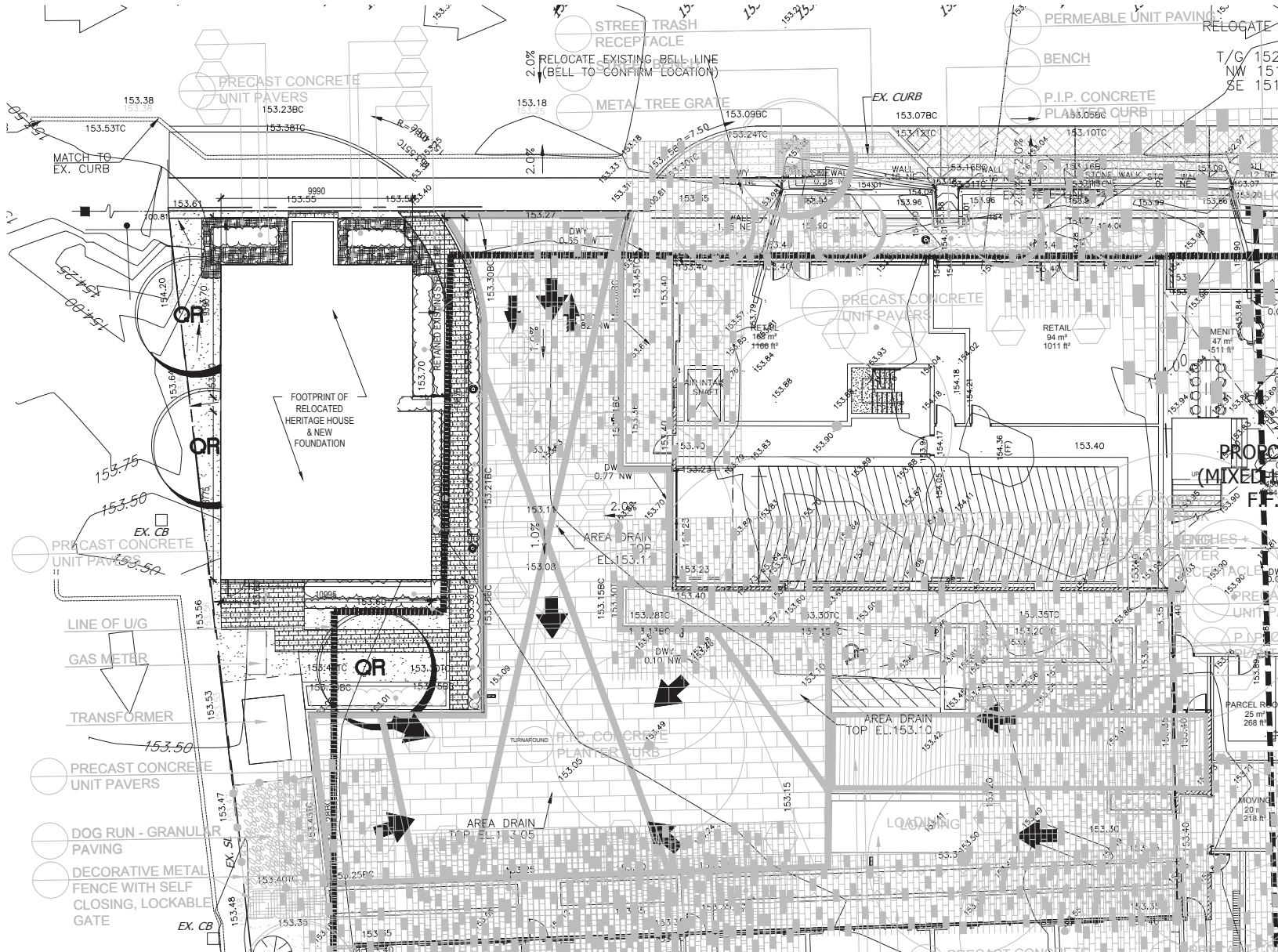
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 1/1x17	NTS
Drawn by	MY
Reviewed by	JQ
Drawing title	

Proposed Relocation
Strategy Diagrams

Sheet no.

AH004



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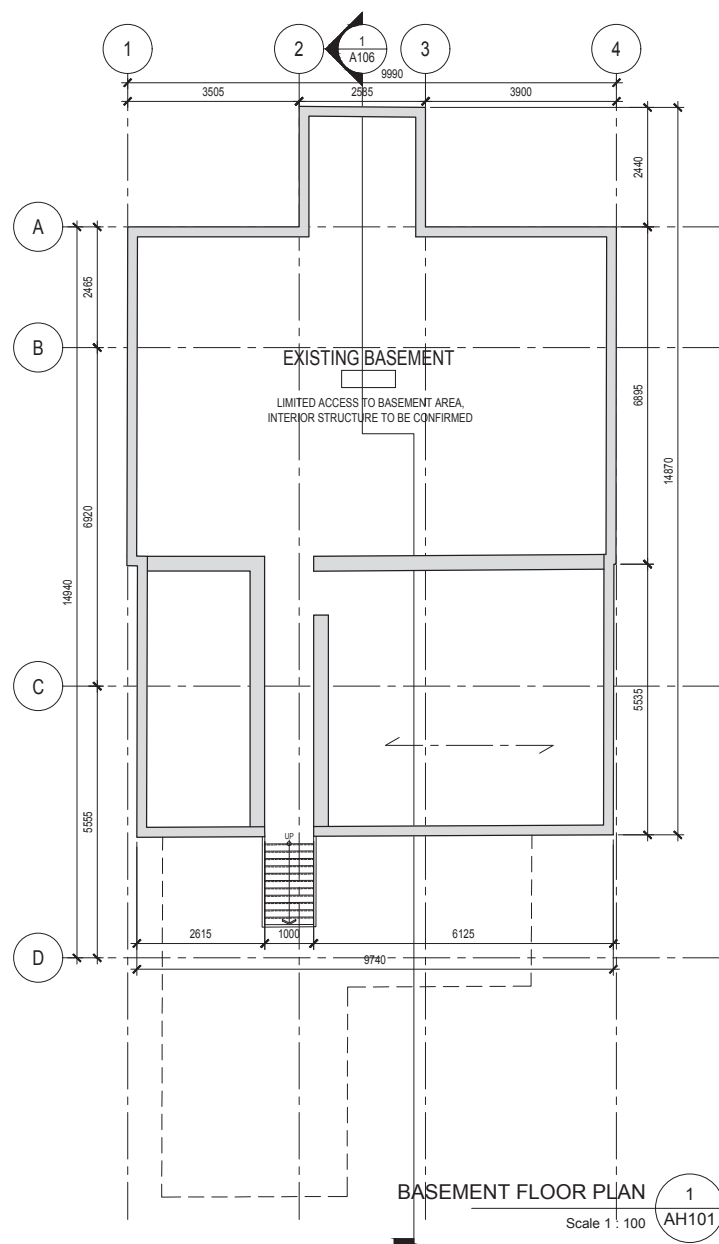
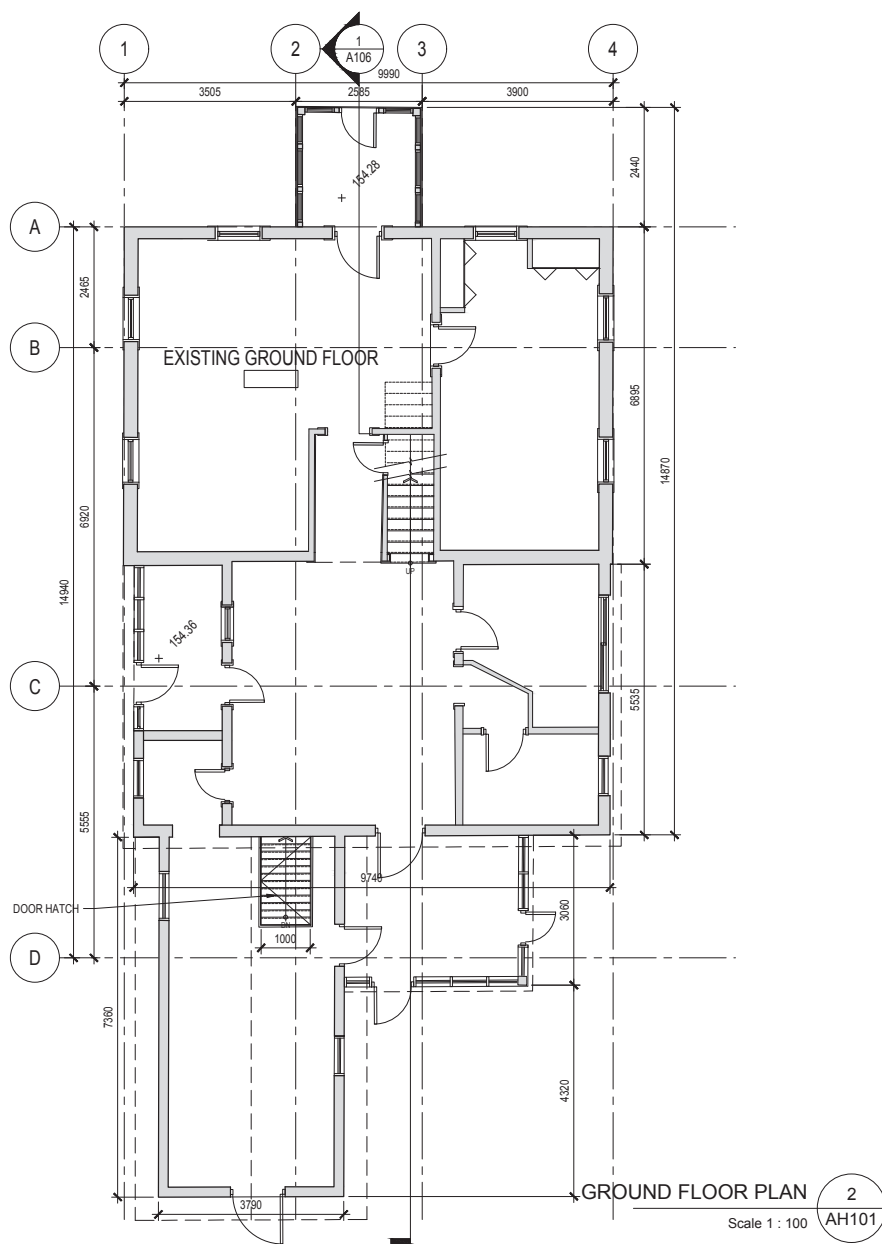
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For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 200
Drawn by	SBK/ERA
Reviewed by	JQ
Drawing title	Proposed Landscape Plan

Sheet no.

