

## APPENDIX B

# HERITAGE IMPACT ASSESSMENT

2467 & 2477 Old Bronte Road

Project #

17-083-01

Prepared by

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Cover Image: Rendering of the proposed development looking north along Old Bronte Road (Source: Quadrangle Architects)

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# EXECUTIVE SUMMARY

This Heritage Impact Assessment (HIA) revises the HIA dated July 12, 2017 in response to comments from Heritage Planning Staff in the Town of Oakville and has been prepared on behalf of 1 Oak Developments for the property municipally known as 2467 & 2477 Old Bronte Road (the “Development Site”) to assess the impact of a proposed new development on recognized on-site and adjacent heritage properties.

The Development Site contains two properties listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest: 2467 & 2477 Old Bronte Road. The Development Site is not considered adjacent, as defined in the Provincial Policy Statement, 2014, to any properties designated under Part IV of the Ontario Heritage Act (OHA) . The Development Site is also not within or adjacent to an in-force Heritage Conservation District.

An evaluation of the existing properties on the Development Site under Ontario Regulation 9/06 was undertaken for the purposes of this report. The result of this evaluation indicates that 2467 & 2477 Old Bronte Road contain insufficient design, historical or contextual value to merit designation under Part IV of the OHA.

The proposed development, as indicated in the conceptual drawings produced by Quadrangle Architects dated 17 November 2017, alters the composition of the Development Site by removing the listed structures at 2467 & 2477 Old Bronte Road and replacing them with a multi-storey mixed-use building with retail space at-grade.

Given the findings of the heritage evaluation contained within this report and the need to balance the various land-use policy objectives set by the provincial government, the contribution to the cultural heritage value of Palermo offered by 2467 & 2477 Old Bronte Road can be conserved through interpretation rather than retention. Further, the scale of the proposed development, its material character and its relationship to the street responds to the emerging built-form character of Old Bronte Road while, through the inclusion of at-grade retail space, helps reactivate the former village as a hub of pedestrian activity.

No negative impacts on the nearby designated property at 2495 Old Bronte Road are anticipated as a result of the proposed development.

# 1 INTRODUCTION

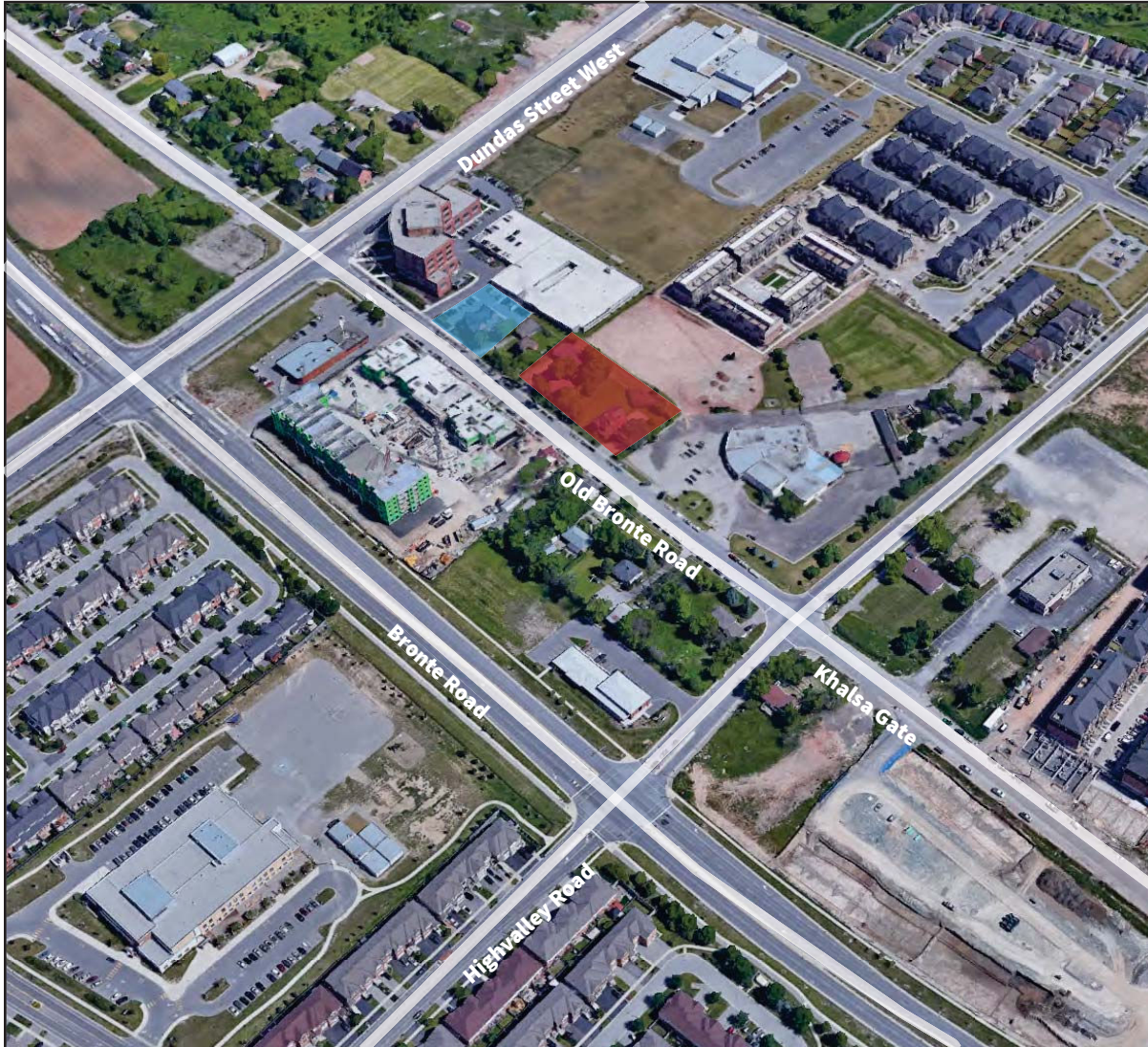
## 1.1 Scope of the Report

This revised Heritage Impact Assessment (HIA) has been prepared by ERA Architects Inc. to assess the impact of the development proposed at 2467 & 2477 Old Bronte Road on on-site recognized heritage properties and designated properties within the 'immediate vicinity' of the Development Site.

The purpose of an HIA, according to the Heritage Impact Assessment Terms of Reference for the Town of Oakville, is to determine the impact of a proposed development on the cultural heritage value of a property and to recommend an overall approach to the conservation of the heritage resources.

## 1.2 Present Client Contact

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1. Aerial Map showing the Development Site location in red and the nearby Part IV designated property at 2495 Old Bronte Road in blue. This is the only designated property within the 'immediate vicinity' of the Development Site (Source: Google Maps, annotated by ERA Architects)

### 1.3 Site Location and Description

The Development Site is comprised of the properties municipally known as 2467 & 2477 Old Bronte Road. Rectangular in configuration, the Development Site contains a house form structure at 2467 Old Bronte Road and both a house form and modified barn-like structure at 2477 Old Bronte Road. The surrounding built form context includes a mixture of building types and uses including a variety of semi and single detached residential properties typical of contemporary suburban development as well as multi-storey mixed-use properties and low and mid-rise commercial properties.

The Development Site is adjacent to an approved development on the properties municipally known as 2480, 2488 & 2496 Old Bronte Road. By-law No. 2014-025 amending Zoning By-law Nos. 1984-63 and 2014-014 was adopted by the Council of the Town of Oakville on March 17, 2014 to permit two 8-storey buildings containing 400 residential units and at-grade commercial space. 2480 Old Bronte Road, a listed property, was relocated within the site to permit construction of the mixed-use development.

See Section 1.4 for photo-documentation of the Development Site.

## 1.4 Site and Context Photographs



2. The west (principal) & south elevations of 2467 Old Bronte Road, 2017 (Source: ERA Architects)



3. The north elevation of 2467 Old Bronte Road, 2017 (Source: ERA Architects)





4. The east and partial south elevations of 2467 Old Bronte Road, 2107 (Source: ERA Architects)



5. The south elevation of 2467 Old Bronte Road, 2017 (Source: ERA Architects)



6. The west (principal) and partial north elevations of the house form building at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



7. The north elevation of the house form building at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



8. The north elevation of the house form building at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



9. The south elevation of the house form building at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



10. The west elevation of the gambrel roof structure at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



11. The north elevation of the gambrel roof structure 2477 Old Bronte Road, 2017 (Source: ERA Architects)



12. The east elevation of the gambrel roof structure at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



13. The south elevation of the gambrel roof structure at 2477 Old Bronte Road, 2017 (Source: ERA Architects)



14. The mixed-use development at 2480 Old Bronte Road as viewed from the Development Site. The listed house form structure was relocated to accommodate the development, 2017 (Source: ERA Architects)



15. The west (principal) elevation of the designated property at 2495 Old Bronte Road (Anson Buck House) as seen from Old Bronte Road, 2017. The Development Site is nearby but is not considered adjacent to the property (Source: ERA Architects)

## 1.5 Heritage Context

The Development Site contains two properties listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest municipally known as 2467 & 2477 Old Bronte Road (see Appendix C for a copy of the reasons for listing).

The Development Site does not contain any properties designated under Part IV of the OHA nor is it within or adjacent to an in-force Heritage Conservation District.

There are no designated properties considered adjacent to the Development Site as defined by the Provincial Policy Statement, 2014. As per Section 5.3.4 of the Town of Oakville OP, a heritage impact assessment is required when a proposed development is ‘adjacent to, or in the immediate vicinity of, an individually designated property’. As the OP does not define ‘immediate vicinity’, for the purposes of this report a reasonable distance is considered to be within a one block radius of the Development Site.

One property designated under Part IV of the OHA is within the ‘immediate vicinity’ of the Development Site:

- 2495 Old Bronte Road (see Appendix D for designation By-law 1995-45).

Section 1.0 of the Provincial Policy Statement (PPS) addresses cultural heritage:

*Significant built heritage resources and significant cultural heritage landscapes shall be conserved*

Section 4.2.4 of the Growth Plan addresses conservation of cultural heritage resources:

*Cultural heritage conservation, including conservation of cultural heritage and archaeological resources where feasible, as built-up areas are intensified*

Policy 167 (3) of the Halton Region Official Plan (consolidated January 13, 2016) addresses development proposals on or adjacent to recognized heritage properties:

*a) Study and consider the preservation, relocation and/or adaptive re-use of historic buildings and structures based on both social and economic costs and benefits;*



*b) Incorporate in any reconstruction or alterations, design features that are in harmony with the area's character and existing buildings in mass, height, setback and architectural details; and*

*c) Express the Cultural Heritage Resources in some way, including: display of building fragments, marking the traces of former locations, exhibiting descriptions of former uses, and reflecting the former architecture and uses.*

*Provincial Policy Statement, 2014*

*Adjacent: for the purposes of policy 2.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.*

Chapter 5 of the Town of Oakville Official Plan (consolidated April 4, 2017) address cultural heritage resources identified on the Register or designated under the Ontario Heritage Act. Policy 5.3.3 states that:

*Significant cultural heritage resources shall be conserved, and may be integrated into new development*

Policy 5.5.1 addresses retention of heritage resources on-site or relocation:

*All options for on-site retention of buildings and structures of cultural heritage significance shall be exhausted before resorting to relocation. Relocation of built heritage resources shall only be considered through a Cultural Heritage Impact Assessment that addresses retention and relocation*

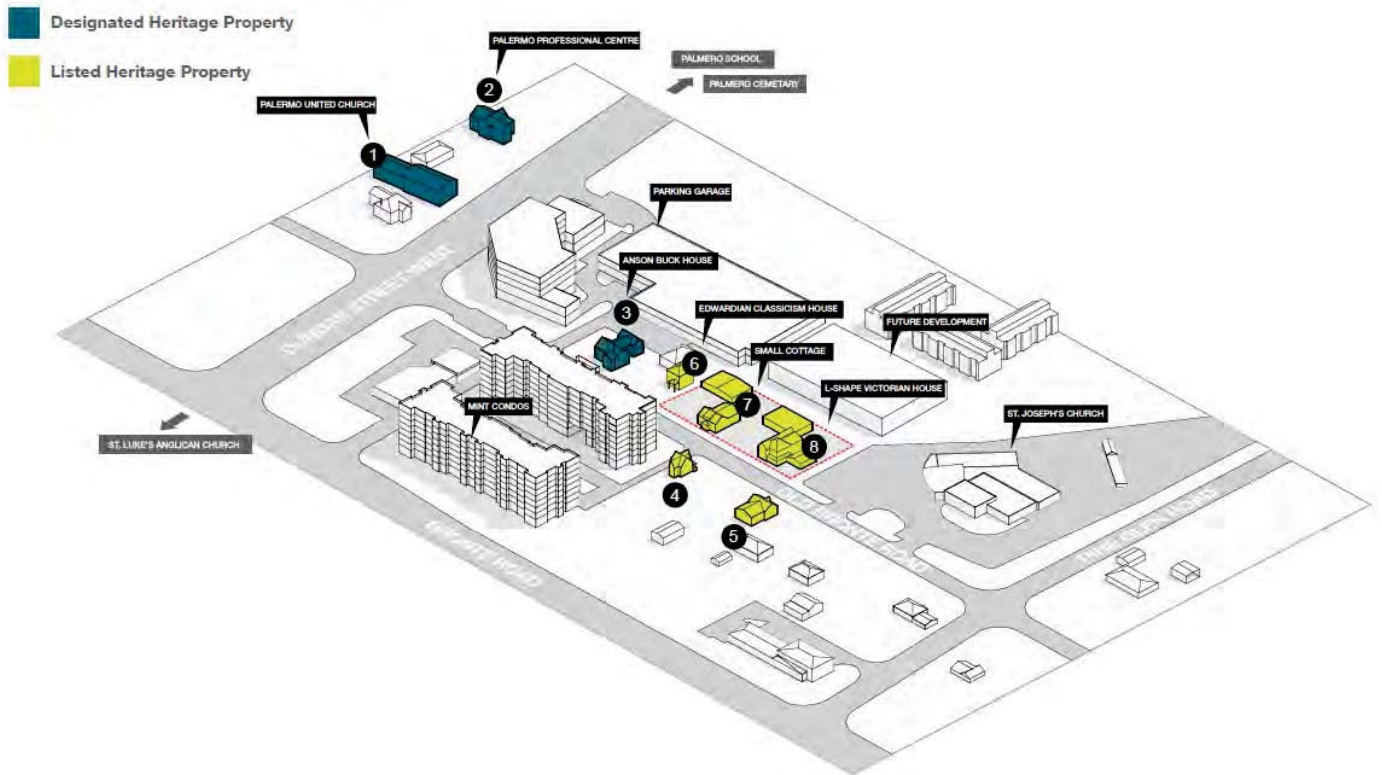
## 1.6 Heritage Policy Context

*Old Bronte Road/Khalsa Gate Streetscape Plan (2012)*

The Old Bronte Road/Khalsa Gate Streetscape Plan divides the Palermo Village into three character areas. The Development Site is located within the 'Historic Core South' character. This character area is defined below:

*This part of the village is located just south of Dundas Street where a cluster of heritage buildings and places of worship line the street. The narrowness of the street creates a quaint atmosphere with many mature trees. This portion of the street can continue the heritage theme. Restored heritage buildings can be adaptively reused to create a heritage village main street. The road could be used to host community events or summer activities, such as weekend farmer's markets or artisan sales*

## Designated and Listed Heritage Properties



16. A map of recognized heritage properties nearby and adjacent to the Development Site (Source: Quadrangle Architects)

A number of guidelines pertaining to integration of heritage properties are contained within the Old Bronte Road/Khalsa Gate Streetscape Plan. These guidelines mirror the policies/guidelines contained within the Oakville OP and the Standards and Guidelines for the Conservation of Historic Places in Canada.

*Palermo Village: A Heritage Resources Review and Strategy  
(2008)*

The Heritage Planning Division of the Town of Oakville conducted a study of the former village of Palermo. The purpose of the study was to document and evaluate the heritage character and resources of the village and to propose conservation strategies for conserving the heritage of the community both as individual elements and collectively as a cultural heritage landscape.

The report identified three clusters of properties that contribute to the character of the village. The clusters are identified below with notations that reflect their current heritage recognition (unrecognized, listed or designated under Part IV of the Ontario Heritage Act). Cluster #1 contains the properties within the Development Site:

**Cluster #1**

- 2495 Old Bronte Road (Part IV) – Anson Buck House c.1860
- 2487 Old Bronte Road (Listed) – Edwardian style residence c.1925
- 2480 Old Bronte (Listed) - Residence
- 2477 Old Bronte Road (Listed) - vernacular frame house c.1870
- 2460 Old Bronte (Listed) – Victorian Gothic style residence c.1875
- 2467 Old Bronte Road (Listed) – Queen Ann style residence c.1909

**Cluster #2**

- 3015 Dundas Street (demolished) – Hagar House c. 1848
- 2527 Dundas Street West (Listed) – Hagar House c. 1870
- 2521 Dundas Street West (Part IV) – Palermo United Church c.1867
- 2507 Dundas Street (Part IV) – Switzer House c.1868

- 3017 Old Bronte Road (Listed) – United Church Rectory c.1880

### **Cluster #3**

- Dundas Street West (Barn on ORC) (Listed)\*
- 2457 Dundas Street West (Listed) – vernacular frame house c. (no date provided)
- 2431 Dundas Street West (Part IV) – former schoolhouse c.1942
- 2403 Dundas Street West (Listed) – former farm house c. (no date provided)
- 2430 Dundas Street West (Part IV) - Palermo Cemetery c.1818

The report found that the buildings in Cluster #2 are ‘collectively the most significant grouping of structures in the hamlet. Their continued existence, more than any other, defines Palermo as a place of settlement and can be considered a cultural heritage landscape as an important reminder of this historic village’.