AH006



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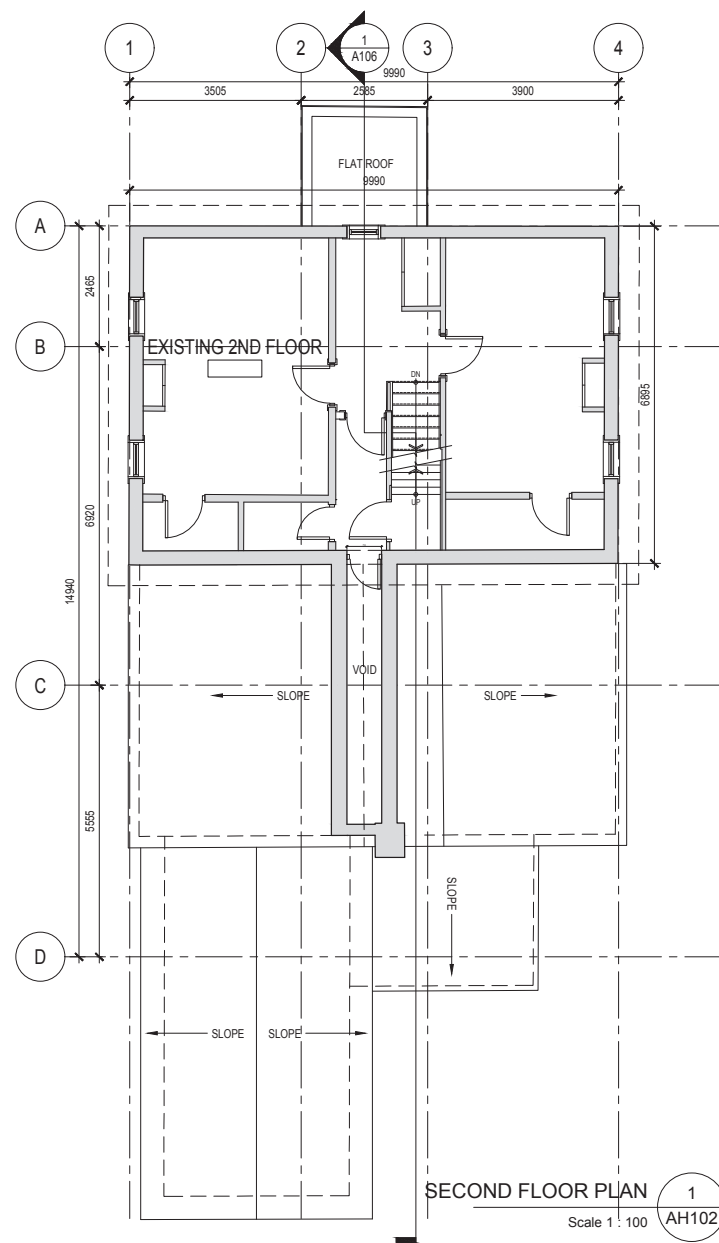
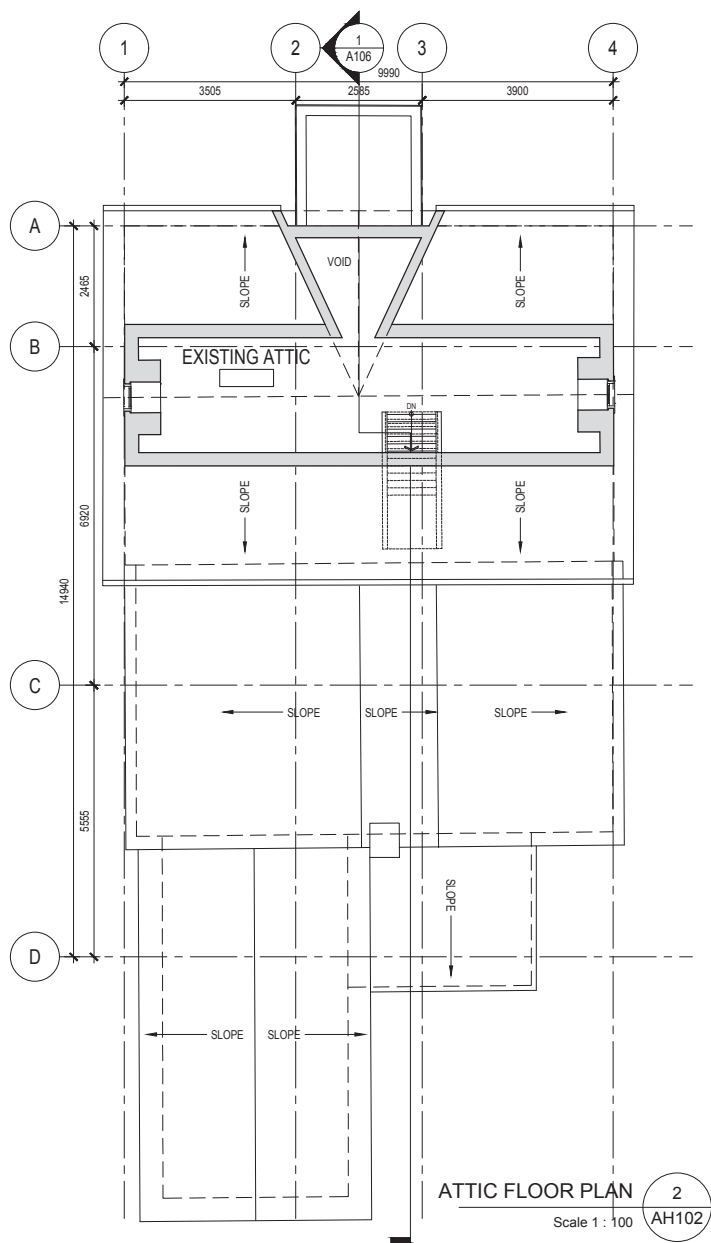
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Project no. 17-106-03
Scale at 11x17 1 : 100
Drawn by RM
Reviewed by JQ
Drawing title

Existing Basement and
Ground Floor Plans

Sheet no.

AH101



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Project no. 17-106-03

Scale at 11x17 1 : 100

Drawn by RM

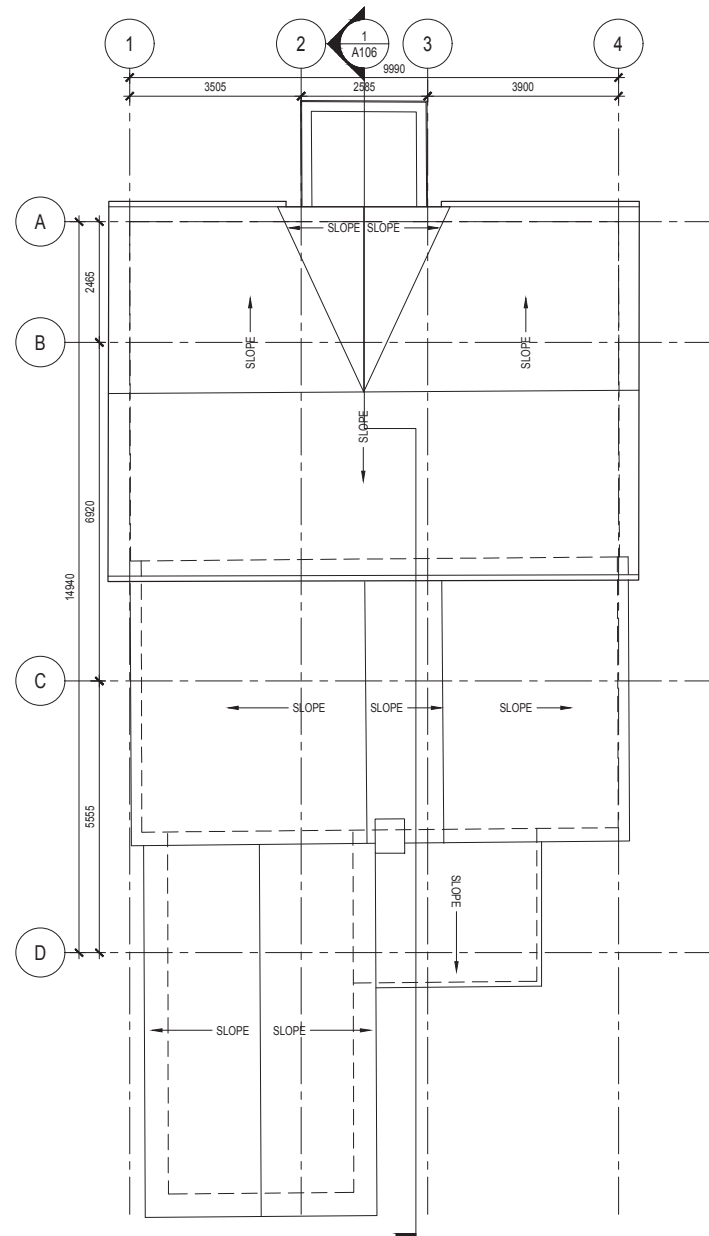
Reviewed by JQ

Drawing title

Existing Second and Attic Floor Plans

Sheet no.

AH102



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Project

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Scale at 1/1x17 1 : 100

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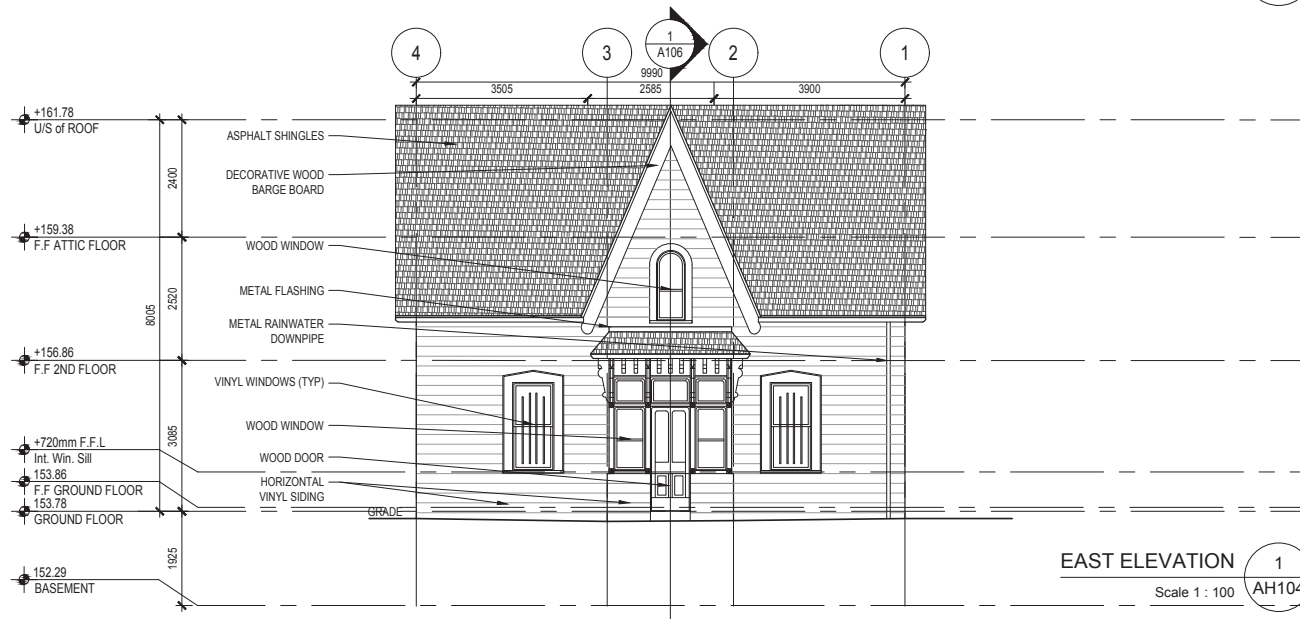
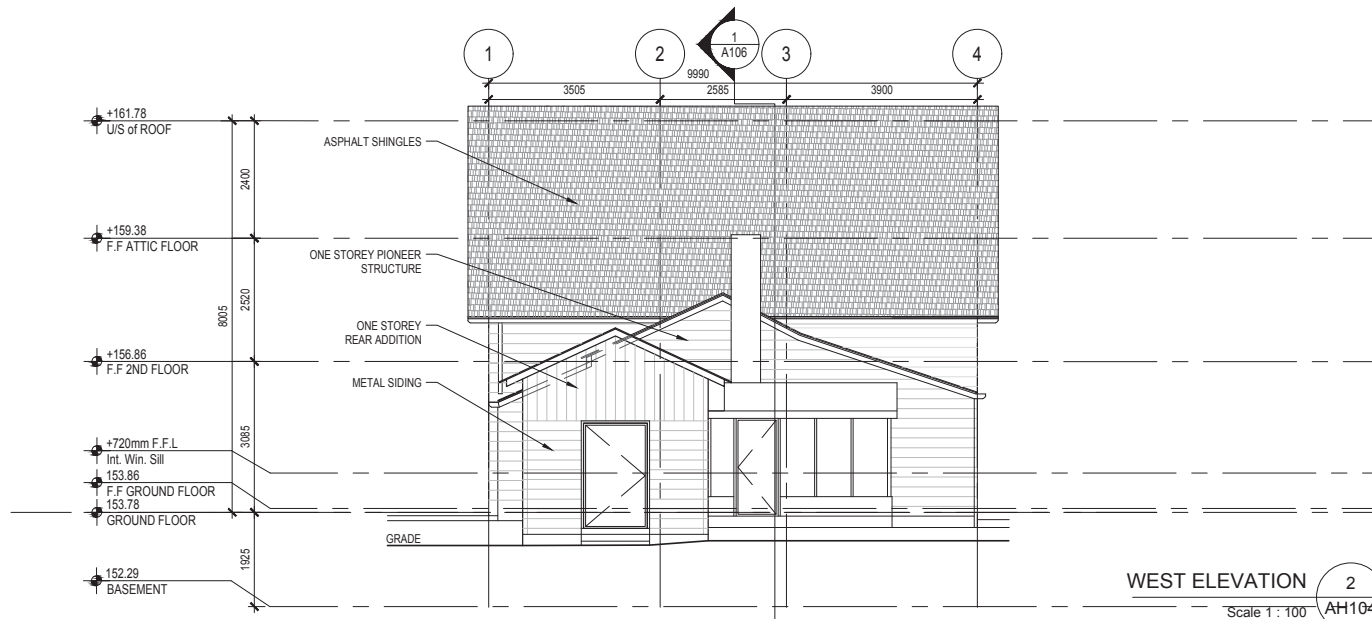
Reviewed by JQ

Drawing title

Existing Roof Plan

Sheet no.