*\*As per Heritage Staff at the Town of Oakville, this property does not have a municipally assigned address.*

## 2 METHODOLOGY

This Heritage Impact Assessment was prepared by ERA Architects in accordance with the Town of Oakville's Heritage Impact Assessment Terms of Reference. The methodology for evaluating the structures contained within the Development Site aligns with the provisions of the Ontario Heritage Act and is based on the Regulation 9/06 criteria contained therein.

To document the Development Site and its surroundings, a site visit was conducted by Evan Manning of ERA Architects on June 13, 2017. Luke Denison, a conservation architect with ERA Architects, conducted two site visits to document the structures within the Development Site. External and internal condition assessments, including photographic documentation, were conducted on June 14, 2017 and on October 17, 2017, respectively.

### *Primary Sources*

Tax Assessment and Collectors Rolls were consulted in person at The Town of Oakville's Central Library on June 13 and October 5, 2017 to determine the approximate date of construction of the structures contained within the Development Site. Review of records at the Land Registry Office for Halton Region was also conducted by Kimberly Thomas (Law Clerk & Conveyancer) on September 15, 2017. The purpose of which was to establish a full chain of title for the properties that comprise the Development Site (see Appendix F for a copy of the chain of title for 2467 & 2477 Old Bronte Road). A review of primary sources contained within digital archives of the Trafalgar Historical Society and the Oakville Historical Society was also undertaken.

### *Secondary Sources*

Secondary sources relating to the history of Halton Region, Trafalgar Township and the former Village of Palermo were identified and consulted online and in person at the Town of Oakville's Central Library. Research staff at the Archives of Ontario were also consulted. Further, a review of the digital archives of the Trafalgar Historical Society and the Oakville Historical Society was undertaken as part of the background research contained within Section 3.0 of this report.

*A complete list of sources is included in Section 8.0 of this report.*

## 3 BACKGROUND RESEARCH AND ANALYSIS

The following summarizes supporting research and analysis of the Development Site done in preparation for this report.

### 3.1 Site History

*A review of records at the Halton Region Land Registry office was used to produce a full chain of title for the two properties that comprise the Development Site. A copy can be found in Appendix F of this report. Please note that prior to 1858, the Canadian pound was used as the official currency in the Province of Canada (present day Ontario and Quebec). The Canadian dollar was adopted as the official currency in 1858.*

The land that would later contain the Development Site was first surveyed for the Crown by Samuel Wilmot in the early nineteenth century. The 1806 Wilmot Map shows that a 200 acre parcel of land south of present day Dundas Street West and east of Bronte Road was granted to Bildad Simons (First Concession South, Lot 30). Portions of this property in combination with adjacent parcels of land owned by Benjamin Smith, David Hager and John Shaw would soon become the site of the village of Palermo.

As the Development Site is comprised of properties that were at one point legally distinct, a separate site history for each constituent property is provided below. This history begins after the first division of the Simons property in February 1812 as both properties were contained within the purchase of 90 acres by Charles Teetzel.

#### *2477 Old Bronte Road*

The chain of title search conducted for this HIA indicate that the house form structure currently located on the southern portion of 2477 Old Bronte Road and the modified barn-like structure located to its north were once separate properties. Division of the Teetzel property to provide for the land that would eventually house both structures occurred in January and December 1842 with the sale of 1/4 acre to Hiram Adair and 1/2 acre to Robert Miller, respectively. These properties remained legally distinct until 1986 at which point they were combined to form a single property under the ownership of Sally Hogeveen.

For ease of review, the lineage of each property has been structured under the following headings:

### ***House Form Structure***

A review of tax assessment rolls for 1844 indicates that the 1/4 acre property owned by Hiram Adair was under cultivation and consisted of a frame house under 2-storeys. Adair's property was assessed at a value of 46 pounds and 5 shillings. The Trafalgar Township Census of 1841 indicates that Hiram Adair was a carpenter.

Hiram Adair later sold his property to Benjamin Swanton in November 1851. In 1854, Swanton acquired the adjacent property, previously owned by Robert Miller, bringing both the land that contains the current barn-like structure and the frame house under his ownership. A review of tax assessment rolls for 1854 indicates the value of Benjamin Swanton's property at 60 pounds. These records also indicate that Swanton was a carpenter. Unlike the tax assessment rolls for the 1840s, a description of the nature of built-form on the property was not provided. The property was subsequently sold to David Lebar in April 1863 and then Jennet Clubine in May 1863.

A review of tax assessment rolls in 1864 indicates that the 1/4 acre property was assessed at a value of \$40. This assessment was substantially lower than the value of nearby properties (see Appendix E). By 1869, the property, still owned by Jennet Clubine, was assessed at \$250, bringing it in line with the assessed value of nearby properties. To provide a reference point, the nearby Anson Buck House, constructed using brick in 1860, was assessed at a value of \$600. The significant increase in property value suggests that the structure that was previously on the site may have been significantly altered or, more likely, removed and replaced in favour of a new building. Using the Anson Buck house as a reference point, the assessed value of \$250 suggests that the building may have been constructed using wood frame rather than brick. Based on this assumption, this would date the present house-form building at 2477 Old Bronte Road to the mid-1860s, roughly corresponding to the 1870 date of construction indicated in the municipally prepared Palermo Village: A Heritage Resources Review and Strategy. It should be noted, however, that properties were not necessarily assessed on an annual basis. As such, it is possible that the house-form building may have been constructed prior to the mid-1860s.

Following the death of Jennet Clubine in 1871, ownership of the property passed to her brother John Sibbald who subsequently sold the property to James Curtis in May 1871. The property was sold to Catherine Patterson in 1886 and remained in the Patterson family until its sale to William Cowan in March 1930. The Trafalgar Historical Society identifies Mrs. Ross Cowan (first name was not provided) as a school president at the Palermo Public School in the mid-1950s. The property remained in the Cowan family until its sale to Taeke and Saakje Visser in 1960. The property was subsequently sold to Tobias and Sally Hogeveen in July 1966. The property remained in the Hogeveen family until its sale to Tyron D'Souza in August 1997. By this time, both the frame house property and the barn-like structure property were combined to form a single property. For the remainder of the chain of title to present day, refer to Appendix F.

### **Barn-like Structure**

Following a period between 1854-1858 in which both properties were owned by Benjamin Swanton, a local carpenter, the property containing the barn-like structure was sold twice in 1858, once to John Speers in April of that year and later to Thomas Robinson in 1858. The property remained in the Robinson family until its sale to Thomas Garner and then Mary Ann Harrod. Both transactions took place in January of 1905. The L-shaped gambrel roofed barn (as it was originally configured prior to a series of additions) is believed to date from the late 19th or early 20th century (gambrel roof barns were typical of this time period). The original L shaped plan is atypical of working agricultural barns of this period, which were commonly



18. Above: George Henry Wilkinson (1842-1916) and his wife Maria Patterson (1863-1939). Ownership of the house-form structure at 2477 Old Bronte Road passed to the couple in 1907 (Source: Trafalgar Historical Society)

17. Below: Excerpt from the Canada Directory (1857-1858) for Palermo. The entry for Benjamin Swanton is indicated in red (Source: Toronto Reference Library, annotated by ERA Architects)

**PALERMO, C. W.**—A Village situated on Dundas Street, in the Township of Trafalgar and County of Halton. Distant from Milton 7 miles, from Bronté Railway Station 3 miles, from Hamilton 17 miles, and from Toronto 30 miles. Fare to Toronto \$1, to Hamilton 50¢, to Milton 37¢. Population about 200.

- |  |  |
|--|--|
| <p>Abbs, rev. George, Episcopal methodist.<br/>         Allen, William, carpenter.<br/>         Banatine, Alexander, blacksmith.<br/>         Banatine, William, blacksmith.<br/>         Bowman, Samuel, tanner.<br/>         Buck, A., M.D. ¶<br/>         Buck, John, saw mill.<br/>         Dalmage, Robert, general store.<br/>         Donavan, James, machinist, manufacturer of mowing and reaping machines.<br/>         Dorland, John, dentist.<br/>         Flynn, G., boots and shoes.<br/>         Gamoe, Joseph, blacksmith.<br/>         Lawrence, Jacob, Palermo iron foundry.<br/>         McMullan, James, tinsmith.<br/>         McPhail, J., saddler. ¶<br/>         Moore, J., boots and shoes.</p> | <p>O'Neill, James, blacksmith.<br/>         Pirritte, rev. W., Episcopal methodist.<br/>         Proudfoot, John, saw mill.<br/>         Robinson, Thomas, moulder.<br/>         Rowe, Daniel, butcher.<br/>         Schneider, rev. William, Episcopal methodist.<br/>         Smith, A., waggonmaker.<br/>         Smith, James, tailor.<br/>         Smith, W., waggonmaker.<br/>         Soules, J., waggonmaker.<br/>         Stuart, Nelson, inkkeeper. - - - - -<br/>         Swanton, Benjamin, carpenter. - - - - -<br/>         Switzer, H. M., postmaster, and general dealer.<br/>         Thompson, T. H., hotelkeeper.<br/>         Trackey, Hiram, carpenter.<br/>         Watson, John, tinsmith.<br/>         White, James, saw mill.</p> |
|--|--|





19. Looking north along (Old) Bronte Road from in front of 2467 Old Bronte Road c1970s. A partial south and west elevation of the frame house at 2477 Old Bronte Road is visible to the right, note that the front porch has yet to be enclosed (Source: Trafalgar Historical Society)



20. A photograph of the general store operated by George Stanley (G.S.) Wood c1934. G.S. Wood inherited the barn-like building at 2477 Old Bronte Road in 1924 (Source: Trafalgar Historical Society)

rectangular in plan. The configuration of the building and its small size relative to working agricultural barns of its period suggests that it may have been used as a carriage house.

Upon the death of Mary Ann Harrod, the property, as per the terms of her will, was transferred to George Stanley Wood. Upon his death, the property was transferred to his wife, Fanny Ethel Wood. According to the Trafalgar Historical Society, George Stanley Wood and his wife owned the general store with post office on the northeast corner of Bronte Road and Highway #5 (present day Old Bronte Road & Dundas Street West) from the 1930s until the 1950s Ethel also ran the Palermo telephone switchboard out of the store for the rural area. Further, a review of the digital archives of the Trafalgar Historical Society reveals that the current structure at 2487 Old Bronte Road served as the Wood family home. This property is immediately to the north of 2477 Old Bronte Road.

The property was sold by Fanny Ethel Wood to Tobias Hogeveen in October 1979 and combined with the adjacent property owned by Sally Hogeveen in 1986. For the remainder of the chain of title to present day, refer to Appendix F.

### *2467 Old Bronte Road*

A review of the records from the Halton Region Land Registry Office indicates that this property was originally composed of two separate 1/4 acres parcels of land. Sold by Charles Teetzel to Peter Campbell and John McPhail in December 1842 and September 1854 respectively, the two parcels were purchased and combined under the ownership of William Sovereign Morse in November 1857. A review of the Trafalgar County tax assessment rolls from 1864 indicates that the combined value of the land and the structures was \$250. Again using the assessed value of the Anson Buck house as a point of comparison, the value of William Morse Sovereign's property suggests that the structure on-site may have been a wood frame building.

Morse sold the property to George Garno in 1878 who would later sell the property to Milton McCrimmon in December 1889 and to John Marshall in 1908. The digital archives of the Trafalgar Historical Society date the current Queen Anne revival style house-form structure to 1908 while the Town of Oakville lists the date of construction as 1909. These dates are consistent with the period in which Queen Anne revival architecture was common in Southern Ontario.



21. Wettlaufer family photograph from the late-1940s (Source: Trafalgar Historical Society)



22. A photograph of Ethel Wettlaufer standing in front of the Palermo Public School (S.S. #2, Palermo) c1940s/1950s

John Marshall sold the property to George Wettlaufer who retired to Palermo in 1926 along with his widowed daughters Rosetta Christner and Charlotte Waterbury. Ekhardt Wettlaufer, brother of Rosetta and Charlotte, also lived in Palermo. His wife, Ethel Wettlaufer, taught at Palermo School (S.S.#2) during the 1940s and 1950s. The property remained in the Wettlaufer family until its sale to IOAK Developments Group Oakville Inc. in 2016.

### 3.2 Context

The village of Palermo is the oldest settlement within the present boundaries of the Town of Oakville, predating the founding of the villages of Oakville and Bronte by approximately 20 years. The community was founded in 1806 by Lawrence Hagar, a United Empire Loyalist, and was originally known as Hagartown. In 1836, Dr. William Cobban, who was stationed in Sicily as a naval surgeon, suggested the community be renamed Palermo in honour of Lord Nelson. Palermo was the name of one of the properties granted to Lord Nelson after his military success in the Napoleonic Wars.

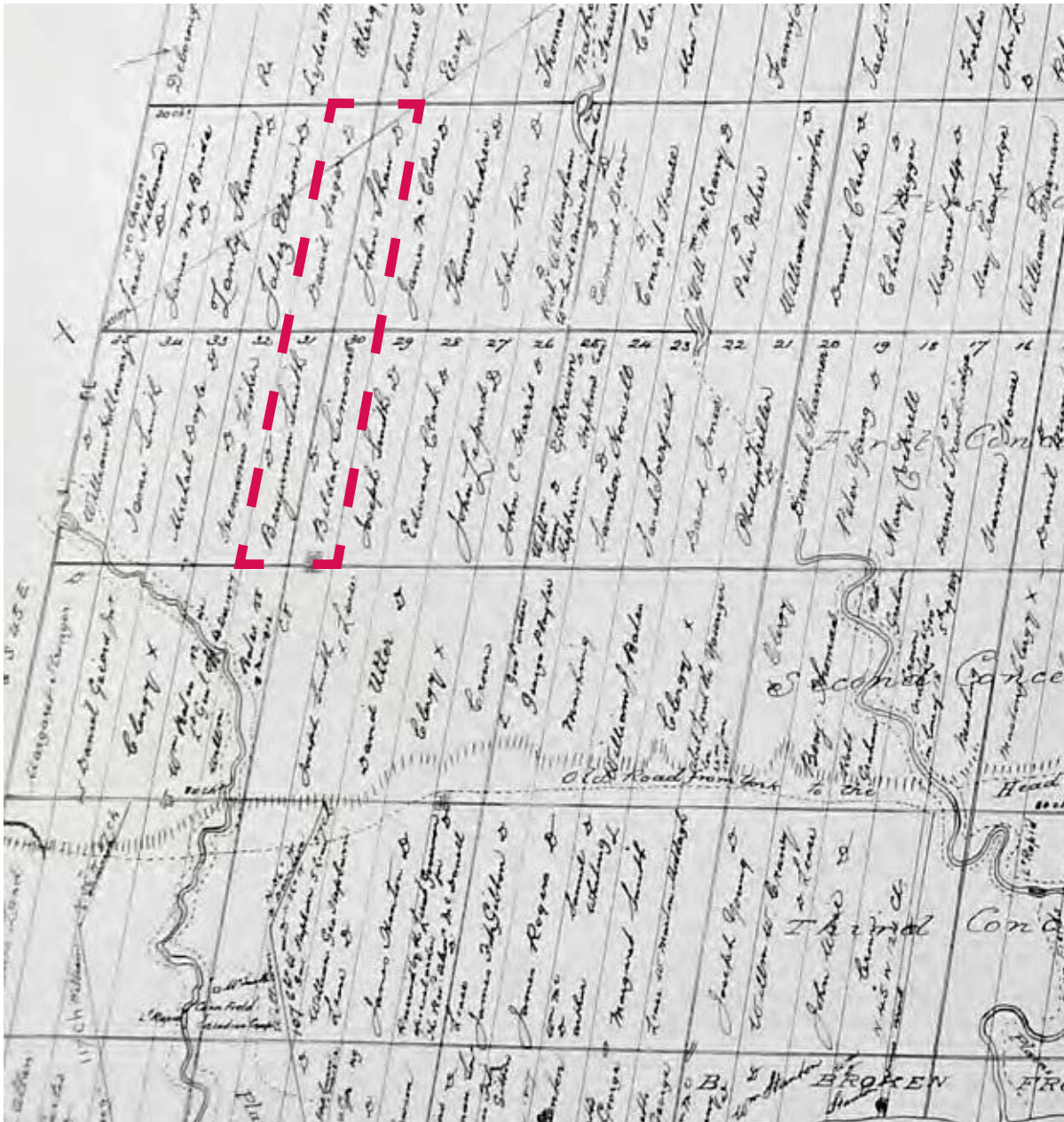
Located along Dundas Street, then the most important east-west land route in Upper Canada, the village served as a stage coach stop for those travelling westwards toward Milton and points beyond. The community was also home to the second grammar school in Upper Canada, opening in 1844.

Early economic activity in the village centered around the Palermo Agricultural Works. Founded in the early 1840s, the complex contained an iron foundry, blacksmith shop, wood shop, pattern house and paint shop. At its commercial peak, the town contained two general stores, a hotel, wagon shop, blacksmith shop, creamery and sawmill.

Prominent local families included Hagar (among the original settlers of the community), Ingelhart (donated land for a grammar school and cemetery in Palermo), Switzer, Hope, Smith (among the original settlers, the Smith family hosted the first church services in the community prior to the construction of a purpose-built church), Buck (Dr. Anson Buck was a well-known and well-traveled physician from Palermo), Howell and Wilkinson (Dr. Wilkinson, along with Dr. Anson Buck, served the medical needs of Palermo and Trafalgar County).

Bypassed by rail lines in the mid-nineteenth century, the village experienced little in the way of population growth, expanding from approximately 300 in 1877 to a peak population of approximately 400 in 1920. The Village was amalgamated with surrounding municipalities in Trafalgar Township to create the Town of Oakville in 1962.

A program of road widening post-1945 had a significant effect on Palermo. The widening of Highway 5 (Dundas Street West) and Highway 25 (Old Bronte Road, formerly Bronte Road) led to the demolition of a number of historic properties, including both general stores. This was soon followed by the loss of the Lawrence Foundry (part of the Palermo Agricultural Works) which was destroyed by fire in 1958. The widening of Dundas Street West to 6 lanes in the early 2000s led to the demolition of additional properties associated with Palermo, eroding the legibility of the former village as a crossroads settlement. Further changes to the road network came with the construction of the Bronte Road bypass. The encroachment of suburban growth facilitated by road expansion has changed the character of the community, introducing land-use patterns and housing typologies foreign to the former village.