AH103



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Project no. 17-106-03

Scale at 1:1x17 1 : 100

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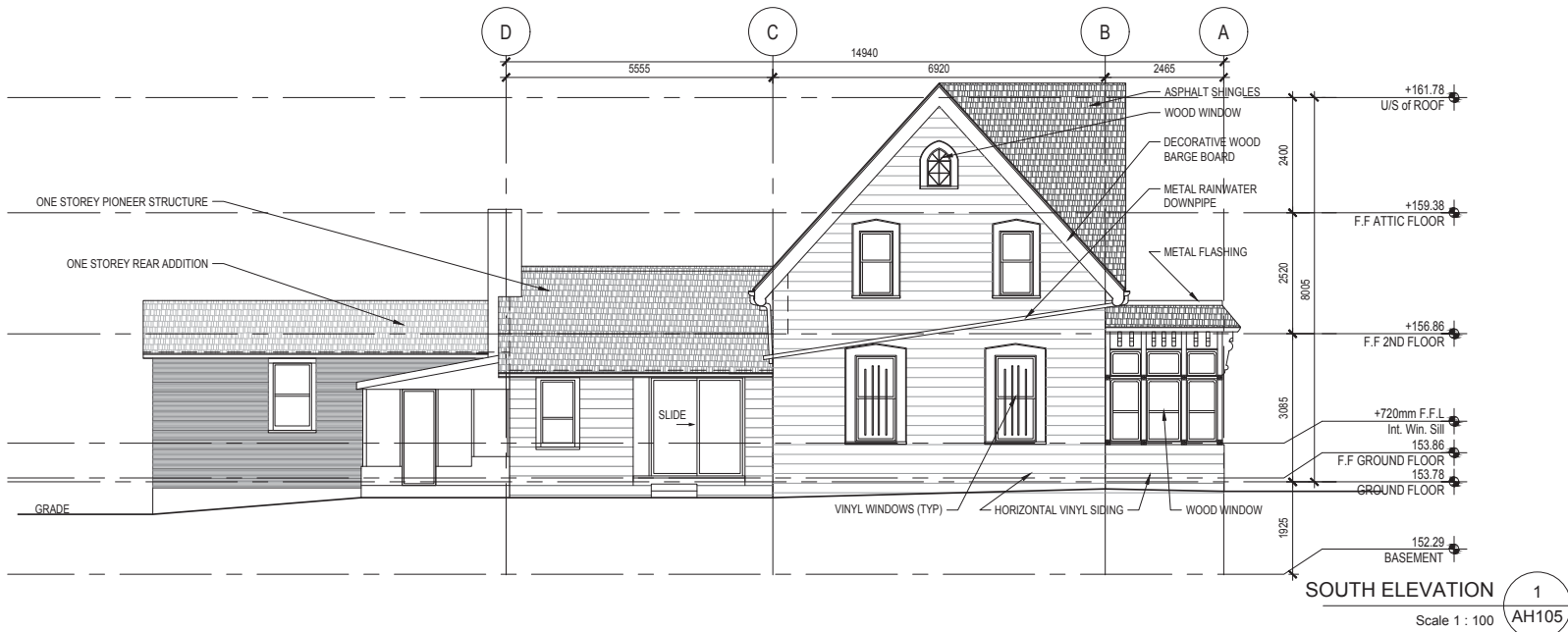
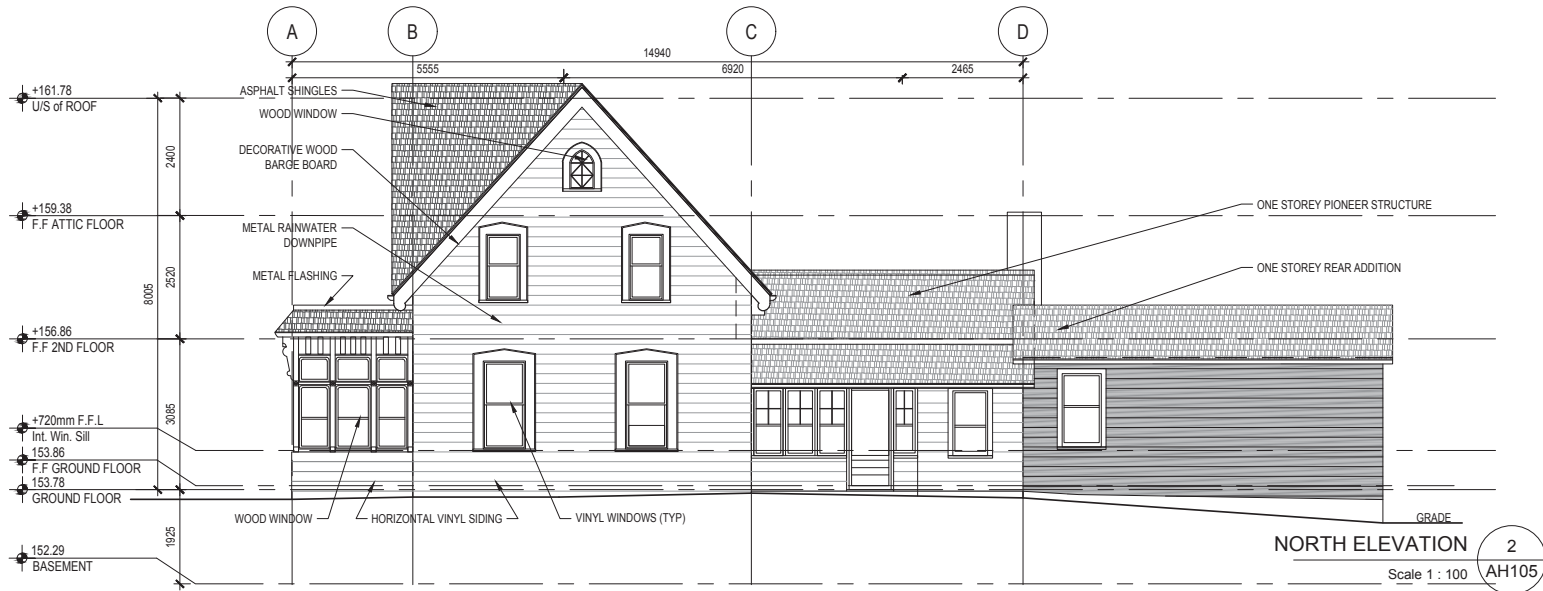
Reviewed by JQ

Drawing title

Existing East and West Elevations

Sheet no.

AH104



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For Zancor Oakville Ltd.

Project no. 17-106-03

Scale at 1:1x17 1 : 100

Drawn by RM/JQ

Reviewed by JQ

Drawing title

Existing North and South Elevations

Sheet no.

AH105

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LEGEND

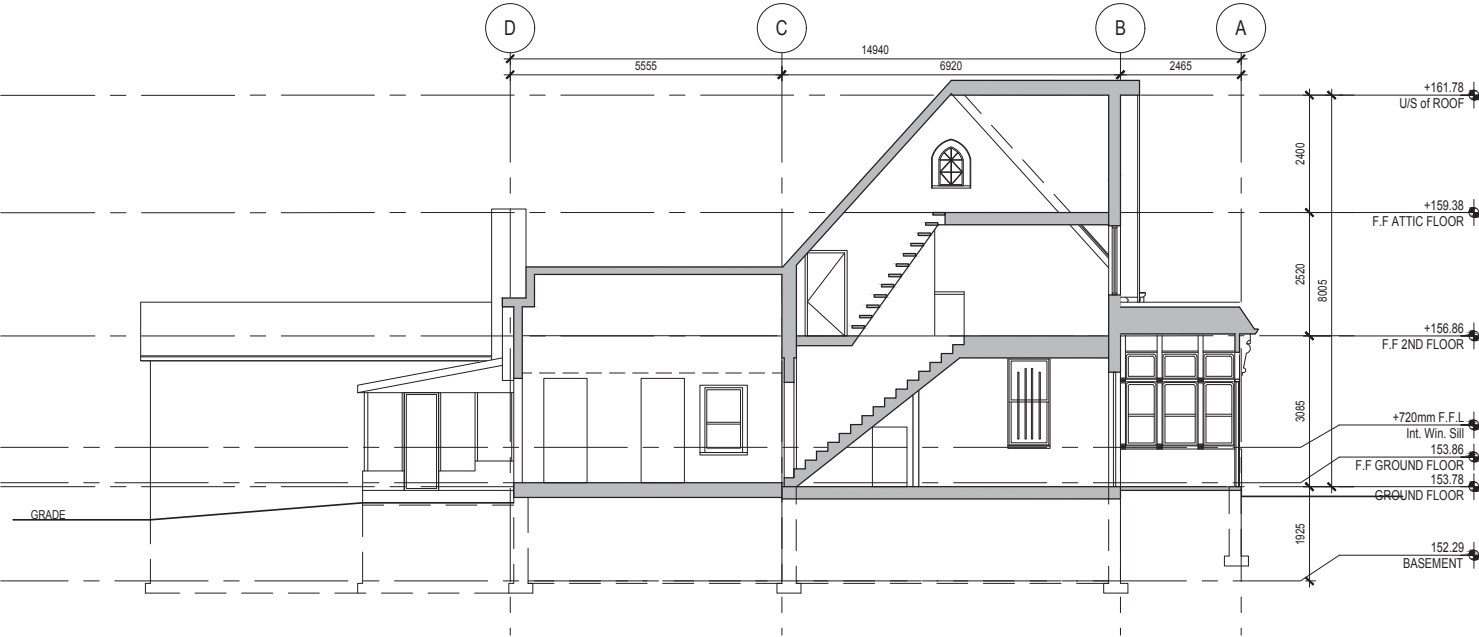


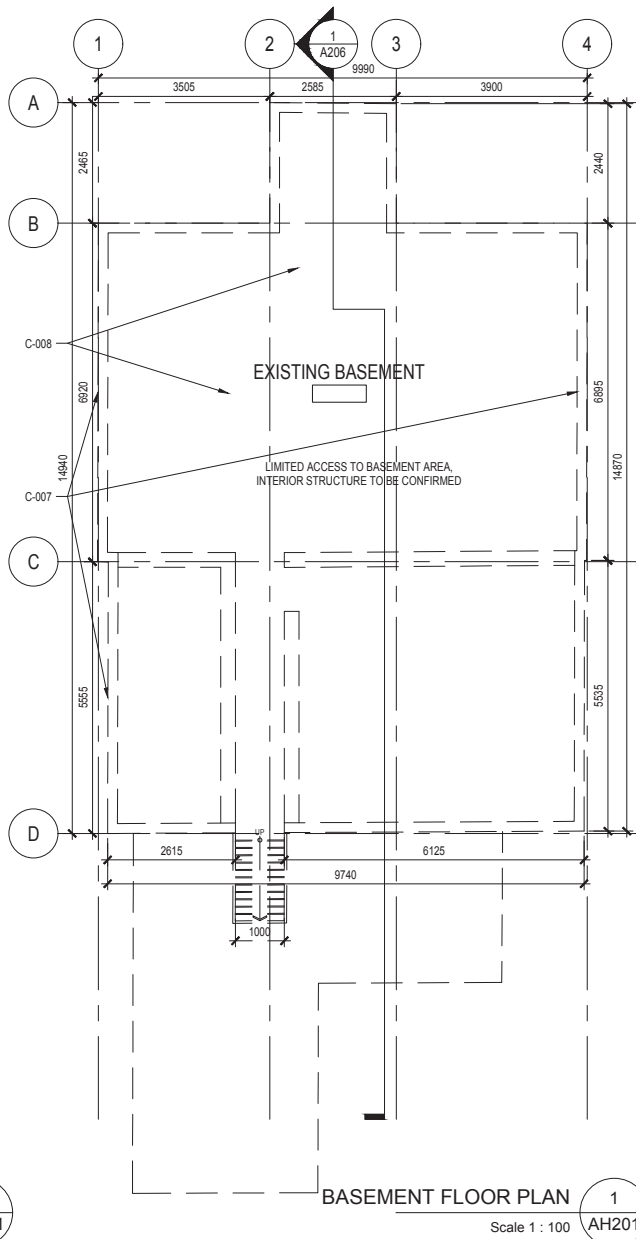
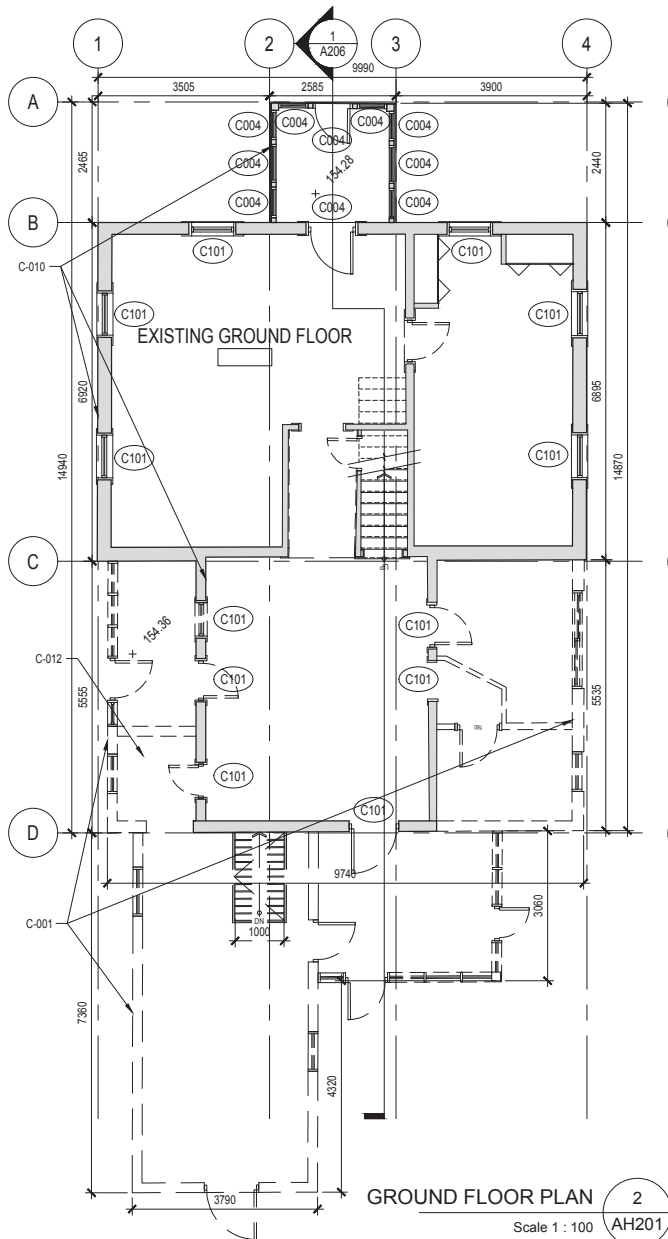
Project	2460, 2454 & 2444 OLD BRONTE RD
Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

Existing Section

Sheet no.