23. 1806 Wilmot Map showing land grants by the Crown. The village of Palermo would be founded at the intersection of these four parcels of land (indicated in red) (Source: Town of Oakville, annotated by ERA Architects)



24. 1880 map of the County of Halton showing the location of the village of Palermo. By this time, the 200 acre parcel granted to Bidad Simmons is now primarily owned by John Hager (Source: Toronto Reference Library)





25. Looking north along Bronte Road (Highway 25) at the intersection with Dundas Street (Highway 5) prior to road widening c1912 (Source: Trafalgar Historical Society)



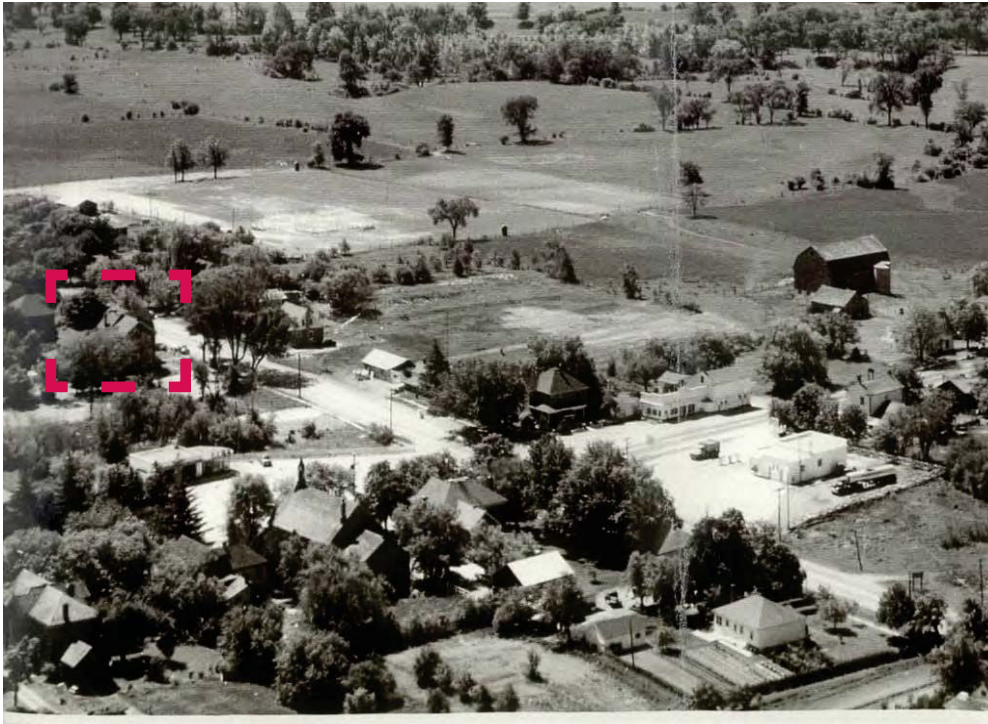
26. Palermo Inn as photographed in the late nineteenth/early twentieth century (Source: Oakville Historical Society)



28. Looking south along (Old) Bronte Road towards Dundas Highway c1906. Note the Lawrence Foundry on the left which formed part of the Palermo Agricultural Works (Source: Oakville Historical Society)



27. A photograph of the Lawrence Foundry in 1954. The building would be destroyed by fire in 1958 (Source: Oakville Historical Society)



29. Looking southwest towards the intersection of Bronte Road and Dundas Street. The location of the Anson Buck House at 2495 (Old) Bronte Road is indicated in red. The Development Site is out of frame c.early 1950s (Source: Oakville Images)



30. The intersection of Bronte Road and Dundas Street after road widening, looking west, c.1975. By this time the commercial properties clustered at the intersection (visible in figure 19) were demolished (Source: Oakville Images)

### 3.3 Design

The Development Site contains three structures on the properties municipally known as 2467 & 2477 Old Bronte Road. A description of each structure is found below:

#### *2467 Old Bronte Road*

The building is an early twentieth century, two-storey brick masonry structure with an attached garage. The building features a pitched roof with a dormer extension. There is a full height extension at the rear, and a modern porch extension. The building is comprised of red stock brick masonry, with segmented arched window openings, and concrete sills. There is a mixture of metal framed windows with storm windows, and a smaller number of timber windows. The roof is finished with black shingles.

#### *2477 Old Bronte Road*

##### *House Form Structure*

The building is a two-storey house form structure with a pitched roof and dormer containing three windows. The building is covered with a metal over cladding that obscures the building materials behind. The building has a mixture of metal and wood framed windows, with metal, and timber storms. There is a wooden deck attached to the rear of the property. The roof is finished with shingles.

##### *Barn-like Structure*

The building is a two-storey structure. The building appears to have had numerous additions extending from what appears to be the original gambrel roof structure at its centre. The structure is partly covered by metal over cladding that obscures the construction material behind. The roof is finished in shingles.

### 3.4 Architect

The architect of either property is not currently known.

### 3.5 Building Evolution

The following is an outline of additions made to the structures currently contained within the Development Site. In order to determine what is original building fabric and what is an addition, ERA Architects filed a Freedom of Information Request with the Town of Oakville for all available building records for 2467 & 2477 Old Bronte Road (see Appendix G). As the Town of Oakville does not have building records for either property prior to 1980, visual inspection (interior and exterior) of the properties by a conservation architect from ERA Architects was undertaken in order to identify likely alterations to the original structures. These alterations are identified below:

#### *2467 Old Bronte Road*



Rear addition (2-storeys including basement). Approved by the Town of Oakville in September 1983 (as per Building Records)

Dormer on west elevation. Approved by the Town of Oakville in April 1981 (as per Building Records)

Enclosure of front porch and connection to the garage (date unknown, likely post-1950)



Dormer on west elevation.  
Approved by the Town of Oakville  
in April 1981 (as per Building  
Records)

Enclosure of front porch and  
connection to the garage (date  
unknown, likely post-1950)



Rear addition to east elevation  
(2-storeys including basement).  
Approved by the Town of Oakville  
in September 1983 (as per Building  
Records)

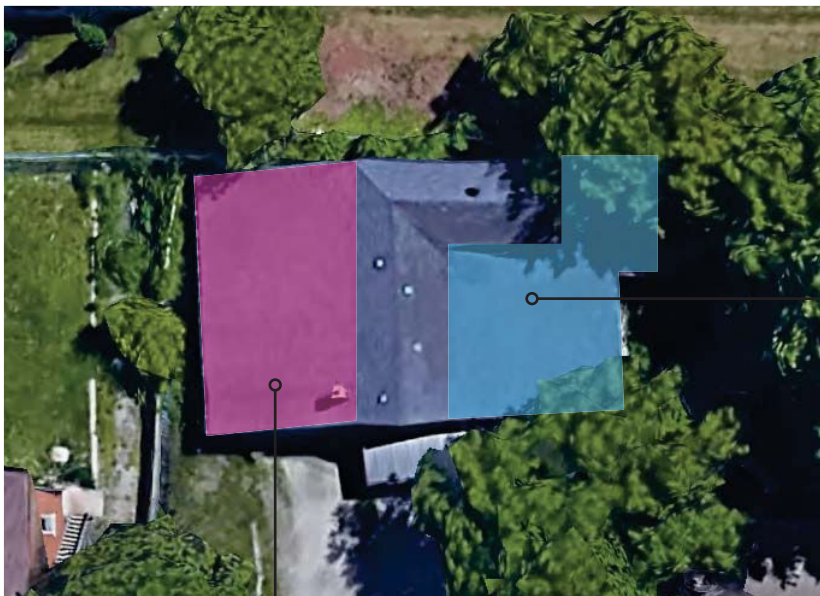
2477 Old Bronte Road

House-Form Building



Rear addition to east elevation (one-storey plus basement). Approved by the Town of Oakville in February 1982 as per Building Records)

Barn-like Building



Enclosure of front porch (date unknown, likely post-1970 as per archival photograph - see image 19)

Single-storey addition to the building's south elevation (date unknown)

Addition of double car garage to north elevation. Single car garage approved by The Town of Oakville in 1986. Appears to not have been built to the approved plan.

House-Form Building



Enclosure of front porch (date unknown, likely post-1970 as per archival photograph - see image 19)



Rear addition to east elevation (one-storey plus basement). Approved by the Town of Oakville in February 1982 as per Building Records)



## Barn-like Building



Addition of double car garage to north elevation. Single car garage approved by The Town of Oakville in 1986. Appears to not have been built to the approved plan.



Single-storey addition to the building's south elevation (date unknown)

## 4 ASSESSMENT OF EXISTING CONDITION

All images credited to ERA Architects

### 4.1 2467 Old Bronte Road

#### Exterior

This visual building condition assessment was carried out on 14th June, 2017. The review was done from grade, and the interior and roof were not accessed. The weather was sunny and clear with a temperature of 20°C.

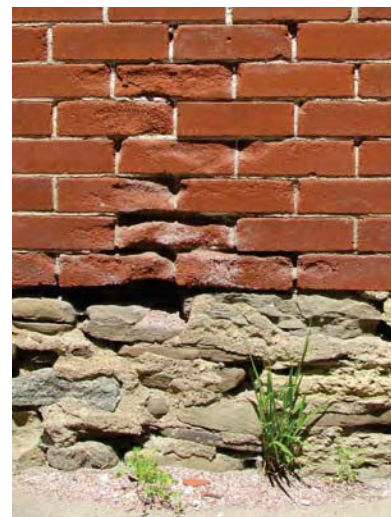
The building is an early 20th century, two -storey brick masonry dwelling, with pitched roof with dormer extension, 1980s full height extension at the rear, and a modern porch extension. The attached garage was not assessed. The building is comprised of red stock brick masonry, with segmented arched window openings, and concrete sills. There is a mixture of metal framed windows with storms, and a smaller number of timber windows. One of the basement windows on the South elevation has been infilled. The roof is finished with black shingles.

The building is not located on cardinal lines. For the purpose of this assessment, North is the elevation facing Dundas Street West, South is the elevation facing Pine Glen Road, East is the rear of the property, and West is the elevation facing Old Bronte Road.

The condition of the exterior of the building is generally good, with some elements that have deteriorated. The 1980s extension is in a good condition. The red stock brick is in a good condition. There are some spalled bricks within the enclosed porch at the entrance door, and on the south elevation at the lower courses of brick. On all original elevations there are stepped cracks in the mortar between the segmented arches of the windows, and the sills of the windows above. These cracks have resulted in dislodging the mortar, leaving open mortar joints. Deteriorated mortar joints also exist in the segmented arches above the window, and in the bricks beneath the sills where no windows are located below. The bricks below the sills are stained, and there is evidence of efflorescence on them. In isolated areas on each elevation, there are small areas of mortar where it has deteriorated, and is missing. Boxes in the enclosed porch have obscured part of the original brick walls. At the West elevation facing Old Bronte Road, a number of bricks have been pushed out from the face of the wall, and are no longer plumb.



31. Spalled and chipped bricks at entrance (South elevation)



32. Spalled brick, and deteriorated parging at base (South elevation)

The chimney to the original building is in a poor condition. Vegetation is growing around it, obscuring much of the brick. The bricks at the top are spalled, and there are open mortar joints.

Vegetation on the North and West elevations has obscured much of the base of the masonry. Vegetation is also growing up the building on the North elevation, obscuring the brick beneath.

The parging to the rough coursed masonry at the base of the building is in a poor condition and has deteriorated in places, leaving open joints between the masonry. There is a large hole in the parging at the base of the 1980s extension where a pipe has been inserted.

The metal framed windows appear to be in a fair condition. The timber framed windows are in a poor condition, with paint missing from sections of them. The concrete sills are in a fair condition with most them cracked. There are two original stone sills located in the enclosed porch, these are in a good condition.

The roof is in a good condition, with a small number of shingles lifting. The soffit and fascia are in a good condition, with some minor staining from where vegetation has been removed. The rainwater system appears to be in a good condition (note it was not raining, and no water was poured down to confirm if rainwater system functions adequately).

The deck at the rear of the building is in a poor condition, weathered, with paint peeling.

The porch addition is in a fair condition. There are some minor cracks to the concrete parging at the base.



33. Deteriorated and open mortar joints (North elevation)

*Good: Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated with in the next five years.*

*Fair: Functioning as intended; Normal deterioration and minor distress observed; maintenance will be required within the next five years to maintain functionality.*

*Poor: Not functioning as intended; deterioration and distress observed; maintenance and some repair required in the next year to restore functionality.*

*Defective: Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*



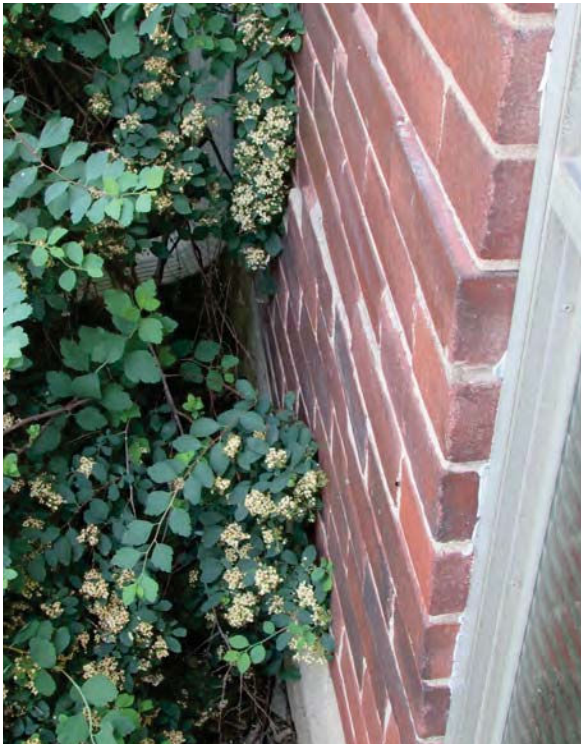
34. Stepped cracks between arch and sill, and deteriorated mortar joints



35. Deteriorated and open mortar joints (West Elevation)



36. Stained bricks, and efflorescence under sill (West elevation)



37. Bricks out of plumb (West elevation)



38. Spalled bricks and deteriorated mortar joints on chimney



39. Deteriorated parging at base (North elevation)



40. Hole in parging (East elevation)



41. Example of condition of metal framed window (West elevation)



42. Poor condition of timber framed window (North elevation)



43. Crack and chip in concrete sill (West elevation).



44. Good condition of stone sill (West elevation).



45. Lifting shingles on dormer extension.



46. Poor condition of timber deck.



47. Crack in parking at base of porch (West elevation)



48. Vegetation on brick (North elevation)

## Interior

This visual building condition assessment was carried out on October 17th October 2017. The weather was sunny and clear with a temperature of 16°C.

The condition of the interior of the building is generally fair to good. The finishes to the walls and ceilings in the 1911 section are mostly in a fair condition. The ceiling in the kitchen is failing and in a poor condition, with a temporary support underneath to prevent its collapse.

The floor coverings in the 1911 section of the house are in a fair to good condition.

The wood window frames, door frames, doors, and baseboards in the 1911 section of the house, all appear to be original and are in a good condition. The wood flooring in the 1911 section of the house where exposed on the first floor appears to be original and is in a good condition. The timber balustrade and newel posts to the stairs are in a good condition.

The original windows in the 1911 section of the house have mostly been replaced with modern double glazed units, and are in a fair condition. There is a timber sash window in the attic, which is in a fair condition, with paint peeling from the wood. At the first floor adjacent to the main entrance of the house is a fixed timber framed window with coloured glazing squares around the perimeter. This window is in a good condition. The operability of the windows was not tested.

The 1980s addition at the rear of the 1911 house is in a good condition. The original external bricks at the rear of the 1911 house have been left as an exposed wall within the interior of the 1980s addition. These bricks have been cleaned with an abrasive type of material which has removed the face of the brick, and given the bricks a different texture, and shade of colour to the rest of the original bricks. These bricks are chipped in places, and a number of the joints are missing mortar.

The walls, floors, and ceilings in the 1980s addition are in a good condition.



49. Cracked and damaged kitchen ceiling with temporary support.



50. Good condition of faux brick effect wall covering and wood panelling.





51. Good condition of modern wood panelling in 1911 section of house.



52. Good condition of baseboards, and flooring in 1911 section of house.



53. Good condition of door frames in 1911 section of house.



54. Good condition of door in 1911 section of house.



55. Good condition of entrance door.



56. Good condition of window frame in 1911 section of house.



57. Fair condition of sash window in attic of 1911 section of house.



58. Good condition of modern panelling in attic of 1911 section of house.



59. Missing mortar from joints at rear of 1911 section of house.



60. Missing mortar from joints, and rough texture of surface of original bricks due to abrasive cleaner.



61. Good condition of 1980s extension.



62. Good condition of tiled flooring and wood panelling in 1980s extension.

## 4.2 2477 Old Bronte Road

### *House Form Structure (Exterior)*

This visual building condition assessment was carried out on 14th June, 2017. The review was done from grade and the interior and roof were not accessed. The weather was sunny and clear with a temperature of 22°C.

The building is a two-storey dwelling. The building had been covered with a metal over cladding that obscures the building materials behind. The roof is finished with shingles. The building is not located on cardinal lines. For the purpose of this assessment, North is the elevation facing Dundas Street West, South is the elevation facing Pine Glen Road, East is the rear of the property, and West is the elevation facing Old Bronte Road.

The condition of the exterior of the building is in fair to poor condition. The cream metal cladding has some staining, and is scratched in places, but is otherwise in a good condition. The plastic damp proof membrane (dpm) at the base is in a good condition. The coverage of this dpm is sporadic, and it appears to have been cut back in places.

The two chimneys are in a poor condition. One chimney appears to have previously been reduced in height to roof level, and has bracing around to support it. The vertical mortar joints in this chimney increase in width with each course, indicating that there has possibly been previous movement in this chimney, and it has had to be repointed. This and the other chimney both have spalled bricks.

The building has a mixture of metal and wood framed windows, with metal, and timber storms. The windows are in a fair condition. The bay window on the North elevation has a timber sill, and timber storm, which are in a poor condition, with peeled paint and weathered timber. All parts of the roof including those over the bay window, and porch, are in a poor condition, with deteriorated shingles. The rainwater system appears to be in a good condition (note it was not raining, and no water was poured down to confirm if rainwater system functions adequately).

The timber deck at the rear of the building is in a good condition. The timber deck on the second floor was partially viewed from grade. This deck is in a poor condition, with one of the structural supports wrapped in a metal sleeve. The reason for the repair is not know, but it is likely that the timber had started to split.



63. Chips to paint on metal cladding (North elevation)



64. Dents to base of cladding (South elevation)



65. Wood cladding at rear



66. Spalled bricks at chimney



67. Bracing support for chimney



68. Increase in vertical mortar width as chimney height increases



69. Example of metal framed window.



70. Timber sash with storm window.



71. Weathered timber sill and frame at bay window (North elevation)



72. Deteriorated shingles on roof.



73. Metal support for timber post to deck above

### *House form Structure (Interior)*

This visual building condition assessment was carried out on October 17th October 2017. The weather was sunny and clear with a temperature of 16°C.

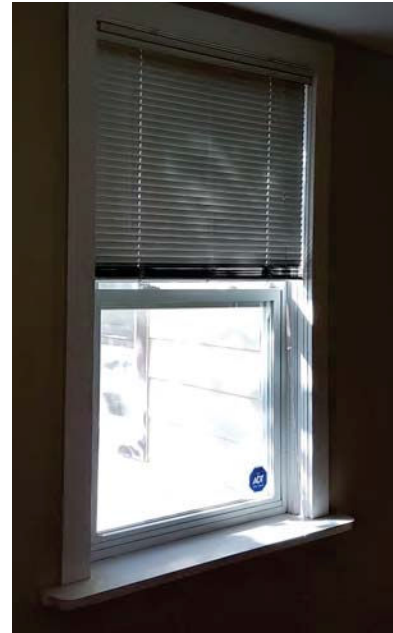
The condition of the interior of the building is generally fair to good. The interior of the original 1860s building has been heavily altered. Two separate basements, and a single storey rear extension are among the additions to the property. The basement and single storey extension at the rear date from the 1980s.

The ceilings, walls and floors on the first and second floor are all in a fair to good condition.

The 1980s basement at the rear is in a fair condition. Drywall boards have been removed, exposing the concrete blockwork behind. The stairs to the basement have wood panelling that pre-dates the construction of the basement. This panelling has probably been taken from elsewhere in the house.

The basement underneath the original house is in a fair to poor condition. This basement is full height for part of the floor space of the original 1860s building, with the rest a crawl space. The basement is constructed of cast concrete, and concrete blocks. Part of the original floor boards, and joists of the original structure of the house can be viewed from the basement.

Much of the interior appears to be modern, with little historic detail left. The door and frame at the rear of the original property which leads through to the 1980s addition appear to be from the early 20th century.



74. Good condition of window on first floor.



75. Good condition of door and frame on first floor.





76. Fair condition of walls and ceiling in 1980s extension.



77. Fair condition of kitchen in 1860s section of the house.



78. Good condition of windows and frames in 1860s section of the house.



79. Good condition of walls and ceiling in porch addition at the front.



80. Fair condition of timber threshold at front entrance of 1860s section of the house.



81. Good condition of possible early 20th century doors and door frame.



82. Good condition of walls and ceiling in 1860s section of the house.



83. Good condition of stairs in 1860s section of the house.



84. Good condition of stairs in 1860s section of the house.



85. Fair condition of 1980s basement.



86. Removed drywall revealing concrete blockwork in 1980s basement.



87. Concrete blockwork in 1980s basement.



88. Wood panelling to stairs in 1980s basement



89. Stairs down to basement underneath 1860s section of the house.



90. Cast concrete and concrete block walls in basement underneath 1860s section of the house.



91. Supports to flooring in basement underneath 1860s section of the house.



92. Crawl space underneath part of 1860s section of house.



93. Floor joist and flooring to 1860s house.



94. Joist and floorboards to 1860s house.

### 4.3 2477 Old Bronte Road

#### *Barn Like Structure (Exterior)*

This visual building condition assessment was carried out on 14th June, 2017. The review was done from grade and the interior and roof were not accessed. The weather was sunny and clear with a temperature of 22°C.

The building is a two-storey structure, that according to the Town of Oakville's Register of Properties of Cultural Heritage Value or Interest was a barn. The building appears to have had numerous additions, and is partly covered by metal over cladding that obscures the construction material behind. The roof is finished in shingles.

The building is not located on cardinal lines. For the purpose of this assessment, North is the elevation facing Dundas Street West, South is the elevation facing Pine Glen Road, East is the rear of the property, and West is the elevation facing Old Bronte Road.

The condition of the exterior of the building is mostly in a poor condition, with some building elements that are in fair condition. The dark coloured metal cladding is in a good condition. This cladding has been partially removed on the North elevation, revealing particle board behind. This particle board is in a poor condition, with staining indicating water damage. The walls on the rear elevation are covered with two different materials; metal cladding, and shingles. The shingles are in a poor condition, falling off the wall, revealing particle board behind.

The chimney is constructed of concrete bricks, and is in a poor condition, with one brick chipped, and a previous cement repair that is now cracking.

The windows on the building are all timber and a mixture of different styles. Storm windows have been installed on some windows. They are all in a poor condition, with weathered timber, and paint peeling. The South and East elevation have a number of full height windows. The doors are in a poor condition, missing hardware. Where they have been painted, the paint is chipped and peeling. There is a large garage door, that is in a fair condition. The doors were not checked for operability.



95. General condition of metal cladding (North, and West elevation)



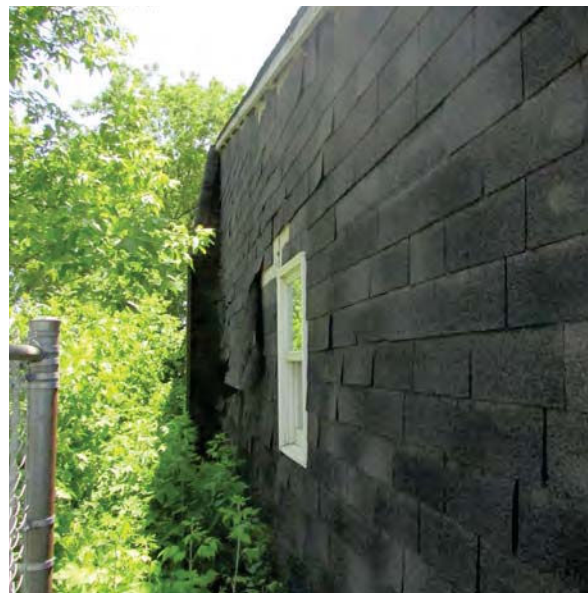
96. Dent to base of cladding (West elevation)

The fascia boards and soffits are metal. Where they exist they are in a fair to poor condition. On the North elevation the soffit has been removed, revealing water damaged particle board behind. The soffit has been removed, or fallen away on part of the rear elevation, and is beginning to fall down on the South elevation.

All parts of the roof are in a poor condition, with shingles that are deteriorated, and missing. The damaged particle boards on the North elevation indicate that the roof has been leaking in this location. The rainwater system is in a fair to poor condition. Some of the gutters are bent, and downpipes in at least two places discharge onto the ground directly in front of the building. Vegetation is also growing from the gutters.



97. Missing metal cladding. Note dark stains at top of board indicating water damage (North elevation)



98. Shingles falling from rear elevation



99. Chipped brick on chimney



100. Weathered timber window (West elevation)



101. Full height windows (South and West elevation)



102. Unfinished door. Note stick used to keep door shut (West elevation)



103. Door with paint peeling (South elevation)



104. Garage style door (West elevation)





105. Missing soffit (Rear elevation)



106. Damaged soffit (South elevation)



107. Missing soffit. Note water damage to particle board (North elevation)



108. General condition of fascia and soffit (West elevation)

### *Barn Like Structure (Interior)*

This visual building condition assessment was carried out on October 17th October 2017. The weather was sunny and clear with a temperature of 16°C.

The condition of the interior of the building is generally fair to poor. The original L-shaped gambrel roofed barn is believed to date from the late 19th or early 20th century (gambrel roof barns were typical of this time period) and has had a number of additions. The original L shaped plan is atypical of working agricultural barns of this period which were commonly rectangular in plan. The configuration of the building and its small size relative to working agricultural barns of its period suggests that it may have been used as a carriage house.

Since the 1980s, single storey additions have been made to the North, West, and South of the barn. The addition to the North has a double car garage door as the main entrance. The Northern extension is in a fair to poor condition. A limited number of the walls have graffiti on them, and are damaged.

The South extension was only partially viewed due to rubbish bags in this location, and a mice infestation. The South extension has full height glazing along the external walls. This addition is in fair to poor condition.

The original barn is in fair to poor condition. A limited number of the timbers can be seen, and it has not been possible to tell if this is a complete frame or if they have been re-purposed. One timber post on the ground floor is exposed and a small concrete pad has been cast at its base to raise the post off the ground. The concrete floor on the first floor appears to be in a good condition. The walls in the room on the first floor, which was used as an office, have a mixture of finishes. Large original wood panels that have been white washed have been installed horizontally against the frame. In places in this room a more modern wood panelling has been installed, presumably over the top of these larger planks.

The L shaped barn has a second floor level. This floor was only partially viewed due to concerns about the flooring. The flooring has been covered with composite particle boards, obscuring the surface beneath. In places this particle board was rotten. The large wood planks that have been installed as panels on the wall are in a fair to poor condition. In places there are holes in the boards, and



109. Fair to poor condition of walls and flooring in Northern extension.



110. Graffiti, and damage to wall in Northern extension.

there are large white stains, which are presumed to be the residue of excrement. The loft hatch was open, and a photograph was taken which shows part of the timbers that form the roof. This space was not viewed and accessed due to concerns over raccoon infestation, as raccoon excrement was noticed on the second floor.

The operability of doors and windows was not tested.



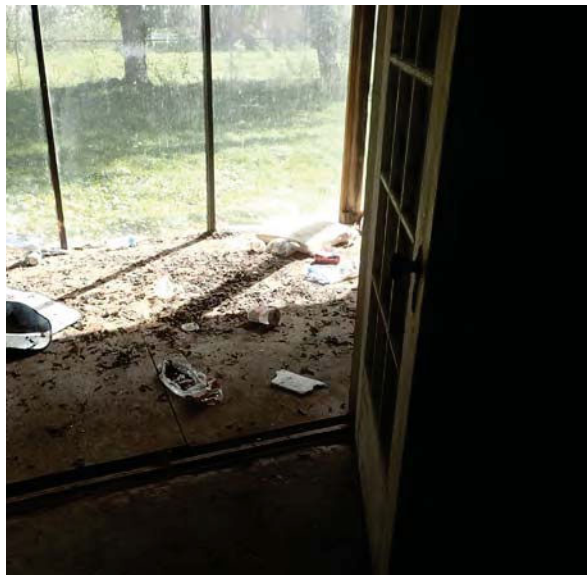
111. Fair condition of concrete blockwork, and bricks at Western extension.



112. Fair condition of central section of first floor, looking towards West extension.



113. Poor condition of Southern extension.



114. Poor condition of Southern extension.



115. Fair condition of framing in Southern extension.



116. Fair condition of framing in Southern extension.



117. Base of timber post with concrete foundation.



118. Timber planks as panelling underneath stairs.



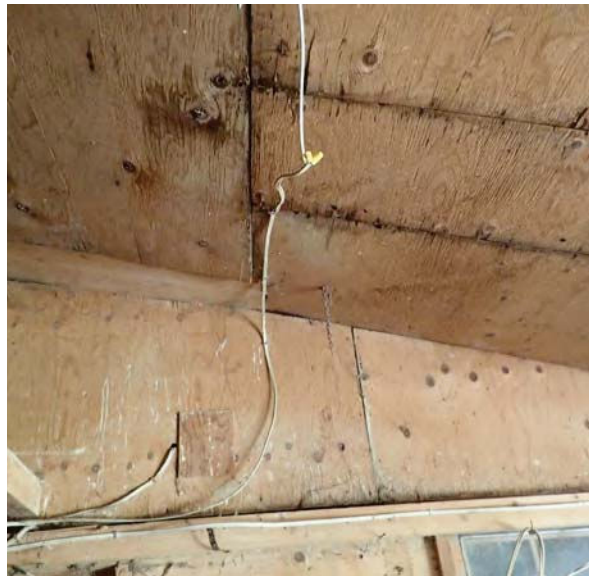
119. Fair condition of wall coverings in area labelled as 'the office'.



120. White washed planks, with additional panelling installed over in area labelled as 'the office'.



121. White washed planks in area labelled as 'the office'.



122. Fair condition of ceiling boards in area labelled as 'the office'.



123. Fair condition of internal window.



124. Fair condition of stairs to second floor.



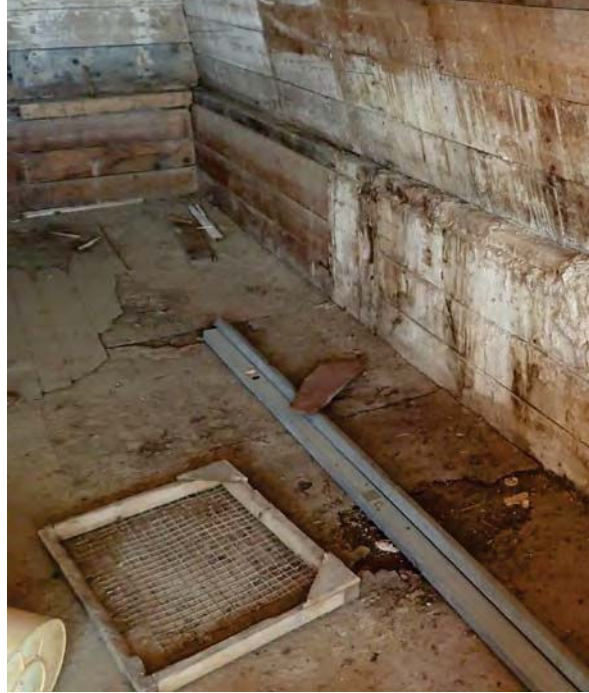
125. General condition of second floor, with missing planks of wood on wall.



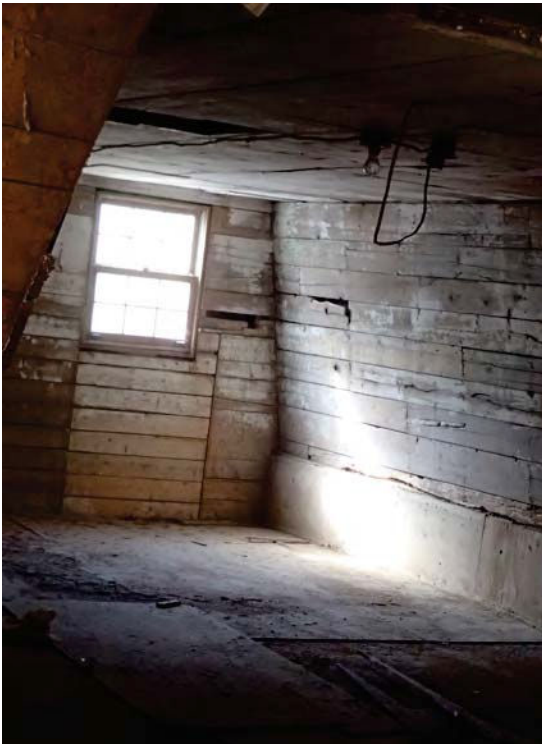
126. Boarded up window opening on second floor.



127. Excrement staining to wood wall planks, and hole in planks.



128. Rotten composite particle board flooring.



129. Fair condition of wood planks to ceiling, and walls at West gambrel end of roof.



130. Partial view of roof space through open loft hatch.



## 5 POLICY REVIEW

The following were among sources reviewed in preparing this HIA:

- Provincial Policy Statement (2014);
- Growth Plan for the Greater Golden Horseshoe (2006);
- The Ontario Heritage Act (R.S.O. 1990);
- Heritage Impact Assessment Terms of Reference, Town of Oakville (see Appendix A);
- Halton Region Official Plan (consolidated January 13, 2016);
- Town of Oakville Official Plan (consolidated April 4, 2017);
- Old Bronte Road/Khalsa Gate Streetscape Plan (2012);
- Palermo Village: A Heritage Resources Review and Strategy (2008)
- North Oakville Heritage Resources Review and Strategy (2009)

## 6 STATEMENT OF SIGNIFICANCE

The Development Site contains two properties listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest at 2467 & 2477 Old Bronte Road. The official reasons for listing appear below:

### *2467 Old Bronte Road*

This property has potential cultural heritage value for its c.1909 vernacular brick house with Queen Anne style influences and for its association with the development of the village of Palermo.

### *2477 Old Bronte Road*

This property has potential cultural heritage value for its vernacular frame house and barn and for its association with the development of the village of Palermo.

### 6.1 Heritage Evaluation

An evaluation of the existing properties on the Development Site under Ontario Regulation 9/06 was undertaken for the purposes of due-diligence (see Appendix B for a copy of the regulation). The result of this evaluation indicates that 2467 & 2477 Old Bronte Road contain insufficient design, historical or contextual value to merit designation Part IV of the OHA.

## 6.2 Evaluation of Development Site Properties under Ontario Regulation 9/06

### 2467 & 2477 Old Bronte Road

1. The property has design value or physical value because it:
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method
ii. displays high degree of craftsmanship or artistic merit
iii. demonstrates high degree of scientific or technical achievement

2467 Old Bronte Road is a common example of early twentieth century rural residential architecture in Southern Ontario. Although subject to fewer alterations relative to the structures at 2477 Old Bronte Road, the structure is neither rare nor particularly sophisticated in its architectural detailing or use of materials.