AH106





CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

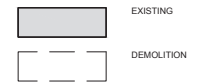
- C-001 REMOVE EXISTING 1-STORY REAR ADDITIONS, 1-STORY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS. ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
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- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.
- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION)**
- C-101 REMOVE EXISTING WINDOWS, DOORS AND METAL GRILLS. PROVIDE PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS.
- C-102 REMOVE ASPHALT SHINGLE ROOF AND FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-103 REMOVE ALL METAL FLASHINGS, RAINWATER DOWNPIPES, AND GUTTERS.
- C-104 SALVAGE EXISTING WOOD WINDOWS AND DOOR TO BE RERUBISHED.
- C-105 REMOVE ALL EXISTING VINYL FROM ALL ELEVATIONS, AFTER THE HOUSE IS RELOCATED (TYP).
- C-106 REMOVE EXISTING ATTIC FLOORS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.
- C-107 REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.

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9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



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625 Church Street, Suite 800
Toronto, ON, Canada, M5V 2J1
E.R.A. Architects Inc.



Project

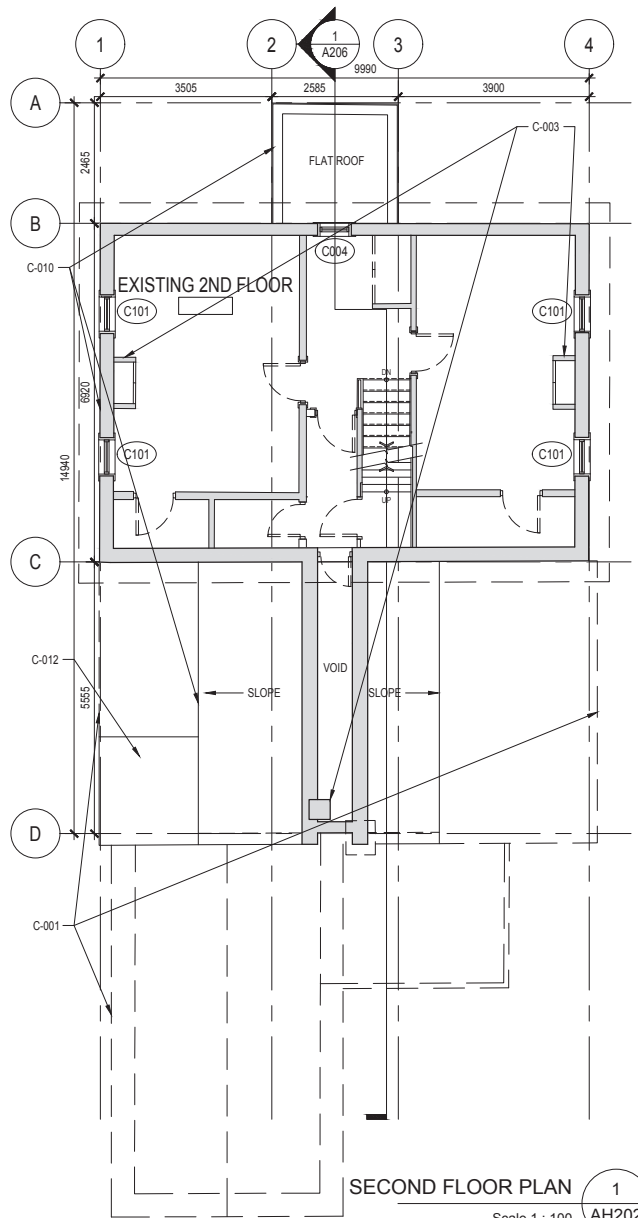
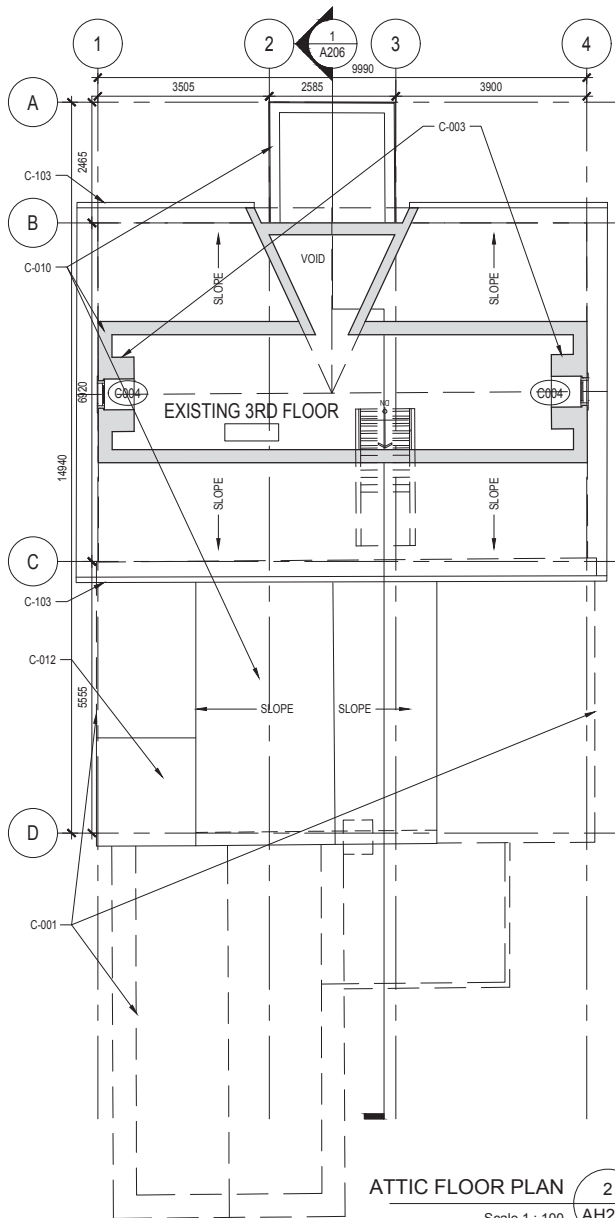
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

Demolition Basement and
Ground Floor Plans

Sheet no.

AH201



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

- C-001 REMOVE EXISTING 1-STORY REAR ADDITIONS, 1-STORY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS, ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
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- C-103 REMOVE ALL METAL FLASHINGS, RAINWATER DOWNPIPES, AND GUTTERS.
- C-104 SALVAGE EXISTING WOOD WINDOWS AND DOOR TO BE RERUBISHED.
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- C-106 REMOVE EXISTING ATTIC FLOORS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.
- C-107 REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL

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7	2018-07-18	CLIENT COORDINATION
8	2018-07-19	CLIENT COORDINATION
9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



Project

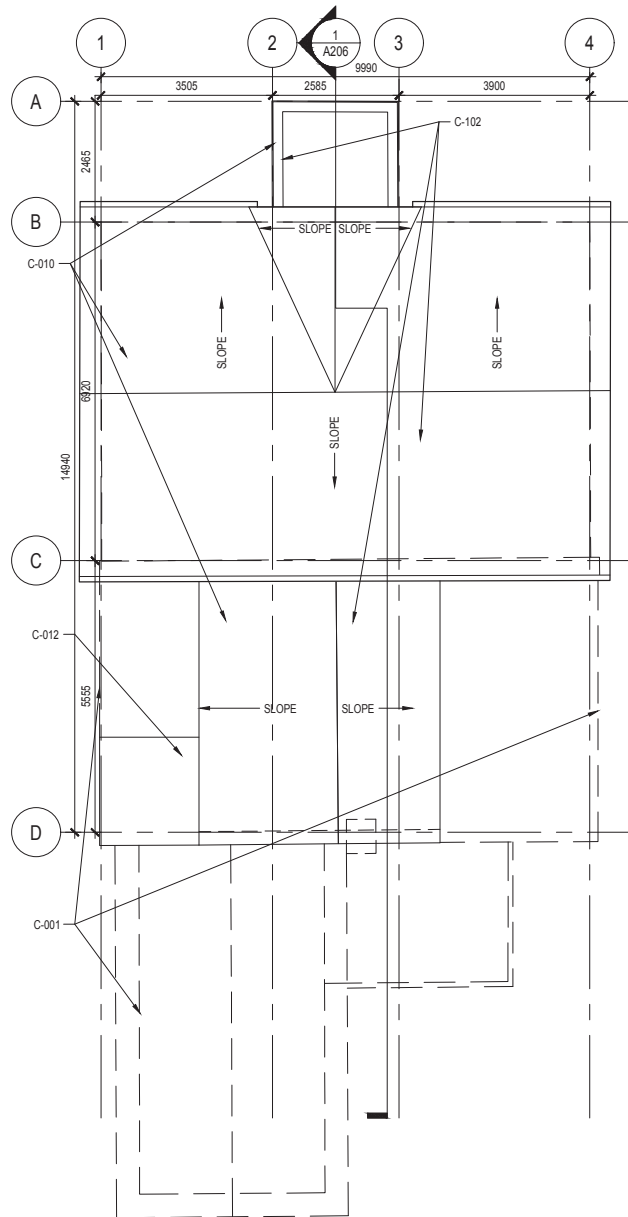
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

Demolition Second and Attic Floor Plans

Sheet no.

AH202



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

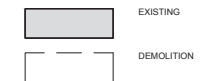
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- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS. ENGINEER TO CONFIRM.
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9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



Project

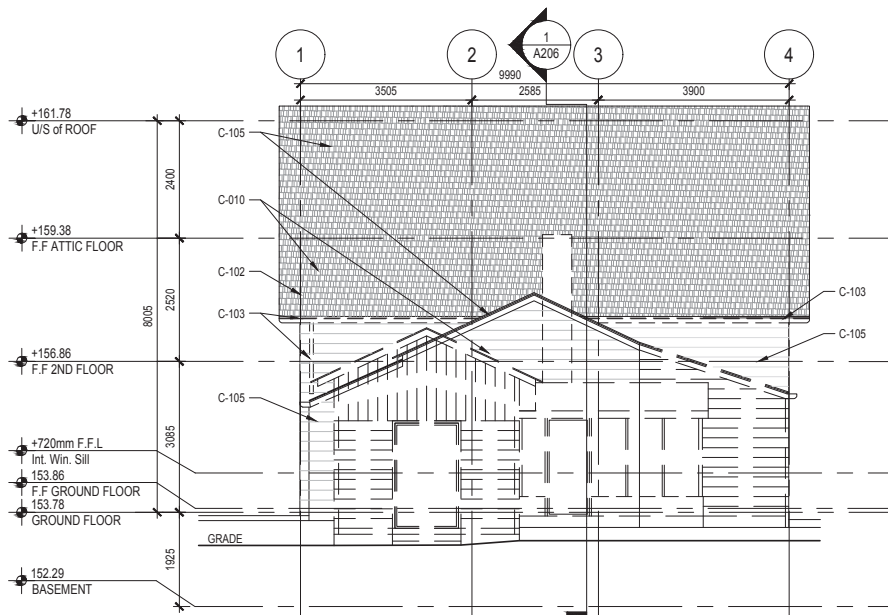
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

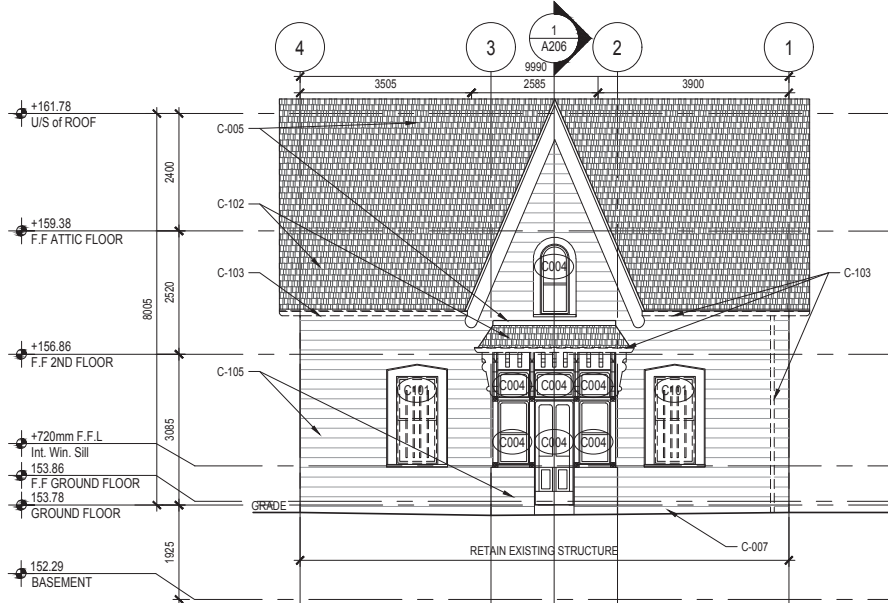
Demolition Roof Plan

Sheet no.