The gambrel-roof barn at 2477 Old Bronte Road has been heavily modified with a series of unsympathetic additions added over time. These interventions have removed original building fabric (i.e. the barn's original doors), altered the roof line and changed both the external and internal configuration of the building. The house-form building at 2477 Old Bronte Road appears to have been modified with original materials either removed or obscured by overcladding. Although confirmation via destructing testing is required, it appears that original fabric is limited to the wood frame structure of the house. Visual inspection of the building's interior revealed minimal original materials/fittings. As with 2467 Old Bronte Road, both structures at 2477 Old Bronte Road are neither rare nor particularly sophisticated in their architectural detailing or use of materials.

2. The property has historical value or associative value because it:
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture
iii. demonstrates or reflects the work or ideas of an architect, builder, designer or theorist who is significant to a community

2467 & 2477 Old Bronte Road do not sufficiently contribute to the narrative of Palermo, either through connection to its historical development or through association with a significant person or event to merit designation under Part IV of the OHA. There are nearby listed/designated properties that served as centres of community life within the village or have established connections to families that figured prominently in the history of Palermo. These include:

- 2495 Old Bronte Road – Buck House c.1860
- 2527 Dundas Street West – Hagar House c. 1870

- 2507 Dundas Street – Switzer House c.1868
- 3114 Dundas Street West – Peacock House
- 3017 Old Bronte Road – United Church Rectory c.1880
- 2521 Dundas Street West – Palermo United Church c.1867.

3. The property has contextual value because it:
i. is important in defining, maintaining or supporting the character of an area
ii. is physically, functionally, visually or historically linked to its surroundings
iii. is a landmark

2467 & 2477 Old Bronte Road form part of the built-form fabric of Palermo. They are, however, not singularly important in maintaining the character of the former village. As identified by the Heritage Planning Division of the Town of Oakville in their 2008 report ‘Palermo Village: A Heritage Resources Review and Strategy’ the series of structures clustered around the intersection of Old Bronte Road & Dundas Street West (Cluster #2) ‘are collectively the most significant grouping of structures in the hamlet. Their continued existence, more than any other, defines Palermo as a place of settlement and can be considered a cultural heritage landscape as an important reminder of this historic village.’ With the exception of the 3015 Dundas Street West, all the properties within Cluster #2 are extant and are either listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest or designated under Part IV of the OHA.

## 7 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development, as indicated in the conceptual drawings produced by Quadrangle Architects dated 17 November 2017, alters the composition of the Development Site by removing the structures at 2467 & 2477 Old Bronte Road and replacing them with a mixed-use building containing retail space at-grade.

The proposed mid-rise development consists of a single, articulated volume clad in mixed iron spot brick and stone masonry. Transparent glazing is contemplated for the retail units at-grade while a mixture of brick masonry and a light coloured stone masonry is proposed for the remainder of the building. Wood is contemplated for the soffits.

The proposed pattern of cladding generally responds to the series of articulations with stone masonry applied to the recessed portions of each elevation while brick masonry is reserved for the remainder of the exterior. A staggered balcony placement is also proposed. The net effect of this pattern is to relieve the massing of the structure, suggesting that it is composed of two interconnected components rather than an a single undifferentiated volume.

Pedestrian access to the residential lobby and proposed retail spaces is indicated off Old Bronte Road. Vehicular access to three levels of below-grade parking is proposed to be achieved at a single point along the building's north elevation.

See Appendix H for a full set of architectural drawings.



131. Ground floor plan of the proposed development (Source: Quadrangle Architects)



132. North (above) and south (below) elevations of the proposed development (Source: Quadrangle Architects)



133. East (above) and west (below) elevations of the proposed development (Source: Quadrangle Architects)



## 8 IMPACT OF DEVELOPMENT & MITIGATION STRATEGIES

The proposed development as described in Section 7.0 replaces the listed structures on the Development Site with a mid-rise, mixed-use building containing retail space at grade.

### 8.1 Considered Alternatives

Incorporating one or more of the listed structures into the proposed development was explored as an alternative approach, as was relocation of the structures within the Development Site.

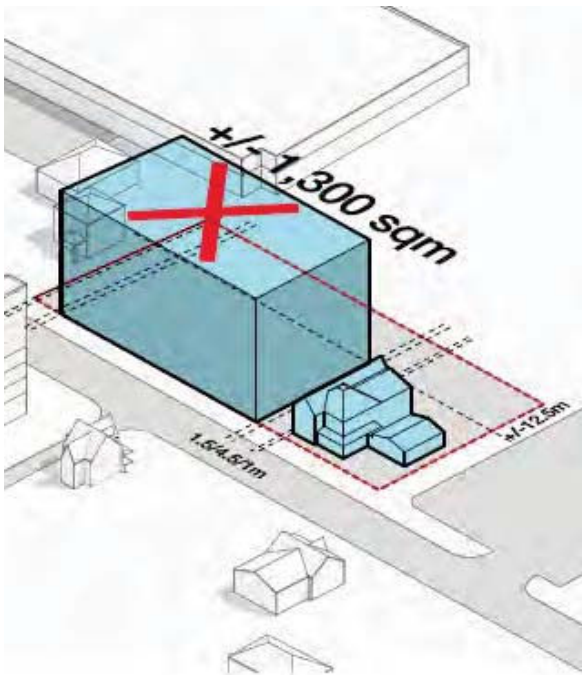
#### *Relocation*

Relocation of the properties within the Development Site is unfeasible. Given the small size of the land assembly relative to 2478, 2486 & 2490 Old Bronte Road (2480 Old Bronte Road, a listed property, was relocated as part of the development of this site), there is insufficient space to relocate the listed properties within the Development Site without exceeding the height permitted by the current zoning or resulting in substantial reconstruction of both properties. Further, the value of both properties are derived from their semi-rural setting, most notably 2467 Old Bronte Road and the barn-like structure at 2477 Old Bronte Road. To relocate the structures within the Development Site would make this already degraded condition illegible, diluting their already limited contribution to the character of Palermo.

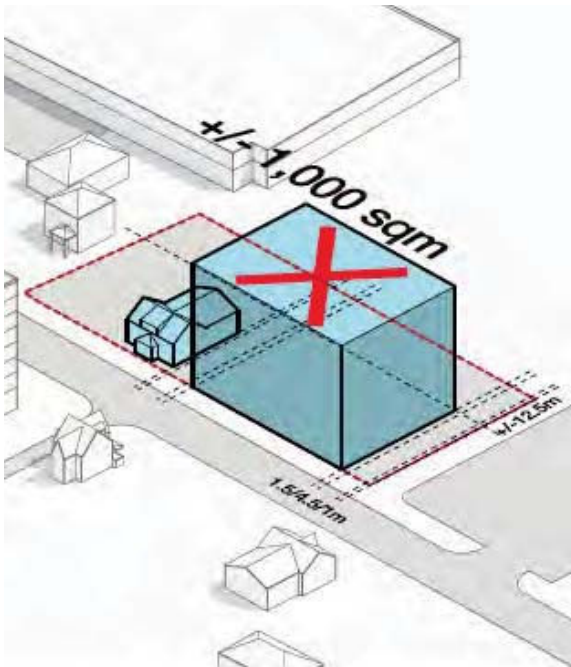
#### *Incorporation*

Given the incongruity of scale between the existing structures and the proposed mid-rise development as well as their current positions within their respective lots, incorporation of any portion of the listed buildings presents considerable challenges. The scale of the proposed development is not well-suited for incorporation with the house-form structures and barn-like structure, compromising the design integrity of both the heritage buildings and the proposed development. Further, incorporation of the existing structures would require moving them within the Development Site, creating an altered historic condition (i.e. setback from property line and absence of green space) that would undermine the value of the buildings by divorcing them from their original context.

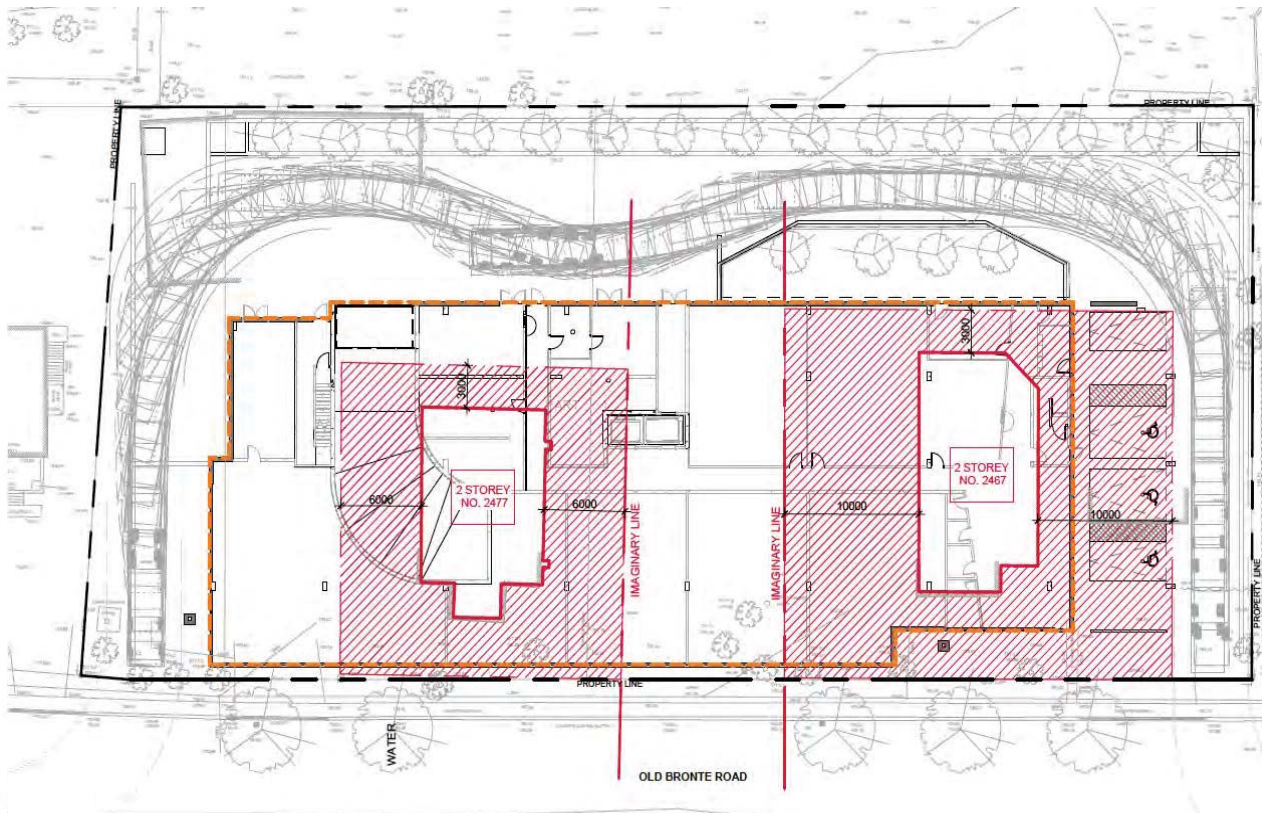
Incorporation of heritage fabric into new development is better suited to in-situ retention of larger, multi-storey buildings (i.e. former commercial or industrial buildings) where the scale of the larger multi-storey





134. Model showing remaining buildable area with retention of the existing structure at 2467 Old Bronte Road the Development Site (Source: Quadrangle Architects)



135. Model showing remaining buildable area with retention of the existing house-form structure at 2477 Old Bronte Road the Development Site (Source: Quadrangle Architects)



**LEGEND**

-  APPROXIMATE NO-BUILD ZONE BASED ON OBC'S MINIMUM LIMITING DISTANCE SET BACK FOR UNPROTECTED OPENINGS
-  LINE OF PROPOSED BUILDING

136. Diagram showing the buildable area should both structures be retained in-situ (based on the minimum limiting distance set back for unprotected openings as set by the Ontario Building Code) (Source: Quadrangle Architects)

development doesn't overwhelm that of the retained heritage structure. In-situ retention also avoids the need for substantial reconstruction or replacement of heritage fabric that would be required by relocation and incorporation. The incorporation of the existing structures at 2477 Old Bronte Road is also problematic as both have been heavily modified. Given the relative absence of heritage fabric, rehabilitation of both structures would amount to re-creation, requiring more replacement than repair of heritage fabric.

In summary, relocation or incorporation of the listed structures would not constitute best practices in conservation as outlined in Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (second edition), requiring a degree of alteration or reconstruction that would erode their already minimal design and contextual value.

## 8.2 Policy Context

The heritage evaluation contained within this report finds that, in our opinion, the properties at 2467 & 2477 Old Bronte Road have insufficient design, historical or contextual value to merit designation under Part IV of the OHA. We concur with the findings of the 2008 report completed by the Heritage Planning Division of the Town of Oakville that identified the properties contained within Cluster 2 as being the most significant grouping of structures in Palermo (see Section 1.6 of this report).

Given the findings of the heritage evaluation contained in Section 5.2 of this report, the incompatibility of relocating or incorporating the house-form structures into the proposed development and the need to balance land-use policies objectives set by the provincial government and affirmed by the regional and municipal governments, namely intensification and the conservation of cultural heritage resources, we find that the contribution to the cultural heritage value of Palermo offered by 2467 & 2477 Old Bronte Road can be conserved through interpretation rather than retention.

## 8.3 Mitigation Measures

The building's massing has been sculpted to respond to the low-rise scale of nearby recognized heritage properties and its material composition, textured and natural in character, references the built-form character of nearby heritage fabric. The project's design, while compatible with the emerging scale and material vernacular of Palermo, remains distinguishable from recognized heritage properties within the immediate vicinity of the Development Site. Further, the proposed inclusion of retail space at-grade

will help to animate Old Bronte Road, reactivating the former village as a hub of pedestrian activity and drawing new users into contact with extant heritage resources within Palermo.

No negative impacts on the nearby designated property at 2495 Old Bronte Road are anticipated as a result of the proposed development.

## 8.4 Further Studies

Opportunity exists for an interpretation strategy either on-site to commemorate on-site heritage fabric and to help make legible the history of Palermo, offering context for extant heritage resources and connecting them with the historical narrative of the community.

The strategy is proposed to be developed in cooperation with Heritage Planning Division of the Town of Oakville.



137. Rendering of the proposed development looking north along Old Bronte Road (Source: Quadrangle Architects)

## 9 CONCLUSION

This revised Heritage Impact Assessment finds that in order to balance the various land-use policies objectives set by the provincial government and summarized in the Planning Rationale provided as part of this application, namely intensification and the conservation of cultural heritage resources, the contribution to the cultural heritage value of Palermo offered by 2467 & 2477 Old Bronte Road can be conserved through interpretation rather than retention.

Further, this report finds that the material composition of the proposed mid-rise development and its relationship to the street responds to the character of nearby recognized heritage properties while the inclusion of at-grade retail space helps to reactivate the former village as a hub of pedestrian activity.

No negative impacts on the nearby designated property at 2495 Old Bronte Road are anticipated as a result of the proposed development.

Development of an interpretation plan to commemorate existing on-site heritage fabric is proposed to be developed in cooperation with Heritage Planning Division of the Town of Oakville.

## Project Personnel

*Edwin Rowse, Principal, OAA FRAIC CAHP RIBA*

Edwin J. Rowse is a registered architect in Canada with thirty years of experience in the field of historical architecture. He specializes in the renovation of existing buildings and in the conservation and restoration of historic buildings.

After graduating from the University of Edinburgh, he worked in London, England, for nine years for Donald W. Insall and Associates, an internationally recognized firm of restoration architects. In 1984 he moved to Toronto, Canada, where he worked for two firms with heritage expertise before starting his own practice in 1990. He has been in partnership with Michael McClelland since 1994. The firm is well known for heritage planning and architecture, with projects ranging from the award-winning Distillery District and Carlu hospitality centre, both in Toronto, to the care of four national historic sites. ERA is also committed to promoting related cultural causes such as the revitalization of Allan Gardens in Toronto.

His experience covers a broad range of historical building types, styles, construction technologies, and decorative finishes, including carving and gilding.

*Graeme Stewart, Principal, OAA MRAIC RPP MCIP CAHP*

Graeme Stewart has been involved in numerous urban design, cultural planning, conservation and architecture projects with particular focus on neighbourhood design and regional sustainability. Graeme was a key initiator of the Tower Renewal Project. He is also the co-editor of *Concrete Toronto: A Guidebook to Concrete Architecture from the Fifties to the Seventies*. He is a regular lecturer in the Toronto Area's Universities and Colleges and has been a sessional instructor at the Daniels Faculty of Architecture at the University of Toronto. Graeme is a founding director of the Centre for Urban Growth and Renewal (CUG+R), an urban research organization formed by ERA and planningAlliance in 2009. In 2010, he was recipient of an RAIC National Urban Design Award for his ongoing research and design work related to Tower Renewal. Graeme has studied architecture in Canada and Germany and received his Master of Architecture from the University of Toronto.



*Julie Tyndorf, Associate, MCIP RPP*

As an experienced development planner in Toronto, Julie Tyndorf, MCIP RPP possesses valuable insight into the municipal approvals process and specializes in the interpretation and preparation of complex policy and assessment documents.

Beyond these technical abilities, Julie embraces a collaborative approach to planning that values diversity, vibrancy, and sustainability of both culture and built form.

As co-Chair of Ryerson University's Planning Alumni Association, Julie regularly volunteers her time to support planning students through fundraising initiatives and professional career mentorship. Julie is a registered planner in the Province of Ontario and a member of the Canadian Institute of Planners.

*Luke Denison, M.Sc.*

Luke Denison is a project manager at ERA Architects Inc., where he focuses on the restoration and adaptive reuse of buildings, and the contract administration of projects. This work has included the repair and restoration of plaster ceilings at Branksome Hall, the restoration of Salmon Run Fountain, and the reuse of Casey House Hospice. Prior to joining ERA, Luke was a Building Surveyor in the UK.