AH203



WEST ELEVATION 2
Scale 1 : 100 AH204



EAST ELEVATION 1
Scale 1 : 100 AH204

CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

C-001 REMOVE EXISTING 1-STORY REAR ADDITIONS, 1-STORY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.

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C-008 DEMOLISH AND INFILL EXISTING BASEMENT.

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C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION)

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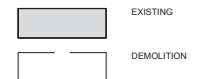
C-107 REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.

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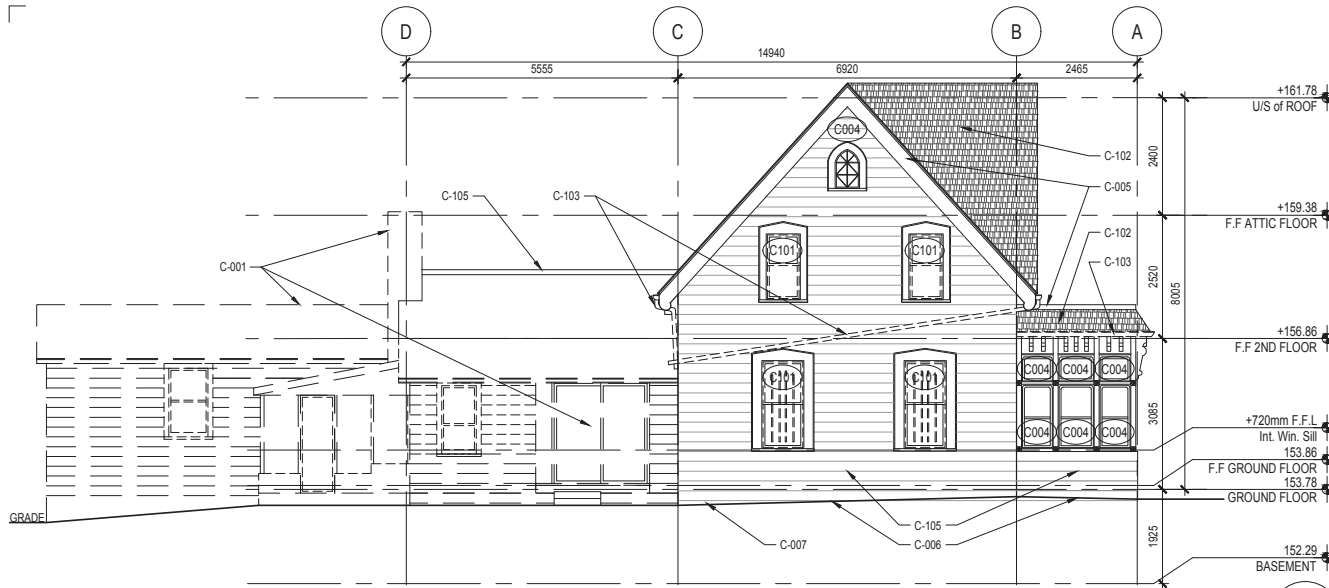


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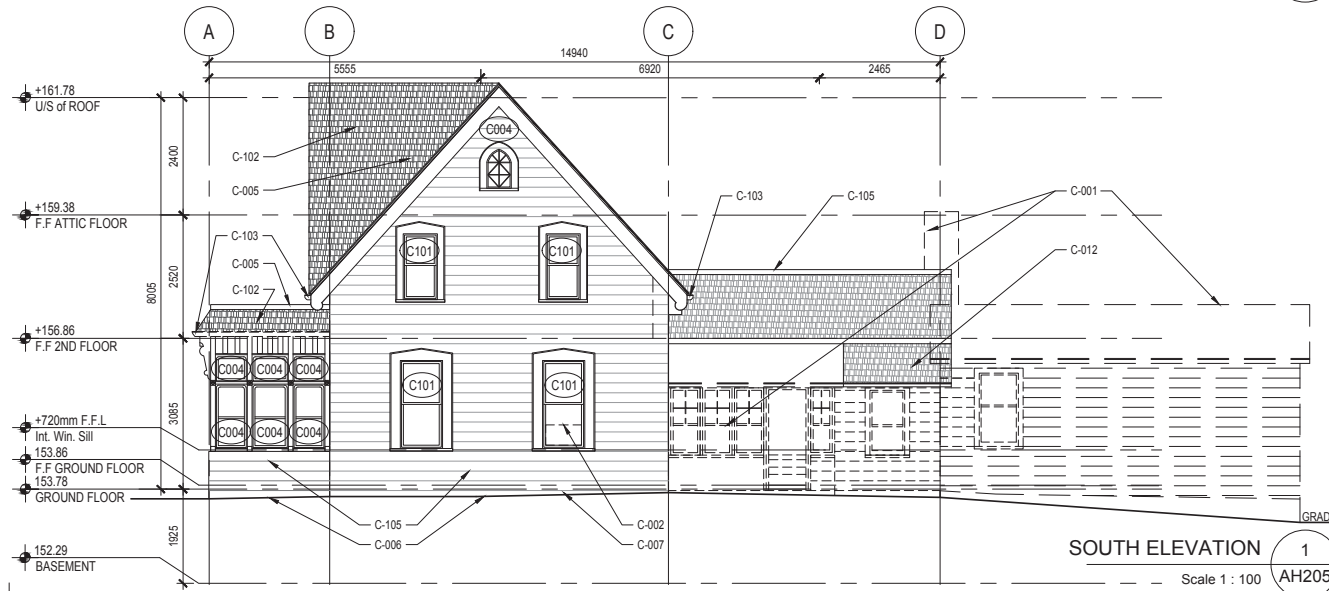
Project	2460, 2454 & 2444 OLD BRONTE RD
Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	Demolition East and West Elevations

Sheet no.

AH204



NORTH ELEVATION 2
Scale 1 : 100 AH205



SOUTH ELEVATION 1
Scale 1 : 100 AH205

CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

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C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION)

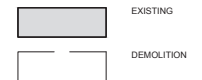
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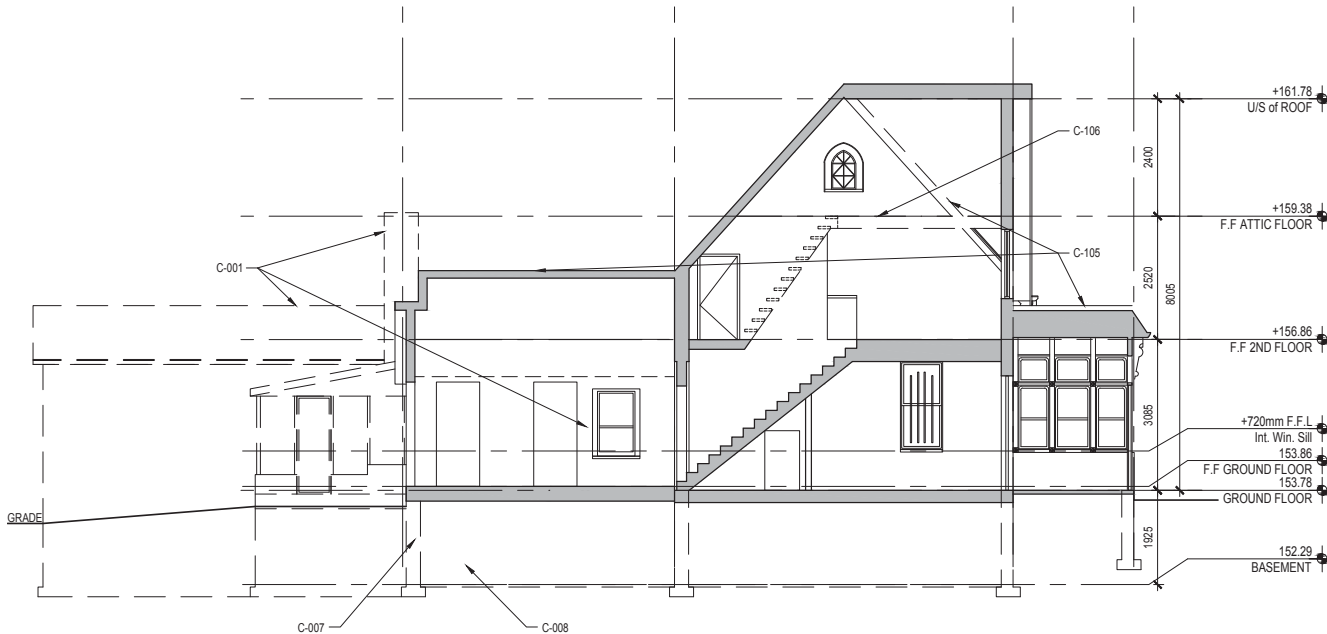


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Scale at 11x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	Demolition North and South Elevations

Sheet no.

AH205



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

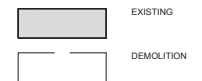
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- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS. ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-010 RETAIN EXISTING 2.5 STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE AND RELOCATE TO NEW LOCATION.
- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.
- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION)**
- C-101 REMOVE EXISTING WINDOWS, DOORS AND METAL GRILLS. PROVIDE PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS.
- C-102 REMOVE ASPHALT SHINGLE ROOF AND FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-103 REMOVE ALL METAL FLASHINGS, RAINWATER DOWNPIPES, AND GUTTERS.
- C-104 SALVAGE EXISTING WOOD WINDOWS AND DOOR TO BE RERUBISHED.
- C-105 REMOVE ALL EXISTING VINYL FROM ALL ELEVATIONS, AFTER THE HOUSE IS RELOCATED (TYP).
- C-106 REMOVE EXISTING ATTIC FLOORS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL FRAMING.
- C-107 REMOVE EXISTING WALLS. STRUCTURAL ENGINEER TO CONFIRM ADDITIONAL

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8	2018-07-19	CLIENT COORDINATION
9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