*Evan Manning, M.Pl.*

Evan Manning holds a Master's of Planning in Urban Development from Ryerson University. His work with the preservation organization Dominion Modern imparted a respect for our modern built heritage that guided the direction of his graduate studies with particular focus on Toronto's post-industrial landscapes and post-war suburbs.

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Town of Oakville. (2008) Palermo Village: A Heritage Resources Review and Strategy.

Town of Oakville. (2009) North Oakville Heritage Resources Review and Strategy.

## 10 APPENDICES

# APPENDIX A

## Heritage Impact Assessment Terms of Reference, Town of Oakville

# Development application guidelines

## Heritage impact assessment

### What is the purpose of this?

A **heritage impact assessment** is a study to determine the impact of a proposed development on the cultural heritage value of a property and to recommend an overall approach to the conservation of the heritage resources.

The assessment should be based on a thorough understanding of the significance and heritage attributes of the cultural heritage resource(s), identify any impact the proposed development or alteration will have on the resource(s), consider mitigation options, and recommend a conservation strategy that best conserves the resource(s) within the context of the proposed development.

The **heritage impact assessment** should apply conservation principles, describe the conservation work and recommend methods to avoid or mitigate negative impacts to the cultural heritage resource(s). Minimal intervention should be the guiding principle for all work.

### Who should prepare this?

This analysis is to be prepared by a qualified heritage specialist. Applicants may refer to the Canadian Association Heritage Professionals (CAHP) at [www.caphc.ca](http://www.caphc.ca), which lists members by their specialization.

### When is this required?

In accordance with the heritage conservation policies in the Livable Oakville Plan, a **heritage impact assessment** is required when a development or redevelopment is proposed:

- on, adjacent to, or in the immediate vicinity of, an individually designated historic property; or,
- within, adjacent to, or in the immediate vicinity of, the boundaries of a Heritage Conservation District.

### Why do we need this?

The **heritage impact assessment** is required in order to:

- determine compliance with relevant cultural heritage policies
- assist staff with their analysis and report preparation

The rationale for the requirement for the heritage impact assessment arises from: the *Ontario Heritage Act*; Section 2(d) of the *Planning Act*; Section 2.6.3 of the *Provincial Policy Statement (2005)*; Section 5.3.1 of the *Livable Oakville Plan*.

### How should this be prepared?

A **heritage impact assessment** should contain, but is not limited to:

Introduction to Development Site

- a location plan and current site plan of the property
- a written description of the property, its location and surroundings, including the heritage status of the development site and adjacent properties
- a written description of the heritage attributes of the site, including any significant features, buildings, landscapes and vistas

#### Research and Analysis

- a comprehensive review of the history of the property's development as documented in pictorial and textual records and as observed in as-found evidence
- a chronological history of the development of any structures, such as additions, removals, conversions, etc.
- an evaluation of the cultural heritage significance of the site in terms of its history, architecture and local context
- the reproduction of any pictorial records found, including relevant maps, atlases, drawings, photographs, permit records, land title records, assessment rolls, etc.

#### Statement of Significance

- a statement of significance identifying the cultural heritage value and heritage attributes of the cultural heritage resource(s), in accordance with provincial legislation Ontario Regulation 9/06
- this statement should be informed by current research and analysis of the site as well as pre-existing heritage descriptions
- this statement should be written in a way that does not respond to or anticipate any current or proposed interventions to the site

#### Assessment of Existing Condition

- a comprehensive written description of the physical condition of the structures on the site, including their exterior and interior
- current photographs of the property, including:
  - views of the area surrounding the property to show it in context with adjacent properties
  - exterior views of each elevation of each building
  - views of the property including all significant landscape features
  - interior views of each room in each building
  - close-up views of all significant interior heritage features

#### Description of the Proposed Development

- a written description of the development proposal
- a conceptual site plan and conceptual drawings of all building elevations
- description and drawings should note which heritage attribute(s) are considered for retention and which are considered for removal or alteration

#### Impact of Development on Heritage Attributes

- a discussion of the potential impacts the proposal may have on the site's heritage attributes
- negative impacts on cultural heritage resources may include:
  - destruction of any, or part of any, significant heritage attribute
  - alteration that is not sympathetic to the heritage attribute
  - shadows created by new development that alter the appearance of or change the viability of a heritage attribute
  - isolation of a heritage attribute from its surrounding environment, context or significant relationship
  - direct or indirect obstruction of significant views or vistas
  - a change in land use which negates the property's cultural heritage value
  - land disturbances such as a grade change that alters soils and drainage patterns

that adversely affect a cultural heritage resource

Considered Mitigation and Conservation Strategies

- an assessment of alternative options, mitigation measures and conservation methods that may be considered in order to avoid or limit the negative impact on the cultural heritage resource(s)
- alternatives and strategies should have consideration for relevant cultural heritage policies (Provincial Policy Statement; Official Plan; Heritage Conservation District Plan, Designation By-law, if applicable)
- recommendations for additional studies to be undertaken related to, but not limited to: restoration specifics, design guidelines, interpretation and commemoration, lighting, signage, landscaping, structural analysis, additional written and photo documentation prior to demolition, long-term maintenance plan

Appendices

- a list of primary and secondary sources consulted
- a summary of the author's qualifications

The study is to be submitted in hard copy (2 copies) and in PDF format.

**What else should we know?**

The Town of Oakville reserves the right to request an independent peer review of a *heritage impact assessment at the applicant's cost*. Heritage Planning staff will facilitate peer reviews if deemed necessary by the Director of Planning.

Peer reviews will evaluate the assessments provided in heritage impact assessments. These reviews may include, but are not limited to, addressing inconsistencies, factual errors, discrepancies, inappropriate conservation advice not consistent with recognized standards (see below), omissions and misrepresentations.

It is expected that the preferred protective and mitigative measures will be consistent with recognized standards for heritage conservation, including:

- Ontario Ministry of Tourism and Culture's *Standards and Guidelines for Conservation of Provincial Heritage Properties*
- Ontario Ministry of Tourism and Culture's *Eight Guiding Principles in the Conservation of Historic Properties*
- Ontario Ministry of Tourism and Culture's *Heritage Conservation Principles for Land Use Planning*
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*
- the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*
- the *Appleton Charter for the Protection and Enhancement of the Built Environment*
- the *International Charter for the Conservation and Restoration of Monuments and Sites* (the Venice Charter)

**What other resources are available?**

Town of Oakville - Heritage Planning Information:  
<http://www.oakville.ca/business/heritage-planning.html>

Province of Ontario - Ministry of Tourism and Culture:  
<http://www.mtc.gov.on.ca/en/heritage/heritage.shtml>

Parks Canada:  
<http://www.pc.gc.ca/>

The Appleton Charter for the Protection and Enhancement of the Built Environment:  
<http://www.international.icomos.org/charters/appleton.pdf>

The Venice Charter: International Charter for the Conservation and Restoration of Monuments and Sites:  
[http://www.icomos.org/venice\\_charter.html](http://www.icomos.org/venice_charter.html)



# APPENDIX B

## Ontario Regulation 9/06

### Ontario Heritage Act

#### ONTARIO REGULATION 9/06

##### CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

**Consolidation Period:** From January 25, 2006 to the e-Laws currency date.

No amendments.

*This is the English version of a bilingual regulation.*

#### Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
  1. The property has design value or physical value because it,
    - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
    - ii. displays a high degree of craftsmanship or artistic merit, or
    - iii. demonstrates a high degree of technical or scientific achievement.
  2. The property has historical value or associative value because it,
    - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
    - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
    - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
  3. The property has contextual value because it,
    - i. is important in defining, maintaining or supporting the character of an area,
    - ii. is physically, functionally, visually or historically linked to its surroundings, or
    - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

#### Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

## APPENDIX C

### Reasons for Listing (2467 & 2477 Old Bronte Road)

**Town of Oakville  
SECTION F: Register of Properties of Cultural Heritage Value or Interest (NOT Designated)**

PROPERTY ADDRESS	DESCRIPTION
3122 LAKESHORE RD W	This property has potential cultural heritage value for its 19th century Victorian style frame farmhouse (farmhouse only).
3175 LAKESHORE RD W	Guimore House - this property has potential cultural heritage value for its c.1919 brick house with gambrel roof.
3550 LAKESHORE RD W	This property has potential cultural heritage value for its small vernacular lakefront cottage.
1196 LINBROOK RD	This property has potential cultural heritage value for its 1930s shingle Colonial Revival style house.
112 LISONALLY CRT	This property has potential cultural heritage value for its stone pillars formerly associated with the Lissonally Farm (stone pillars only - other structures not included).
1566 LOWER BASE LINE	This property has potential cultural heritage value for its historic farmstead, including the c.1880 brick Victorian farmhouse, historically associated with the agricultural development of Trafalgar Township.
2252 LOWER BASE LINE	This property has potential cultural heritage value for its historic farmstead, historically associated with the agricultural development of Trafalgar Township.
2480 LYNDBURST DR	Tovell Farmhouse - this property has potential cultural heritage value for its c.1867 frame farmhouse, relocated from its original site at 2130 Dundas Street West.
311-313 MACDONALD RD	This property has potential cultural heritage value for its c.1910 brick bungalow with Edwardian and Queen Anne style influences, historically associated with L.P. Snyder who developed Tuxedo Park.
323 MACDONALD RD	This property has potential cultural heritage value for its c.1915 brick house with Colonial Revival and Arts & Crafts style influences.
333 MACDONALD RD	This property has potential cultural heritage value for its c.1906 Edwardian style brick house.
351 MACDONALD RD	This property has potential cultural heritage value for its c.1914 Craftsman style brick bungalow.
361 MACDONALD RD	This property has potential cultural heritage value for its c.1931 Tudor Revival style brick house.
429 MACDONALD RD	This property has potential cultural heritage value for its c.1913 brick house with Arts & Crafts style influences.
303 MAPLE AVE	This property has potential cultural heritage value for its c.1930s Colonial Revival style frame house and garage.
308 MAPLE AVE	This property has potential cultural heritage value for its c.1920s vernacular frame cottage.
311 MAPLE AVE	This property has potential cultural heritage value for its c.1910 Edwardian style brick house.
312 MAPLE AVE	This property has potential cultural heritage value for its c.1929 vernacular frame house and garage.
315 MAPLE AVE	This property has potential cultural heritage value for its c.1928 Tudor Revival Style stucco house.
320 MAPLE AVE	This property has potential cultural heritage value for its c.1922 Edwardian style brick house with Tudor Revival influences.
332 MAPLE AVE	This property has potential cultural heritage value for its c.1930 Craftsman style cottage and garage.
371 MAPLE AVE	This property has potential cultural heritage value for its c.1922 Edwardian style brick house with Tudor Revival influences.
394 MAPLE AVE	This property has potential cultural heritage value for its c.1919 brick and frame house.
395 MAPLE AVE	This property has potential cultural heritage value for its c.1925 vernacular frame house with Craftsman style influences.
398 MAPLE AVE	This property has potential cultural heritage value for its c.1925 Four Square style brick house.
399 MAPLE AVE	This property has potential cultural heritage value for its c.1920 brick house with Colonial Revival and Arts & Crafts influences.
407 MAPLE GROVE DR	This property has potential cultural heritage value for the 1934 addition to Maple Grove School, an example of early 20th century institutional architecture.
288 MAPLE GROVE DR	This property has potential cultural heritage value for its c.1915 late Victorian style farmhouse.
478 MAPLE GROVE DR	This property has potential cultural heritage value for its 1930s brick farmhouse.
2439 MEADOWOOD CRES 70	This property has potential cultural heritage value for its c.1922 block house with Gambrel roof.
115 MORRISON RD	This property has potential cultural heritage value for its c.1912 frame house with Arts & Crafts influences.
148 MORRISON RD	Ray Lawson Park - This property has potential cultural heritage value for Morrison's Barn built c.1912 and the cultural heritage landscape associated with the historic farmstead.
297 MORRISON RD	This property has potential cultural heritage value for its c.1912 brick Edwardian style house.
3480 NINTH LINE	Ephraim Post, F. M. Brown Farm House - this property has potential cultural heritage value for its c.1886 brick Victorian house and its associations with the agricultural development of Trafalgar Township.
2363 NORTH SERVICE RD W	George Langtree House - this property has potential cultural heritage value for its c.1850 house, now part of a golf course complex.
120 OAK PARK BLVD	This property has potential cultural heritage value for its c.1960s church, an example of Modern ecclesiastical design.
1535-1541 OAKHILL DR	This property has potential cultural heritage value for its c.1875 Victorian Gothic style house and for its association with the development of the village of Palermo.
2460 OLD BRONTE RD	This property has potential cultural heritage value for its c.1909 vernacular brick house with Queen Anne style influences and for its association with the development of the village of Palermo.
2467 OLD BRONTE RD	This property has potential cultural heritage value for its vernacular frame house and barn and for its association with the development of the village of Palermo.
2477 OLD BRONTE RD	This property has potential cultural heritage value for its vernacular frame house and for its association with the development of the village of Palermo.
2478-2490 OLD BRONTE RD	This property has potential cultural heritage value for its c.1925 brick Edwardian style house.
2487 OLD BRONTE RD	This property has potential cultural heritage value for its house built c.1880, once used as the Palermo United Church Parsonage.
3017 OLD BRONTE RD	This property has potential cultural heritage value for its c.1909 frame cottage with Arts & Crafts influences.
20 PARK AVE	This property has potential cultural heritage value for its c.1915 Four Square style stucco house.
46 PARK AVE	

## APPENDIX D

Town of Oakville By-law 1995-45 to designate 2495 Bronte Road as a property of historical, architectural and contextual significance under the Ontario Heritage Act

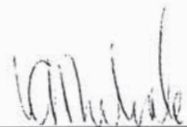
**THE CORPORATION OF THE TOWN OF OAKVILLE  
BY-LAW 1995-45**

A by-law to designate 2495 Bronte Road as a property of  
historical, architectural and contextual significance

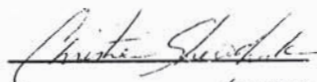
The Council enacts as follows:

1. The property municipally known as 2495 Bronte Road is hereby designated as a property of historical, architectural and contextual value and interest pursuant to the Ontario Heritage Act for reasons set out in Schedule "A" to this by-law.
2. The property designated by this by-law is the property described in Schedule "B" which is attached to this by-law.

Passed by the Council this 27th day of March, 1995.



MAYOR

  
CLERK

## SCHEDULE "A" TO BY-LAW 1995-45

### HISTORICAL SIGNIFICANCE

The house at 2495 Bronte Road was built in 1860 by Dr. Anson Buck on the site of an earlier building built c. 1825.

Dr. Anson Buck was one of the most important figures in the history of Palermo and the surrounding district. He was descended from a family of United Empire Loyalists who came to Upper Canada in about 1776, fleeing as refugees during the American Revolution. Anson's grandfather, Philip Buck I had fought on the side of the British with Butler's Rangers during the revolutionary war, but was eventually captured by the rebels and imprisoned in Philadelphia. To avoid further persecution, Philip's wife, Margret Buck, ventured off on horseback with four other women, taking with them over 30 children through the bush to Canada. En route, Philip Buck II was born, and later, after escaping from prison, Philip Buck I joined the trek.

Philip Buck I and Margret originally settled near Fort George, building their log cabin on a 200 acre Crown grant. They raised twelve children, each of whom as children of United Empire Loyalists were also granted 200 acres. At times, this property was of little value, and those displeased with their allocation used it for bartering or simply sold or traded. This was apparently the case with Philip Buck II, who was granted land in Wilmot Township but traded it for a property on Lot 23, Concession 1, South of Dundas Street in Trafalgar Township.

In 1819, Philip Buck II married Juliana Boehm at Black Creek, north of Toronto, and settled on their farm near Palermo. Owing to their farm's proximity to Dundas Street, which, at the time, was the major thoroughfare between Toronto and London, the Bucks established a tavern that soon became a major coaching stop.

Philip and Juliana Buck had eleven children, of whom the tenth, born on August 17, 1833 was Anson Buck. Anson Buck was a physician in Halton County, who was renowned for his dedication and expertise in his profession. After attending local schools, Anson Buck began his medical training at the Rolph School of Medicine in Toronto. After graduation, he earned a degree from the Jefferson Medical College in Philadelphia, and another from the Royal College of Physicians and Surgeons in London, England.

While studying medicine in England, Buck kept a detailed diary of his time there. One of the more interesting events he described was his attendance at the funeral of the Duke of Wellington (former Prime Minister and Victor of the Battle of Waterloo) in 1853. In addition to the education he received in Britain, Dr. Buck also gained practical experience serving on the staff of Guy's Hospital in London.

On his return from England, Dr. Buck established his medical practice in Palermo. He travelled around his large district on horseback, and gained a reputation for his devotion to his patients, seeing them in all weather and at all hours of the day. By 1860, he had built the house at 2495 Bronte Road, which remains virtually intact today. In this house, Dr. Buck had his family residence, surgery and office. In view of the large size of this house, it seems likely that lectures for the Halton School of Medicine would have been held there. This school was established by Dr. Buck, in conjunction with Dr. Van Norman of Bronte and Dr. Flock of Oakville, and offered "regular lectures in all courses in connection with the profession".

When the American Civil War broke out in 1861, Dr. Buck, along with Dr. Clarkson Freeman of Milton, volunteered for service as surgeons in the Northern Army Medical Corps at Washington, D.C. They were attached to the operating staff at the front in the 2nd division of the 6th Corps in General Ulysses Grant's Army of the Potomac, and were at the Nine Days Battle before the taking of Petersburg and Richmond, and the subsequent

engagements with the army in its forced marches until the surrender of General Robert E. Lee at Appomattox.

In a letter to his family written shortly after the war ended, Dr. Buck described his exploits as a surgeon in the Union Army. In it he states:

"Dr. Freeman and I visited the Army of the Potomac and were with it during the spring campaign. We saw the surrender of Petersburg and Richmond and General Lee's Army. We saw President Lincoln, General Grant, General Mead, General Sherman, General Warren and a host of other leading officers. We also saw Mrs. Lincoln and Mrs. Grant. We were all together upon the parapet of a fort and had a good view of the battle. General Grant handed us his field glasses to look through. The medical doctor of the Army of the Potomac sent us about four miles with a two horse carriage to attend a review with the above distinguished parties. About twelve thousand soldiers were reviewed. A most splendid sight. It was the night before Richmond was evacuated. The north opened on the rebel lines, with about two hundred cannon, all throwing shells. The sight was most terrifically sublime. The flash of guns, the sound of the cannon, many of the shells bursting in the air made it a most splendid sight. The line of armies extended about thirty miles from the James River to a place called Hatcher's Run. We were about the centre of the lines of fortification. This was kept up without cessation until three o'clock in the morning, when the rebel earth works were assaulted in two places, and carried without any serious loss to either side. We then followed on for sixty miles, after General Lee's flying columns, fighting now and then until he was compelled to surrender to General Grant at Appomattox."

Dr. Buck remained in Washington and Virginia for a number of months after the cessation of hostilities. While there, he considered the purchase of a southern plantation, marched with the victorious Union Army through Baltimore, and was reportedly in the audience at the Fords Theatre in Washington when President Lincoln was assassinated.

Dr. Buck returned to Palermo after the war and resumed his medical practice. He would continue in this operation for a further forty years. Over that period of time, Dr. Buck earned a significant place in the hearts of the people of Palermo and the surrounding township, for in addition to curing people of sickness, Dr. Buck delivered most of the babies in the area.

To commemorate the one hundredth anniversary of Anson Buck's birth, a fair and celebration was held in Palermo in 1933 at which hundreds of relatives, friends, and former Dr. Buck-delivered babies were in attendance. As a measure of the significance of Dr. Buck, the festivities were opened by the Ontario Premier of the day.

In addition to his medical activities, Anson Buck was also active in politics during his lifetime. He served as Councillor, Deputy-Reeve and Reeve of Trafalgar Council for forty years, and during that time missed only one meeting, when he went to Iowa, U.S.A. to see his ailing sister. He was Warden of Halton County in 1891, and in 1886, a defeated Liberal candidate for the Ontario Legislature.

On April 18, 1919, Dr. Anson Buck passed away after a lengthy illness at the age of 86. His remains were buried in the Palermo United Church Cemetery by the side of his wife, who had died thirteen years earlier. Soon after the death of Anson Buck, his family sold the house at 2495 Bronte Road.

Anson and Ketarah Buck had two daughters, both of whom were raised in the house at 2495 Bronte Road. The second daughter, Minnie Julia Beatrice Buck, born in 1862, rose to great prominence following her marriage to Colin H. Campbell of Winnipeg. Although the couple moved to Winnipeg immediately following their marriage, she was consistently referred to as Minnie Campbell of Palermo. She is named among the founders of the Winnipeg I.O.D.E. (Independent Order of the Daughters of the Empire). In 1908, Minnie

campaigning to build the King Edward VII Memorial Hospital and the city's first soldiers' infirmary. She was also active in the YMCA, the ward aid effort of St. John's Ambulance, and establishing a home for women in need, among her numerous causes and social reforms.

During World War I, Minnie Campbell raised approximately a half million pounds to aid Polish refugees as a member of the National Committee for Polish Relief. For this effort, she was awarded Poland's Order of Merit in 1945. That same year, Minnie was also made an Officer in the Order of the British Empire by King George VI, recognizing her half century of service to Canadians and was nominated for the Manitoba Senate.

In honor of the Campbell's outstanding contributions, they were present by Royal Command at the coronation of Edward VII in 1901 and again ten years later at the coronation of George V.

Colin died in 1913 at the age of 54 and Minnie followed in 1954 in her 90th year.

Throughout her life, Minnie remained in close contact with her roots in Palermo, and was an active recorder of the history of the village.

### ARCHITECTURAL SIGNIFICANCE

The house at 2495 Bronte Road was built c. 1860 and is an example of the asymmetrical L-shaped Italianate style with some Gothic Revival influences. The major Italianate features include the L-shaped form of the main section of the house, widely overhanging eaves supported by large decorative paired brackets, small round vents in the gables of the main house, and a roof of lower pitch than the Gothic Revival style. The main windows are 2/2 with plain stone lintels and sills. Three single storey bay windows project from the northwest and south facing sides of the main (west) section of the house. The principal construction material of the entire house is of reddish/orange clay brick. The roofing material is currently asphalt shingle, which has replaced an earlier roofing material that was most probably wood shingle.

The basic form of the main section of the house is a two storey L-shaped plan. Gables face to the north and south with a major gable projecting from the head of the L and a minor gable projecting from the recessed part of the L. The wooden entrance to the house which extends across half of the main facade is of recent construction. Photographs from the 1950's show a smaller wooden porch. To the rear of the main section of the house there exists a large rear addition which continues many of the architectural features of the main section of the house, including wide overhanging eaves with large decorative paired brackets. The rear section, however, expresses distinctly more Gothic Revival influence than the main section, with its steeper roof pitch and gables, and arch radiating voussoir window heads of brick composition. A brick chimney sits near the southwest corner of the house.

The house at 2495 Bronte Road is an excellent example of the construction of its period, and of an 1860's Doctor's residence.

### CONTEXTUAL SIGNIFICANCE

The house at 2495 Bronte Road is a highly visible feature from its sitting on Bronte Road and nearby Highway 5. As a former home of the doctor and political representative of Palermo, the Anson Buck home would have represented an important gathering and focal point in the once thriving village during the late nineteenth century.



## SCHEDULE "B" TO BY-LAW 1995-45

Part of Lot 30, Concession 1, South of Dundas Street, Town of Oakville, Regional Municipality of Halton more particularly described as follows:

PREMISING that the southeasterly limit of part 12 according to a plan of reference filed in the Registry Office for the Registry Division of Halton (No. 20) as Number 20R-201 has an astronomic bearing of North 39 degrees 34 minutes 40 seconds West and relating all bearings herein thereto;

COMMENCING at the most northerly angle of the said Part 12, Plan 20R-201 which may be located by beginning at the most westerly angle of the said Lot 30, Concession 1, South of Dundas Street;

THENCE South 45 degrees 24 minutes East along the southwesterly limit of the said Lot 30 a distance of 264.31 feet to an iron bar found therein;

THENCE North 44 degrees 07 minutes East 23.77 feet to a Standard Iron Bar found marking the said point of commencement;

THENCE North 44 degrees 16 minutes 20 seconds West 18.52 feet to a round iron bar planted;

THENCE North 45 degrees 24 minutes 40 seconds West 37.75 feet to a round iron bar planted;

THENCE North 43 degrees 09 minutes 40 seconds West 89.02 feet to a round iron bar planted;

THENCE North 46 degrees 20 minutes 10 seconds West 19.00 feet to a round iron bar planted;

THENCE North 38 degrees 02 minutes 50 seconds East 67.00 feet to a Standard iron Bar found;

THENCE North 41 degrees 22 minutes 50 seconds East 126.10 feet to a Standard Iron Bar Found;

THENCE South 48 degrees 53 minutes 50 seconds East along the line of a post and wire fence 229.77 feet to an iron bar found;

THENCE South 45 degrees 33 minutes 50 seconds West 204.77 feet to an iron bar found;

THENCE South 44 degrees 27 minutes 30 seconds East 18.00 feet to an iron bar found;

THENCE South 46 degrees 05 minutes 30 seconds West 72.24 feet to an iron bar found;

THENCE South 75 degrees 13 minutes 00 seconds West along the line of a wire fence 30.17 feet to an iron bar found;

THENCE South 44 degrees 53 minutes 00 seconds West along the line of a wire fence 26.02 feet to an iron bar found at the most easterly angle of the said Part 12, Plan 20R-201;

THENCE North 39 degrees 34 minutes 40 seconds West along the said southeasterly limit of Part 12, Plan 20R-201, a distance of 153.49 feet more or less to the point of commencement.

The aforementioned parcel contains by admeasurement 1.529 acres to be the same more or less.

As described in Instrument No. 614049.

# APPENDIX E

## Tax Assessment and Collectors Rolls from Trafalgar Township

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*W. H. H. H.*

**Gore District, 1844.**

23

MILLS.		SHOPS.		CATTLE.				CARRIAGES.		AMOUNT OF RATEABLE PROPERTY.										
Additional Fireplaces. £10	Framed, Brick, or Stone, 2 Stores. £80	Additional Fireplaces. £10	Grist Mill wrought by Water with one run of Stones. £150	Additional run of Stones. £50	Saw Mills. £100	Merchant Shops. £200	Storehouses. £200	Stallions kept for covering Mares. £199	Horses Three years old, and upwards. £8	Oxen Four years old, and up- wards. £4	Milch Cows. £3	Young Cattle, from Two to Four years. £1	Close Carriages with Four Wheels. £100	Open Carriages with Four Wheels. £25	Carried Gigs, &c. 2 Wheels. £20	Peasire Waggon. £15	Distilleries.	£	s.	d.
									11	1								46	5	0
									1	1								46	5	0
																		35	0	0
																		35	0	0
									1	1								46	10	0
																		25	10	0
																		35	2	0
																		35	2	0
									1	1								96	0	0
									2	2								168	0	0
																		35	10	0
									2	2								70	0	0
									2	2								125	0	0
									1	1								408	4	0
									2	2								191	0	0
									4	4								310	10	0
									1	1								46	10	0
																		35	5	0
									1	1								38	10	0
																		59	0	0

2477 Old Bronte Road  
(House form structure)

**ASSESSMENT ROLL FOR THE TOWNSHIP OF**

**NAMES OF TAXABLE PARTIES.**

1	2	3	4	5	6	7	8
No.	OCCUPANTS	Profession, Occupation, &c.	Free-Holders	Home-Holders	Age	OWNERS AND ADDRESS.	Non-Resident.
	James B. Smith	Blacksmith	F		45		
	Edwin Shinden	Blacksmith	F		22		
	Francis Trifford	laborer		F	38	Richard Pope	
	Joseph Moore	Shoe Maker	F		35		
	"	"	F		"		
	Walt Dolmays	Merchant		F	27		
	Mr John Mintz	" "		F	40	Samuel Morse	
	Ezra Clavin	" "	F		57		
	John Mc Chail	Sadler	F		35		
	Benjamin Swanton	Carpenter	F		30		
	Mr S. Morrison	Minister	F		55		
	William S. Morse	Carpenter	F		29		
	Alexander Murry	Merchant Taylor	F		33		

Palermo

1854.

No. of Sections	No. of Concessions	No. of Lots	No. of Acres	Street, Square, or other designation	No. of Lot or House, &c.	No. of Feet or other measurement	Value of each Lot	Personal Property.		Total Value of Real and Personal Property.	Statute Labour	No. of Days
								Taxable Income.	Total Value of Personal Property.			
2	1			South St 31		1/4	100			100		
2	1				31	1/2	160			160		
2	1			<del>South St 31</del>		1/2	60		25	85		
2	1			South St 31		1/2	112			112		
1	1			"	31	1/2	10			122		
2	1			"	31	1/2	100		150	250		
2	1			"	30	1/2	200			200		
2	1			"	30	1/2	90		25	115		
2	1			"	30	1/2	90			90		
2	1			"	30	1/2	60			60		
2	1			"	31	1/2	100			180		
2	1			"	31	1/2	55			55		
2	1			"	31	1/2	160		250	410		
							425	1297	440	1737		

2467 Old Bronte Road

2477 Old Bronte Road  
(House form structure)



COLLECTOR'S ROLL FOR THE *Township of Chaplgon*

1	2	3	4	REAL PROPERTY.			ASSESSED VALUE & AMOUNT.				
				5	6	7	8	9	10	11	
No.	NAMES OF PARTIES ASSESSED.	Freehold.	Household.	No. of Acres, or other designation.	No. of Lots, part lots, or houses.	No. of Acres, or other Measurement.	Value of Real Property.	Am't of Taxable Property of party or Income.	Total Real and Personal property for Income.	General School Rate.	
				<i>Palmer</i>							
	<i>William McWilliams</i>			1	31	1	750		750		
	<i>George Abbe</i>			1	31	1/2	300		300		
	<i>Joseph Campbell</i>			1	31	1/2	120		120		
	<i>George Galpin</i>			1	31	1/2	250		250		
	<i>Robert Blaud</i>			1	31	3/5	220		220		
	<i>Robert Delmar</i>			1	31	1/2					
	<i>do do</i>			1	29	5/8	500	400	900		
	<i>Mrs Spier</i>			1	31	1/2	200		200		
	<i>Jacob Lawrence</i>										
	<i>William Moore</i>			1	31	1/2	250		250		
	<i>Mrs. Adams</i>			1	30	1/2	40		40		
	<i>Edward Hendon</i>			1	30	1/2	300		300		
	<i>Anna Dick</i>			1	30	3/4	500	100	600		
	<i>Mr W. Street</i>										
	<i>Nathan Shurt</i>			1	30	1/2					
	<i>do do</i>			1	30	1/2	600		600		
	<i>David Rowe</i>			1	30	1/2	300		300		
	<i>Joseph Garneau</i>			1	30	1/2	150		150		
	<i>Jacob Lawrence</i>										
	<i>Edward Hendon</i>			1	30	1/2	1100	800	2000		
	<i>Thomas Robinson</i>			1	30	1/2	200		200		



Hand No 5

Sold by H. BROWN, Auctioneer, Station 268 Front St. King Street, Toronto.

1864

TAXES.					19 Quarter, Months, or Payment	Statute Labour.		DOG TAX.			23 Total Taxes. Amount.	24 REMARKS.
13 County Loan Rate	14 Township, Town, or Village Rate	15 Special	16 Special	17 Special		19 No. of Days	20 Jornmuta's per day Amount.	21 No. of Dogs.	22 Rate on each Unoccupied Land. 1. Amount. 2. Amount.			
\$	\$	\$	\$	\$		\$		\$	\$	\$	\$	
											50 Paid	
											1.00 Paid	
											10 Paid	
											83c Paid	
											75c Paid	
											3.13c Paid	
											67 Paid	
											1.67 Paid	
											83c Paid	
											1.75 Paid	
											67 Paid	
											2.00 Paid	
											2.11 Paid	
											1.00 Paid	
											50 Paid	
											6.67 Paid	
											67 Paid	

2467 Old Bronte Road

2477 Old Bronte Road  
(House form structure)

2495 Old Bronte  
Road (Anson Buck House)

COLLECTOR'S ROLL FOR THE											
Assessor's No. Block	NAME OF TAXABLE PARTY	OCCUPATION	Municipality, Precinct, or Parish	School Section	DESCRIPTION OF REAL PROPERTY				ASSESSED VALUE		
					No. of Contiguous Tracts or Blocks, other Divisions of the Lot, or Acres in which the Real Property lies	No. of Lot, House &c. in each Division	No. of Acres, or other Measure showing the extent of the Property	No. of Acres Claimed	Value of each parcel of Real Property	Total value of Real Property	Value of Personal Property other than Income
711	Caldwell James	Farmer	F		2 A. 25	26	58		600		
712	Curtis Samuel		F		15 A. 25	35	150		3200	300	
713	Cary George		F		25 A. 25	55	30		380		
714	Collingman John		F		2 A. 25	35	1		200		
715	Campbell Peter		F		2 A. 25	35	100		2400	200	
716	Carrigan 7705		F		2 A. 25	31	50		1100		
717	Carrigan 7705		F		2 A. 25	31				100	
718	Campbell James		F		2 A. 25	31	100		3300	200	
719	Campbell Bernard		F								
720	Henry Whitney		F		1 A. 25	31	12		250		
721	Mrs. Clabine		F		15 A. 25	30	16		250		
722	Cleaves Thomas		F		5500 3	9	1		200		
723	Collins Mrs. Sam		F		2 A. 25	18	30		150		
724	Collins Mrs. Sam		F		5 A. 25	20	5		550		
725	Cramer Walter		F		2 A. 25	9	12		200		
726	Camp Peter		F		2 A. 25	28	12		100		
727	Cooper George		F		1 A. 25	25	8		200		

1869

AND AMOUNT.		TAXES.								Statute Labour.		Dog Tax.		Total Taxes.		REMARKS.
Total Value of Personal Property and Taxable Income.	Total Value of Real and Personal Property and Taxable Income.	County Rate.		Township, Town, or Village Rate.		General School Rate.		Special		No. of Days.	Commuted per day.	No. of Dogs.	Rate on each No. of Animals.	Arrears of Taxes on Unoccupied Lands.	Total Taxes.	
		in the \$	cts.	in the \$	cts.	in the \$	cts.	in the \$	cts.							
600															8 00	paid
3500															18 50	paid
300															2 50	paid 1/50
200															1 00	paid
2600															14 00	paid
1100															8 50	paid
100															1 50	paid
2500															13 50	paid
250															2 25	paid
250															1 25	paid
200															1 00	paid
150															75	paid
100	690														4 40	paid
200															1 00	paid
100															50	paid
300															7 00	paid

No Dog Paid 1/50

2477 Old Bronte Road  
(House form structure)

## APPENDIX F

### Chain of Title for 2467 Old Bronte Road & 2477 Old Bronte Road

Kimberly Thomas  
Law Clerk & Conveyancer  
251 Oriole Court  
Milton, ON  
L9T 3R3  
Cellular (905) 462-1206  
Fax (905) 878-6424  
Email: klthomas@sympatico.ca