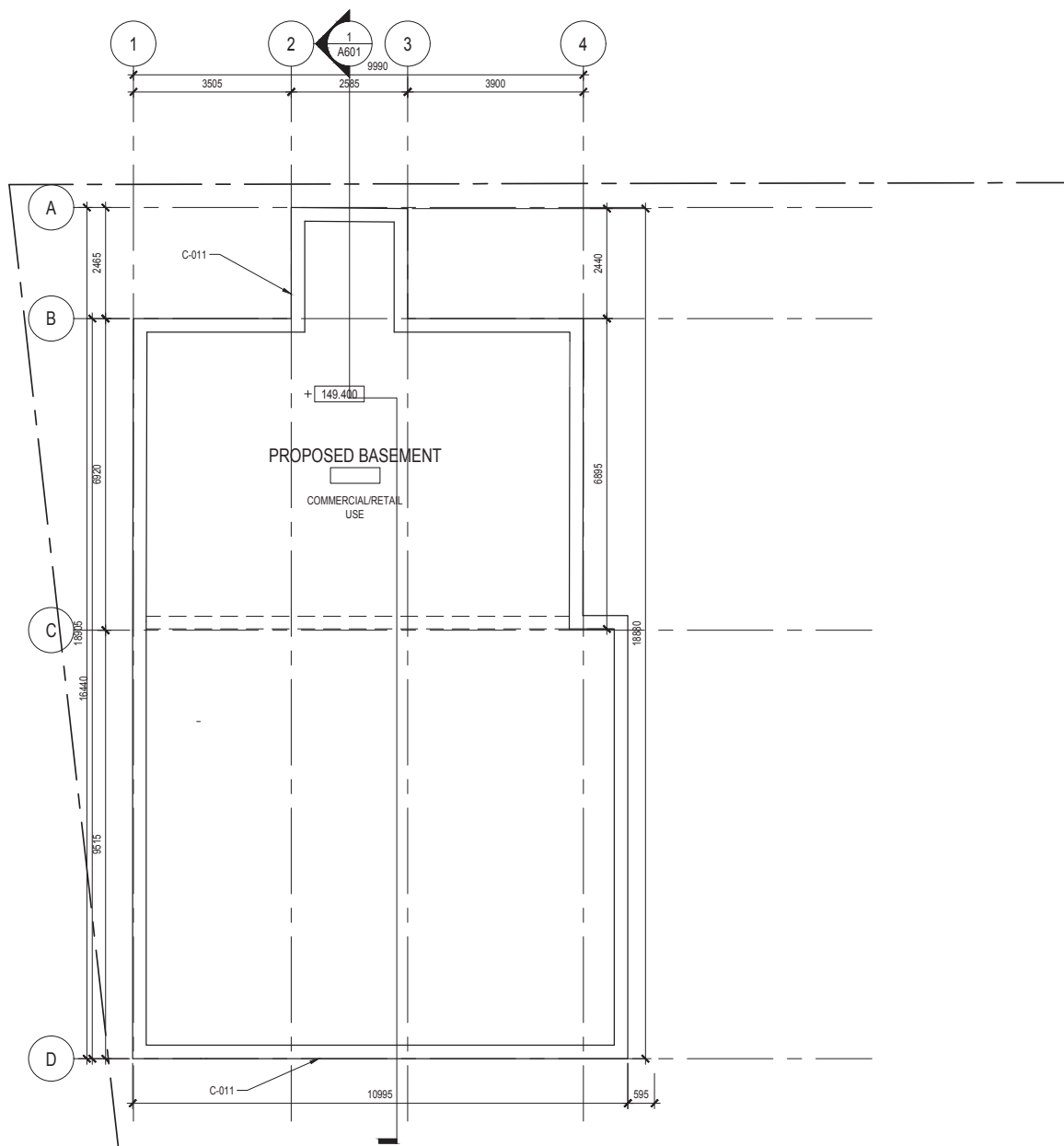


Project	
2460, 2454 & 2444 OLD BRONTE RD	
Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
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Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

Demolition Section

Sheet no.

AH206



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

- C-001 REMOVE EXISTING 1-STORY REAR ADDITIONS, 1-STORY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS. ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-010 RETAIN EXISTING 2.5 STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE AND RELOCATE TO NEW LOCATION.
- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.

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11	2018-08-10	CONSERVATION PLAN

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LEGEND



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Project

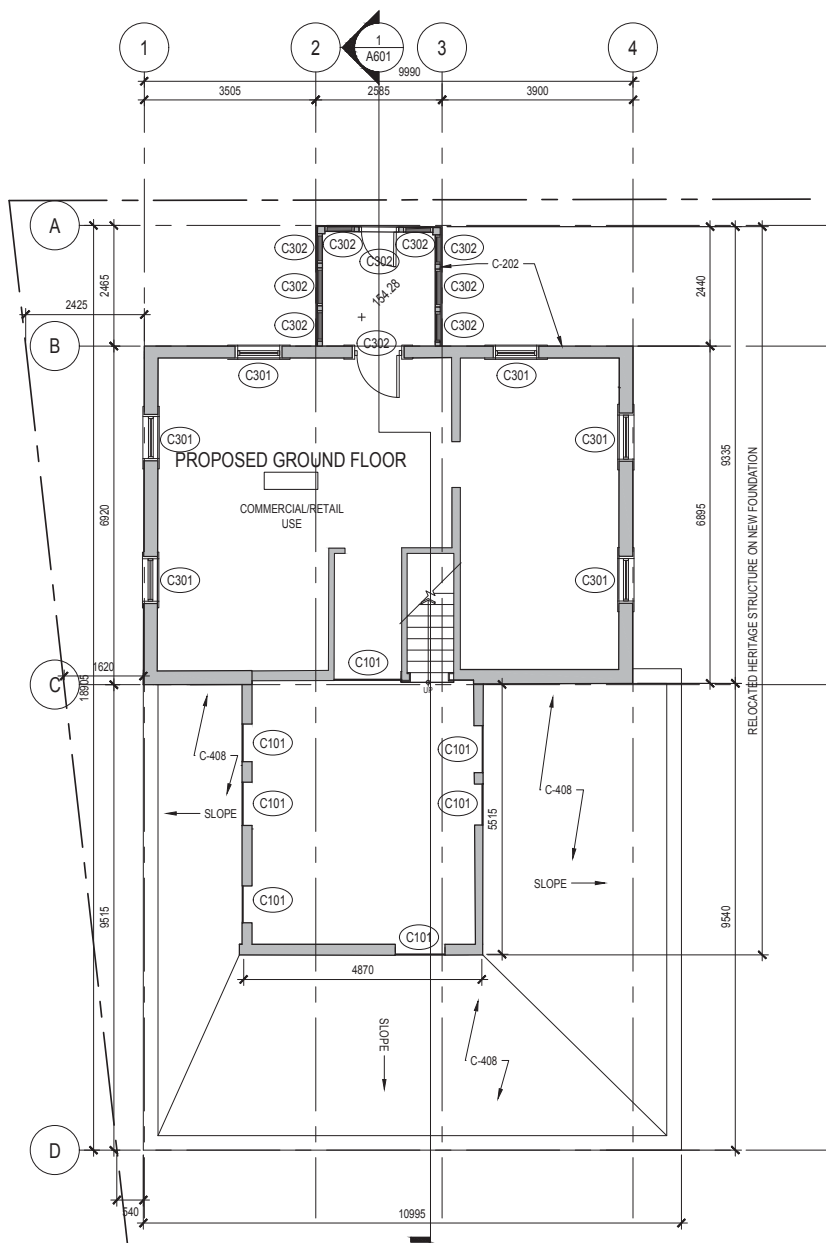
2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd
For Zancor Oakville Ltd.
Project no. 17-106-03
Scale at 11x17 1 : 100
Drawn by RM/JQ
Reviewed by JQ
Drawing title

Proposed Basement Floor Plan

Sheet no.

AH301



CONSERVATION NOTES

C-200 MASONRY

C-201 REPAIR AND REBUILD INTERIOR BRICK CHIMNEYS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT AS REQUIRED, ENGINEER TO CONFIRM.

C-202 CLAD THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL OF THE HERITAGE HOUSE IN SALVAGED LAKESTONE.

C-300 WINDOWS AND DOORS

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP).

C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

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9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

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Project

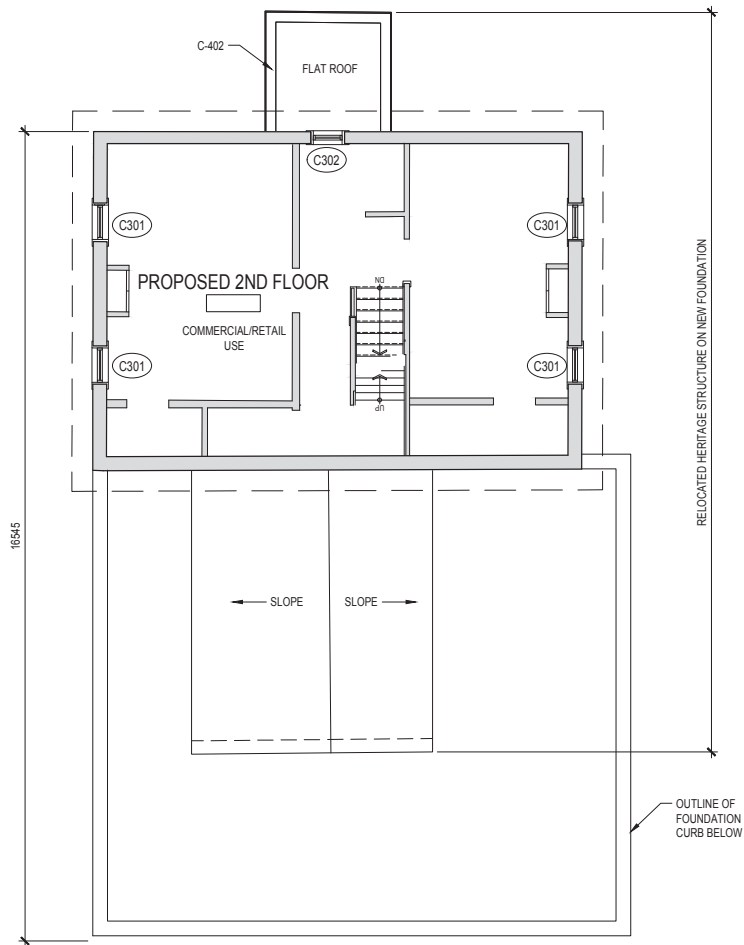
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 1:1x17	1 : 100
Drawn by	RM/JQ
Reviewed by	JQ
Drawing title	

Proposed Ground Floor Plan

Sheet no.

AH302



CONSERVATION NOTES

C-300 WINDOWS AND DOORS

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP).

C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

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9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

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Project

2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd

For Zancor Oakville Ltd.

Project no. 17-106-03

Scale at 1/16"=1'-0" 1 : 100

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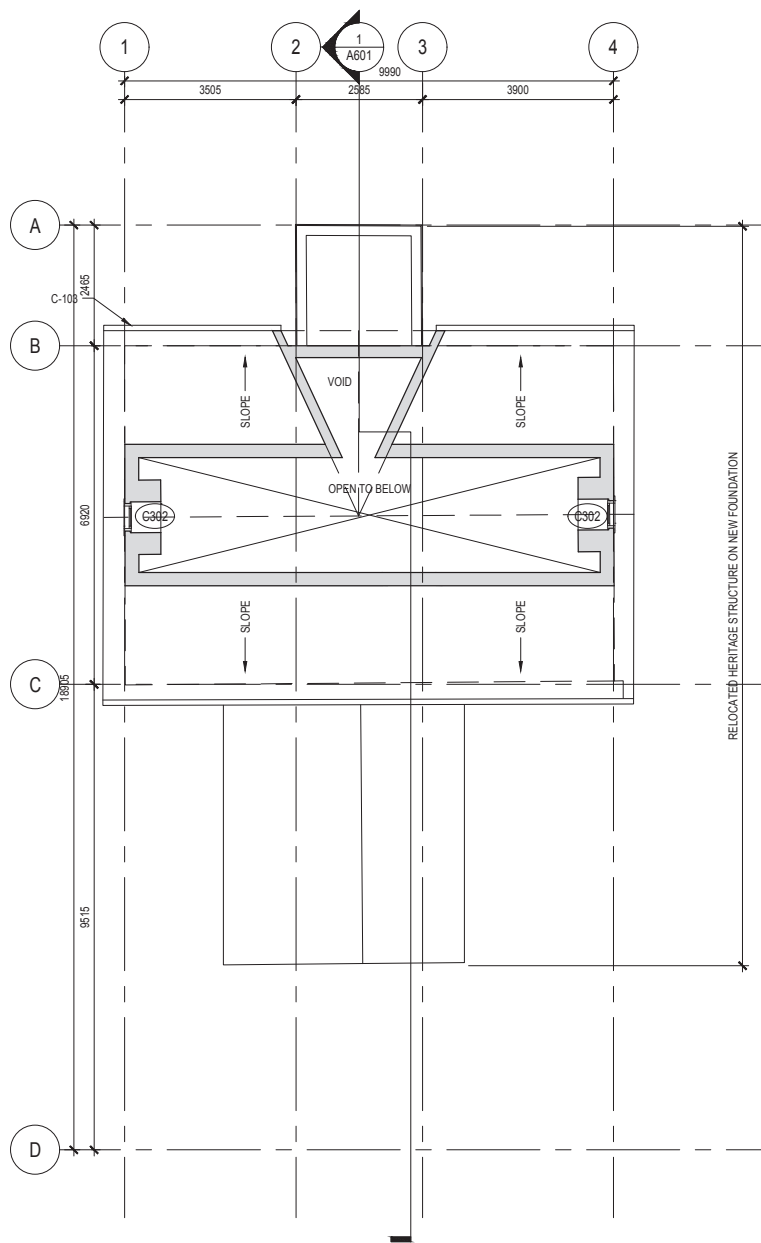
Reviewed by JQ

Drawing title

Proposed Second Floor Plan

Sheet no.

AH303



CONSERVATION NOTES

C-300 WINDOWS AND DOORS

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

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Project

2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd

For Zancor Oakville Ltd.

Project no. 17-106-03

Scale at 11x17 1 : 100

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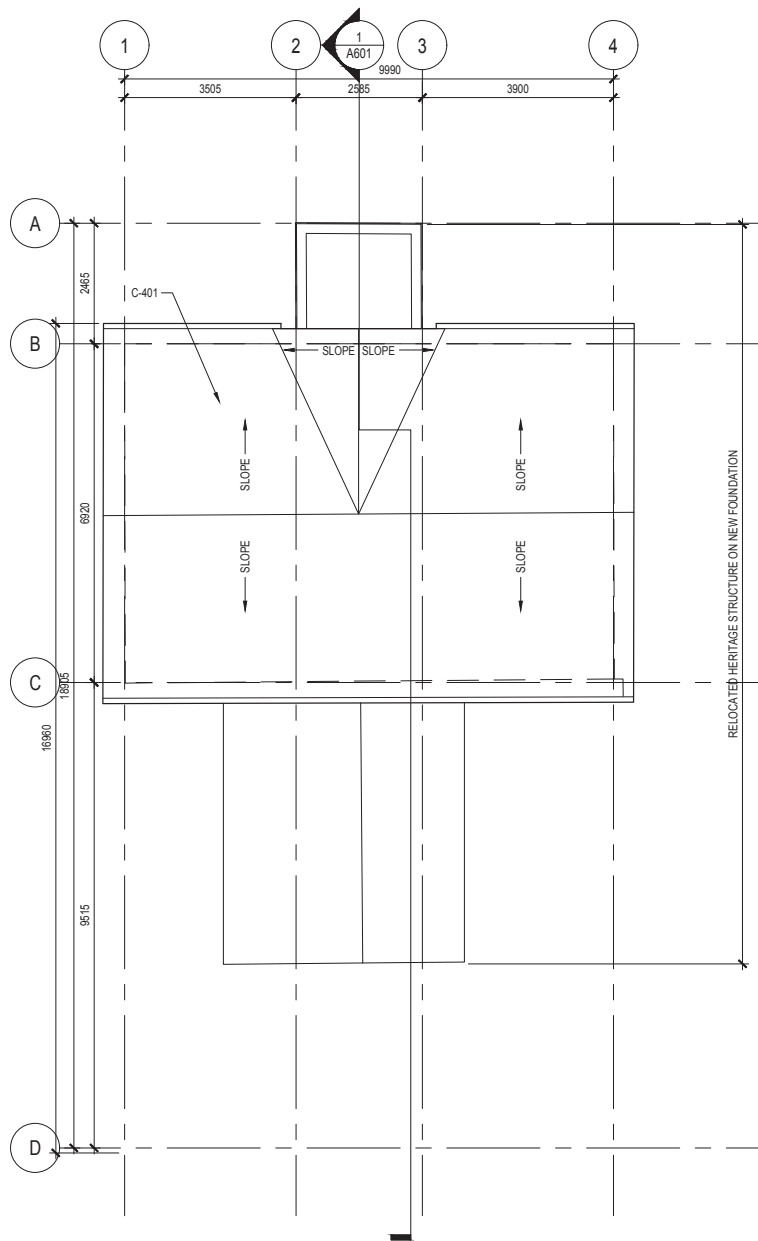
Reviewed by JQ

Drawing title

Proposed Third Floor Plan

Sheet no.

AH304



CONSERVATION NOTES

C-400 WOOD, ROOF, AND METAL WORK

- C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).
- C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.
- C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).
- C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP).
- C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).
- C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).
- C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.
- C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

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10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

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LEGEND

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	PROPOSED



Project

2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd

For Zancor Oakville Ltd.

Project no. 17-106-03

Scale at 11x17 1 : 100

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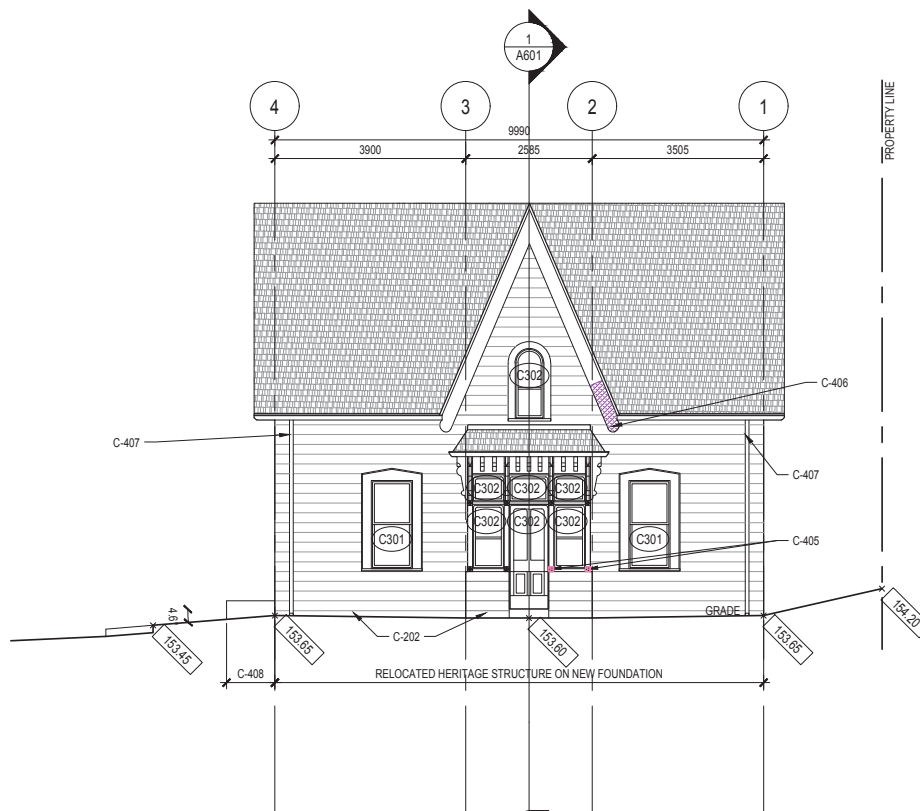
Reviewed by JQ

Drawing title

Proposed Roof Plan

Sheet no.

AH305



CONSERVATION NOTES

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP).

C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

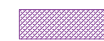
C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

CONSERVATION LEGEND

WOOD



RESTORE/RECREATE MISSING DECORATIVE WOOD ELEMENT



REPAIR DETERIORATED DECORATIVE WOOD ELEMENT

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11	2018-08-10	CONSERVATION PLAN

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LEGEND



EXISTING



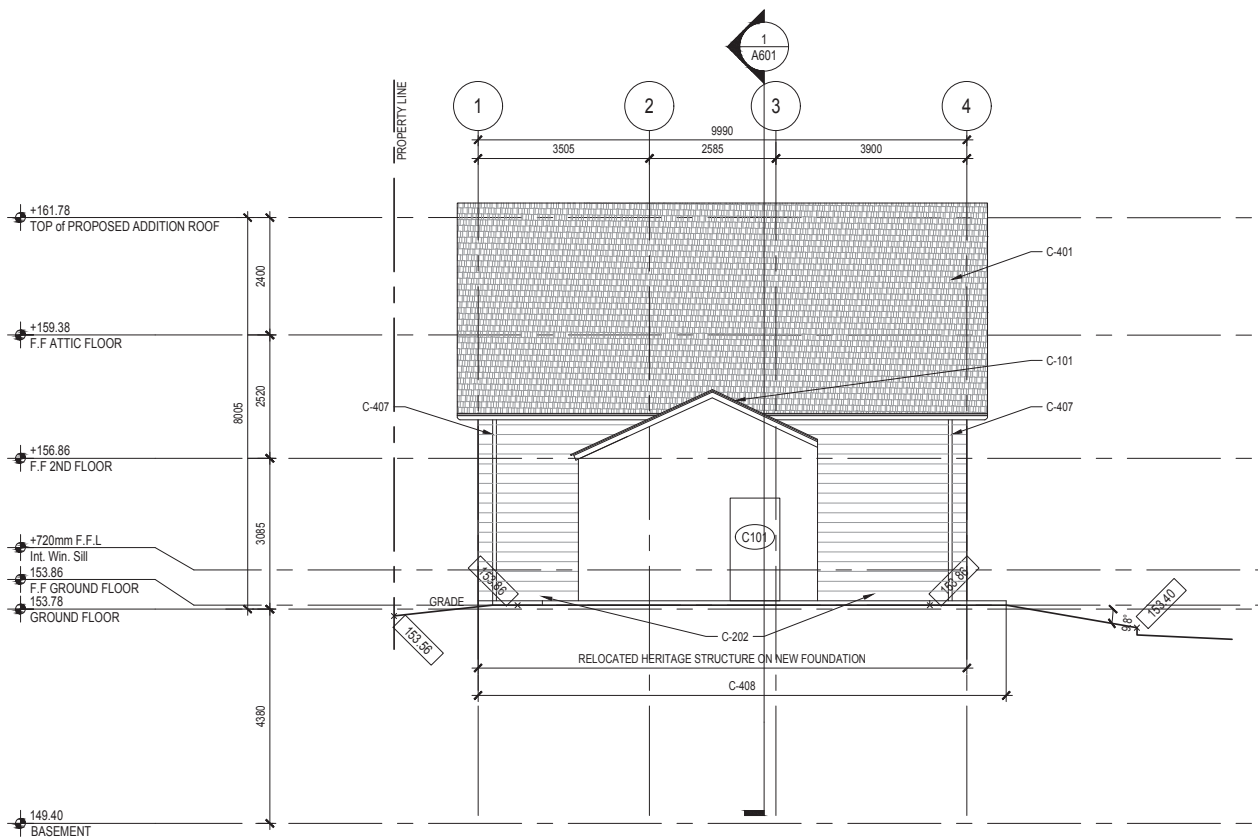
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Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ/IMY
Reviewed by	JQ
Drawing title	Proposed East Elevation

Sheet no.

AH501



CONSERVATION NOTES

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

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C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

CONSERVATION LEGEND

WOOD

RESTORE/RECREATE MISSING DECORATIVE WOOD ELEMENT

REPAIR DETERIORATED DECORATIVE WOOD ELEMENT

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11	2018-08-10	CONSERVATION PLAN

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LEGEND

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Project

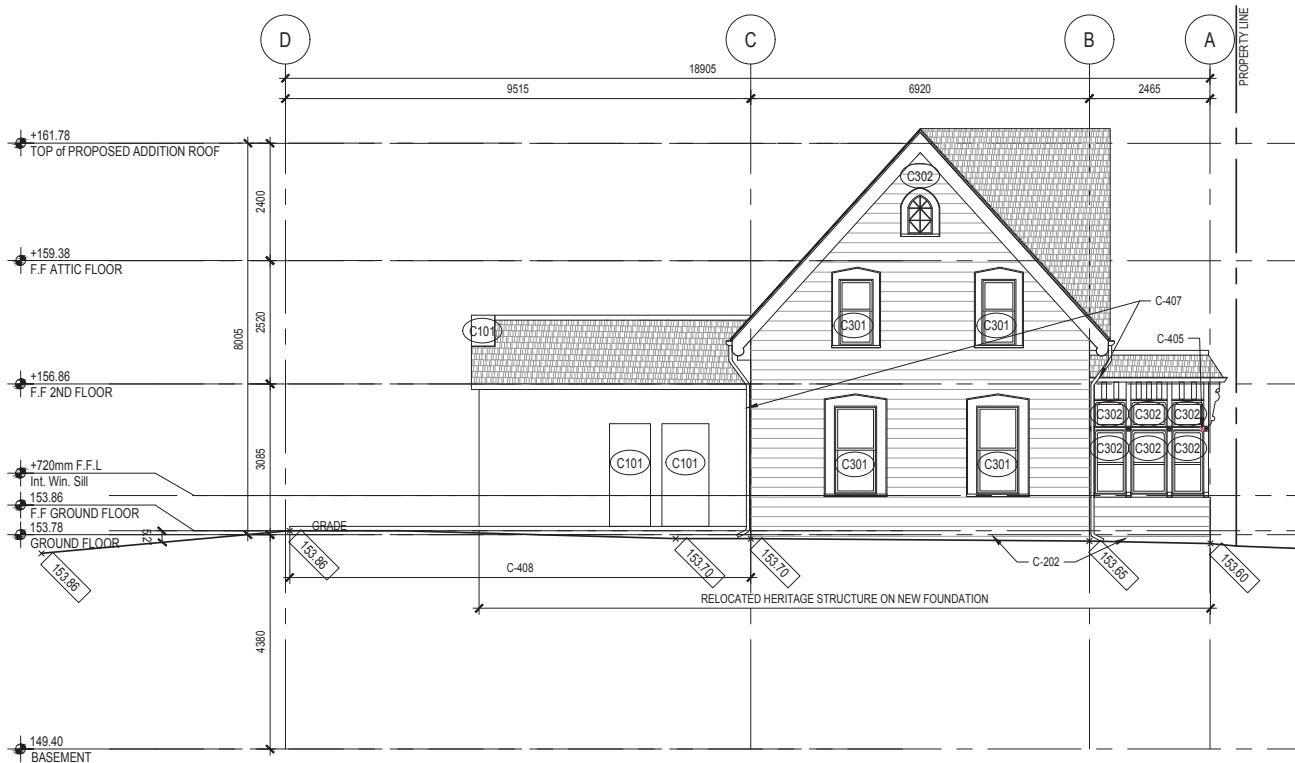
2460, 2454 & 2444 OLD BRONTE RD

Address	2460, 2454 & 2444 Old Bronte Rd
For	Zancor Oakville Ltd.
Project no.	17-106-03
Scale at 11x17	1 : 100
Drawn by	RM/JQ/MY
Reviewed by	JQ
Drawing title	

Proposed West Elevation

Sheet no.

AH502



CONSERVATION NOTES

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP) .

C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

C-408 PROVIDE NEW WOOD DECKING AND WATERPROOFING ABOVE NEW FLOOR ASSEMBLY TO SLOPE AWAY FROM PIONEER STRUCTURE.

CONSERVATION LEGEND

WOOD



RESTORE/RECREATE MISSING DECORATIVE WOOD ELEMENT



REPAIR DETERIORATED DECORATIVE WOOD ELEMENT

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4	2018-04-24	STRUCTURAL COORDINATION
5	2018-05-17	COORDINATION DRAFT
6	2018-07-10	COORDINATION DRAFT
7	2018-07-18	CLIENT COORDINATION
8	2018-07-19	CLIENT COORDINATION
9	2018-07-20	CONSERVATION PLAN - DRAFT
10	2018-08-01	NEW ADDITION FOR COSTING
11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



EXISTING



PROPOSED



Project

2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd

For Zancor Oakville Ltd.

Project no. 17-106-03

Scale at 1/1x17 1 : 100

Drawn by RM/JQ/MY

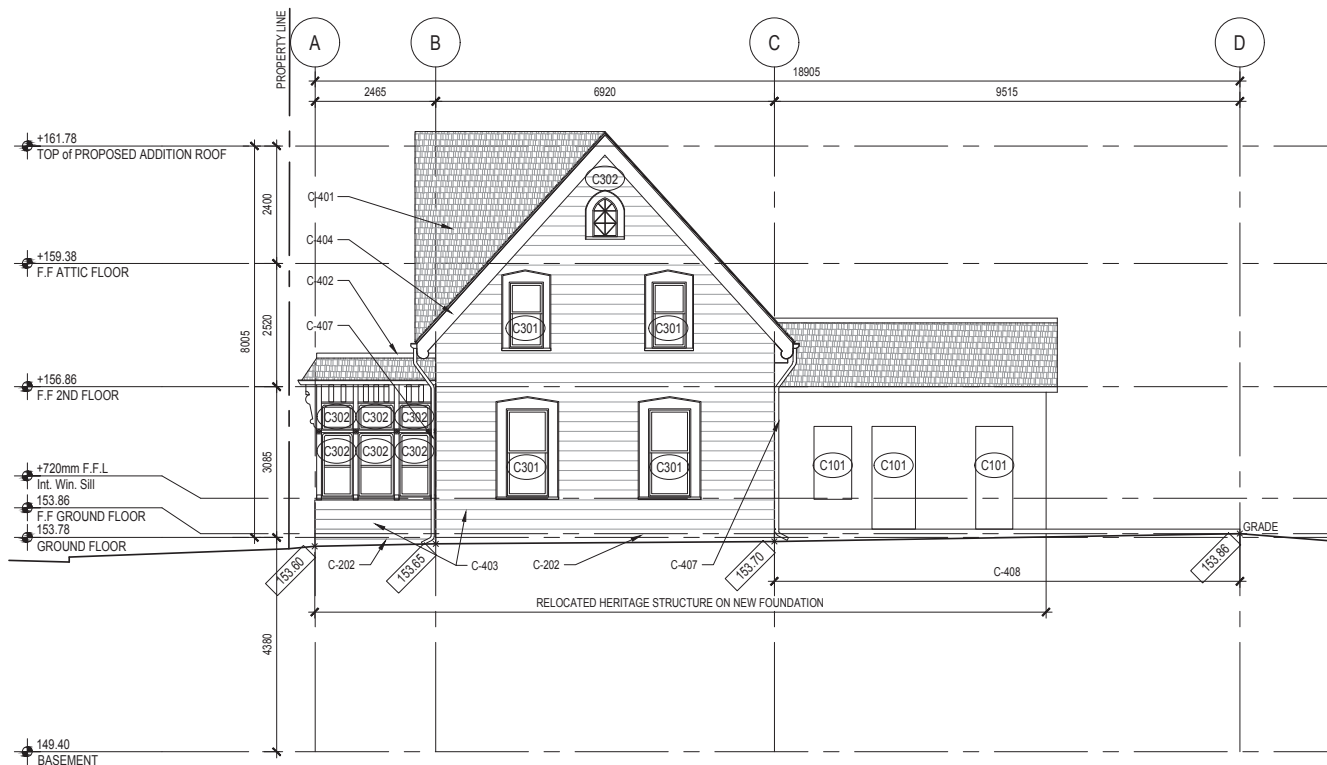
Reviewed by JQ

Drawing title

Proposed South Elevation

Sheet no.

AH503



CONSERVATION NOTES

C-301 PROVIDE NEW WOOD WINDOWS (TYP).

C-302 REFURBISH EXISTING WOOD WINDOWS AND DOORS AND REINSTALL TO THEIR ORIGINAL LOCATION.

C-400 WOOD, ROOF, AND METAL WORK

C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).

C-402 PROVIDE NEW FLAT ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY, SHINGLES (COLOUR TO BE DECIDED) AND NEW FLAT ROOF.

C-403 ASSESS EXISTING WOOD SIDING ONCE VINYL SIDING HAS BEEN REMOVED. PREPARE, PRIME AND PAINT WOOD SIDING OR REPLACE TO MATCH EXISTING DEPENDING ON CONDITION (TYP).

C-404 PREPARE, PRIME, PAINT ALL EXTERIOR DECORATIVE WOOD ELEMENTS (TYP) .

C-405 REPAIR DETERIORATED EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-406 RESTORE/RECREATE MISSING EXTERIOR DECORATIVE WOOD ELEMENTS TO MATCH EXISTING (TYP).

C-407 PROVIDE NEW METAL GUTTERS, DOWNSPOUTS, AND SPLASH PADS.

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CONSERVATION LEGEND

WOOD



RESTORE/RECREATE MISSING DECORATIVE WOOD ELEMENT



REPAIR DETERIORATED DECORATIVE WOOD ELEMENT

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11	2018-08-10	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



EXISTING



PROPOSED

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T 416.983.4407 | F 416.983.8781
625 Church Street, Suite 800
Toronto, ON, Canada, M4Y 2J1
E.R.A. Architects Inc.

Project

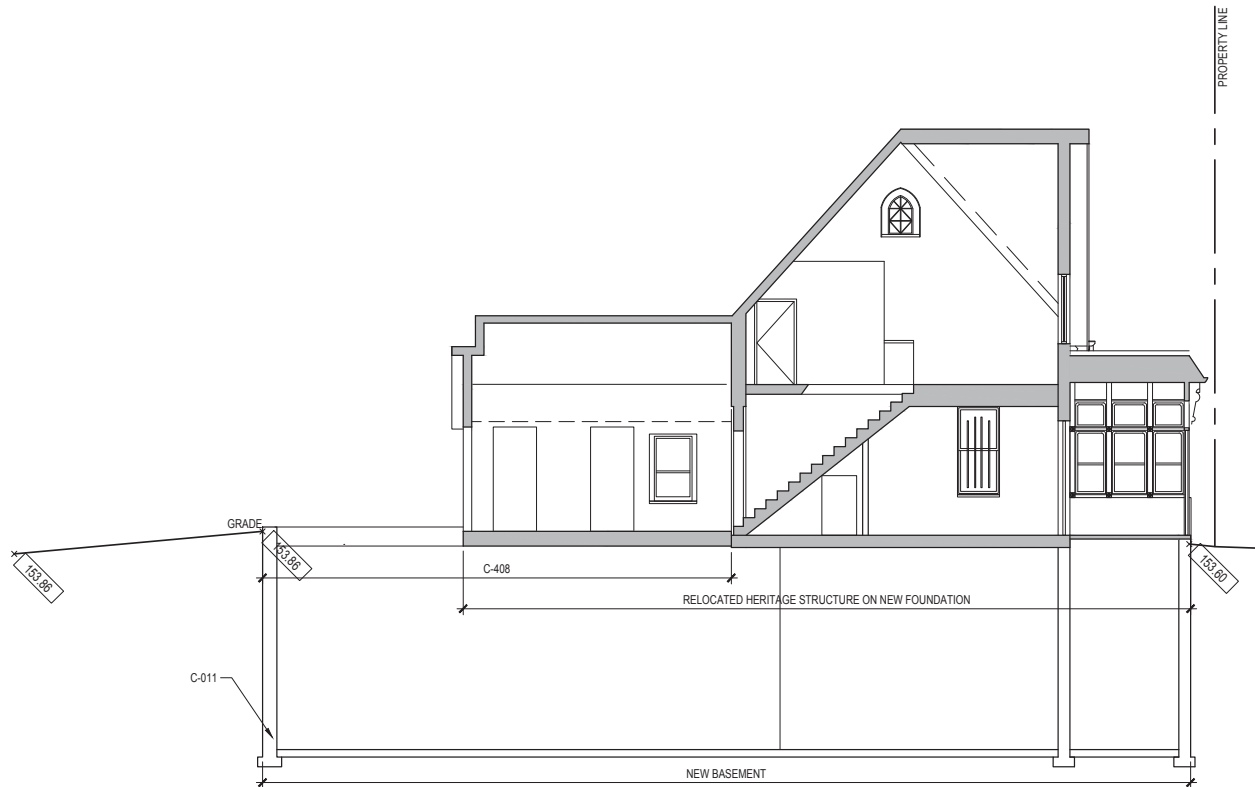
2460, 2454 & 2444 OLD BRONTE RD

Address 2460, 2454 & 2444 Old Bronte Rd
For Zancor Oakville Ltd.
Project no. 17-106-03
Scale at 11x17 1 : 100
Drawn by RM/JQ/MY
Reviewed by JQ
Drawing title

Proposed North Elevation

Sheet no.

AH504



CONSERVATION NOTES

C-000 DEMOLITION AND HOUSE RELOCATION WORK

- C-001 REMOVE EXISTING 1-STORY REAR ADDITIONS, 1-STORY SIDE ADDITIONS AND CONCRETE BLOCK CHIMNEY.
- C-002 DISCONNECT ALL SERVICES PRIOR TO RELOCATION. REMOVE ANTENNA, AC UNIT, CABLES, ETC. AND MAKE GOOD (TYP).
- C-003 RETAIN AND STABILIZE EXISTING INTERIOR BRICK CHIMNEYS BEFORE RELOCATION.
- C-004 PROTECT ALL EXISTING WOOD WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-005 STABILIZE EXISTING FRAMING FOR 2.5 -STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE BEFORE RELOCATION. MOVER TO CONFIRM RELOCATION STRATEGY. PROVIDE WOOD FRAME STRUCTURE AND PLYWOOD PROTECTION OVER ALL EXPOSED OPENINGS, ENGINEER TO CONFIRM.
- C-006 RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-007 REMOVE EXISTING FOUNDATIONS AND SALVAGE ORIGINAL LAKESTONE FOR REUSE AS FACING FOR THE ABOVE-GROUND PORTION OF THE NEW FOUNDATION WALL FOR THE HERITAGE HOUSE.
- C-008 DEMOLISH AND INFILL EXISTING BASEMENT.
- C-009 ENSURE NEW LOCATION SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-010 RETAIN EXISTING 2.5 STOREY HOUSE, 1-STORY FRONT PORTICO AND 1-STORY PIONEER STRUCTURE AND RELOCATE TO NEW LOCATION.
- C-011 EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS, FOUNDATION WALLS AND FLOOR ASSEMBLY IN THE NEW LOCATION (TO BE CONFIRMED BY CLIENT).
- C-012 SALVAGE EXISTING BOWED WOOD ROOF RAFTERS.
- C-400 WOOD, ROOF, AND METAL WORK**
- C-401 PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DECIDED), ROOF INSULATION, ROOF VENTS AND NEW COPPER FLASHINGS (TYP).
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Scale at 11x17	1 : 100
Drawn by	RM/JQ/INY
Reviewed by	JQ
Drawing title	

Proposed Section

Sheet no.

AH601