**CHAIN OF TITLE**  
(ownership, easements, leases)

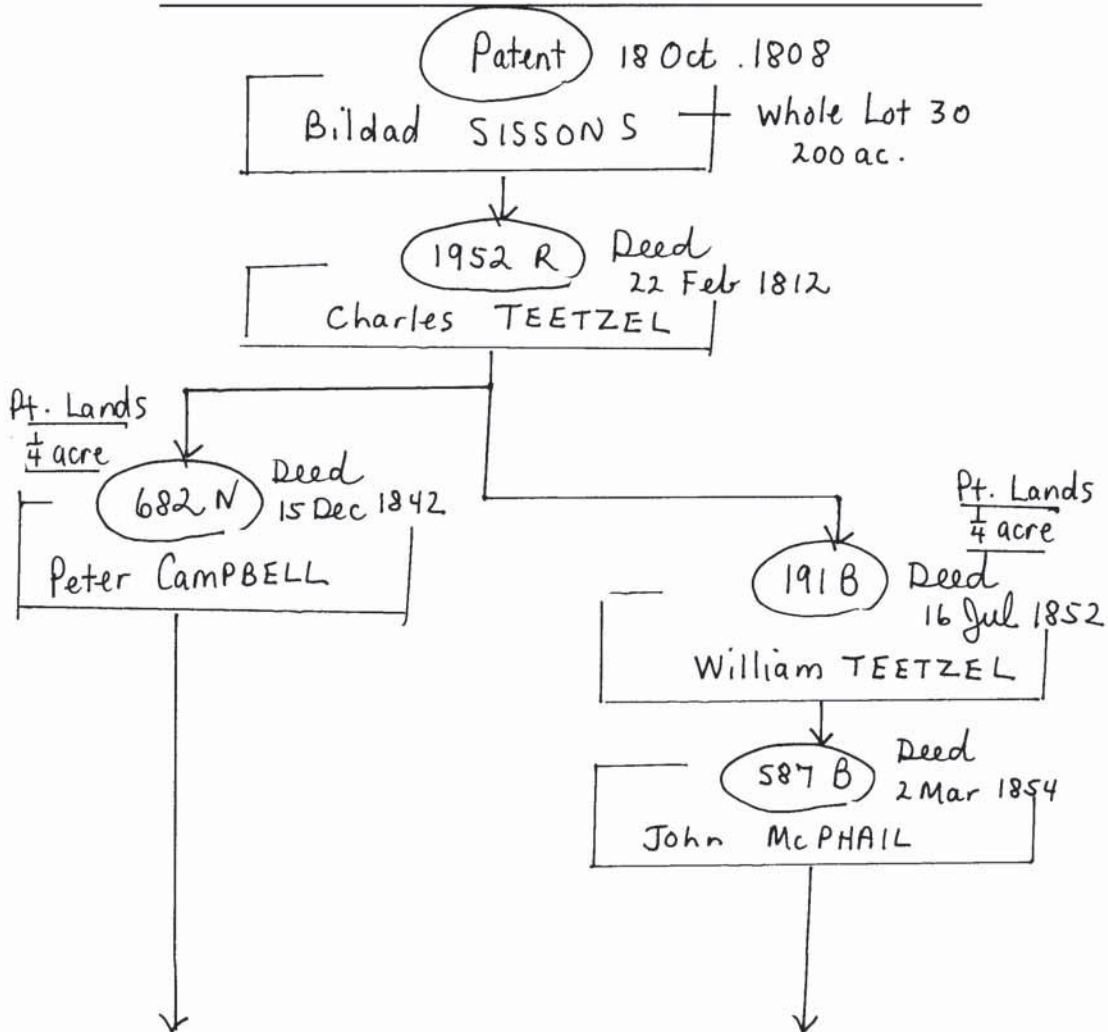
Completed for: Bianchi Presta LLP  
Attention: Daniel Musso

Re: 1OAK DEVELOPMENTS GROUP OAKVILLE INC.

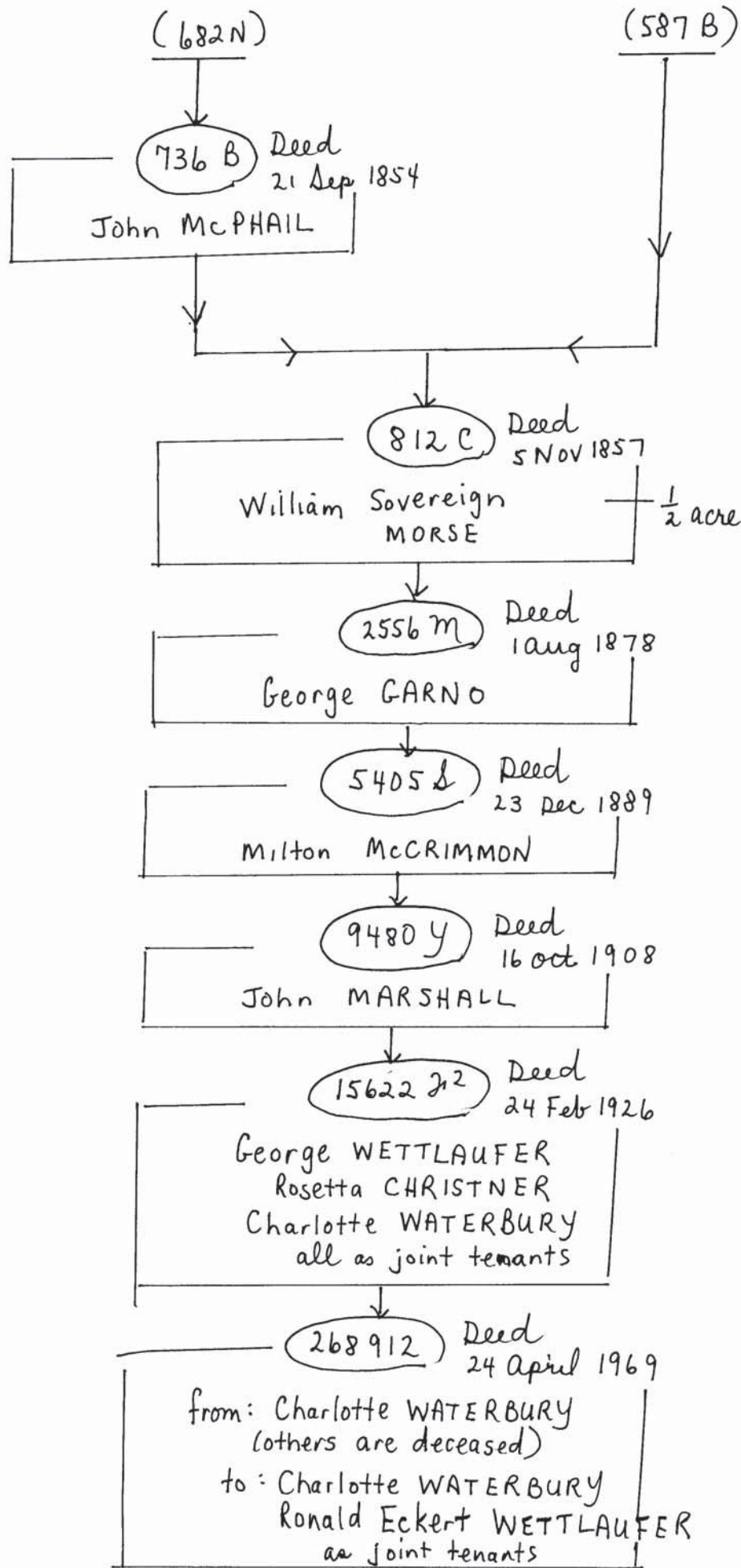
Date of Completion: 15 September 2017

Chain complete back to: Crown Patent

Property: Part of PIN 25071-1112 being  
Pt. Lot 30 Concession 1 Trafalgar SDS, as in 784679, Oakville  
Formerly PIN 25071-~~0134~~ 0135  
Originally PIN 24925-0054



Continued on Page 2



continued on Page 3

( 268912 )

784679

Executor's Deed  
14 May 1992

from: Estate of Ronald Eckert WETTLAUFER  
(Charlotte WATERBURY predeceased him)  
to: Jean WETTLAUFER

24925 - 0054

Conversion to LTCQ  
25 March 1996

See Printout of PIN  
(Ownership shown on PIN is in error)

25071 - 0135

New PIN  
20 Apr 2007

See PIN Printout  
(Ownership eventually amended by Application HR1401210)

HR 1402712

Transfer 18 Oct. 2016

10AK DEVELOPMENTS  
GROUP OAKVILLE INC.

25071 - 1112

Consolidated PIN  
28 March 2017

See PIN Printout  
in Full Search

end of chain  
15 September 2017



24925-0054 (LT) **CLOSED**

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 30, CON 1 TRAFALGAR, SOUTH OF DUNDAS STREET, AS IN 784679; OAKVILLE

PROPERTY REMARKS:  
 ESTATE/QUALIFIER:  
 FEE SIMPLE  
 LT CONVERSION QUALIFIED

RECENTLY:  
 FIRST CONVERSION FROM BOOK

OWNERS' NAMES  
 WETTLAUER, JEAN  
 WATERBURY, CHARLOTTE

← *a ready deceased*

PIN CREATION DATE:  
 1996/03/25

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD	
		**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/03/25 ON THIS PIN**					
		**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/03/25**					
		** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/03/22 **					
		**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:					
		SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *					
		AND ESCHENTS OR FORFEITURE TO THE CROWN.					
		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF					
		IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY					
		CONVENTION.					
		ANY LEASE TO WHICH THE SUBSECTION 70 (2) OF THE REGISTRY ACT APPLIES.					
		**DATE OF CONVERSION TO LAND TITLES: 1996/03/25 **					
		NOTE: THIS PROPERTY WAS RETIRED ON 2007/04/02. THIS PROPERTY IS NOW RE-ENTERED INTO THE FOLLOWING PROPERTY: 25071-0135					
268912	1969/04/24	TRANSFER	\$1		WATERBURY, CHARLOTTE WETTLAUER, RONALD ECKERT	C	
784679	1992/05/14	TRANSFER			WETTLAUER, JEAN	C	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



Ontario ServiceOntario

LAND  
REGISTRY  
OFFICE #20

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

25071-0135 (LT)

CLOSED

PAGE 1 OF 2  
PREPARED FOR K  
ON 2017/09/14 AT 15:41:23

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 30, CON 1 TRAF SDS, AS IN 784679; OAKVILLE.

PROPERTY REMARKS: CORRECTION: DOCUMENT HR100727 ADDED TO 25071-0135 ON 2011/05/06 AT 10:06 BY O'ROURKE, JOAN. CORRECTION: DOCUMENT HR100727 ENTERED IN ERROR DELETED ON 2016/10/04 AT 09:01 BY COLE, ISABELLE.

ESTATE/QUALIFIER: RECENTLY:  
FEE SIMPLE RE-ENTRY FROM 24925-0054

LT CONVERSION QUALIFIED CAPACITY SHARE  
OWNERS' NAMES IOAK DEVELOPMENTS GROUP OAKVILLE INC.

PIN CREATION DATE:  
2007/04/02

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT				INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2007/04/02 **		
**SUBJECT,				ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:		
**				SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *		
**				AND ESCHEATS OR FORFEITURE TO THE CROWN.		
**				THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF		
**				IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY		
**				CONVENTION.		
**				ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.		
**DATE OF CONVERSION TO				LAND TITLES: 1996/03/25 **		
NOTE: THIS PROPERTY WAS				RETIRED ON 2017/03/28. THIS PROPERTY IS NOW CONSOLIDATED INTO THE FOLLOWING PROPERTY: 25071-1112		
268912	1969/04/24	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	WATERBURY, CHARLOTTE WETTLAUER, RONALD ECKERT	
784679	1992/05/14	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	WETTLAUER, JEAN	
HR100727	2002/02/12	CONDO BYLAW/98		*** DELETED AGAINST THIS PROPERTY *** HALTON STANDARD CONDOMINIUM CORPORATION NO. 403		
REMARKS: BY-LAW NO. 2						
HR1401210	2016/10/12	APL (GENERAL)		*** COMPLETELY DELETED *** WETTLAUER, JEAN		
REMARKS: AMEND OWNERSHIP						
HR1402712	2016/10/18	TRANSFER	\$2,050,000	WETTLAUER, JEAN	IOAK DEVELOPMENTS GROUP OAKVILLE INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND  
REGISTRY  
OFFICE #20

PAGE 2 OF 2

PREPARED FOR K

ON 2017/09/14 AT 15:41:23

25071-0135 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
HR1440574	2017/03/17	APL CONSOLIDATE		IOAK DEVELOPMENTS GROUP OAKVILLE INC.		C

to PIN  
25071-1112

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



Ontario ServiceOntario

LAND  
REGISTRY  
OFFICE #20

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 1

PREPARED FOR KThomas1  
ON 2017/09/14 AT 15:06:22

25071-1112 (LT) **SUBJECT P1N**

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: FIRSTLY: PT LT 30, CON 1 TRAF SDS, AS IN 784679; SECONDLY: PT LT 30, CON 1 TRAF SDS, PT 2 20R7258 & AS IN 511802; TOWN OF OAKVILLE

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

OWNERS' NAMES

LOAK DEVELOPMENTS GROUP OAKVILLE INC.

RECENTLY:

CONSOLIDATION FROM 25071-0134, 25071-0135

CAPACITY SHARE

✓ ✓

✱ ✱

PIN CREATION DATE:

2017/03/28

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHRD
** PRINTOUT		INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2017/03/28 **				
**SUBJECT,		ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO				
**		SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *				
**		AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF				
**		IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY				
**		CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.				
**DATE OF CONVERSION TO LAND TITLES: 1996/03/25 **						
20R7258	1985/11/05	PLAN REFERENCE				C
HR1391667	2016/09/09	TRANSFER	\$1,450,000	BANO, ZIA RAZA, SYED HASHIM	LOAK DEVELOPMENTS GROUP OAKVILLE INC.	C
HR1402712	2016/10/18	TRANSFER	\$2,050,000	WETTLAUER, JEAN	LOAK DEVELOPMENTS GROUP OAKVILLE INC.	C
REMARKS: PLANNING ACT STATEMENTS.						
HR1440574	2017/03/17	APL CONSOLIDATE		LOAK DEVELOPMENTS GROUP OAKVILLE INC.		C

by Bianchi Presta

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

**Kimberly Thomas**  
**Law Clerk & Conveyancer**  
251 Oriole Court  
Milton, ON  
L9T 3R3  
Cellular (905) 462-1206  
Fax (905) 878-6424  
Email: klthomas@sympatico.ca

**CHAIN OF TITLE**  
**(ownership, easements, leases)**

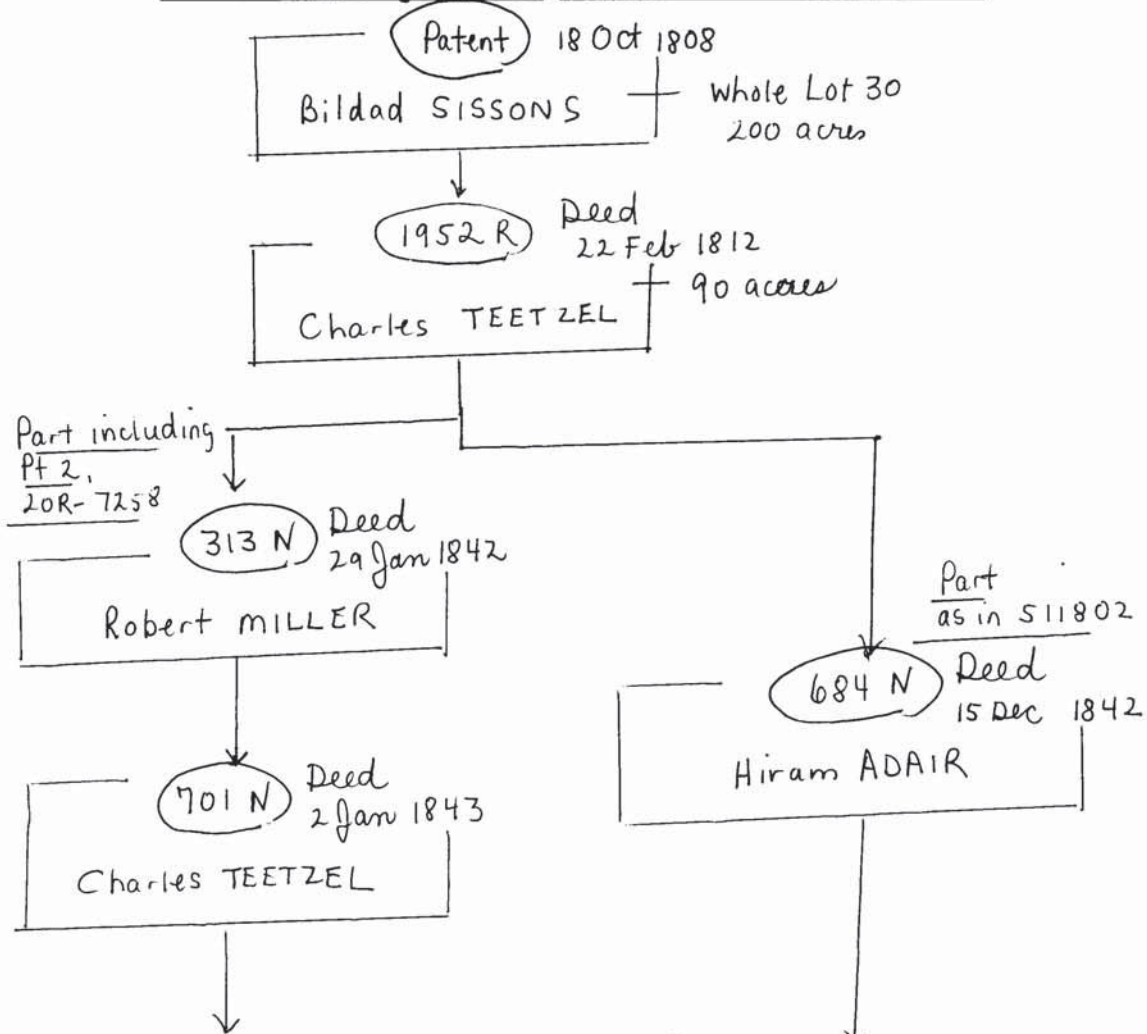
Completed for: Bianchi Presta LLP  
Attention: Daniel Musso

Re: 10AK DEVELOPMENTS GROUP OAKVILLE INC.

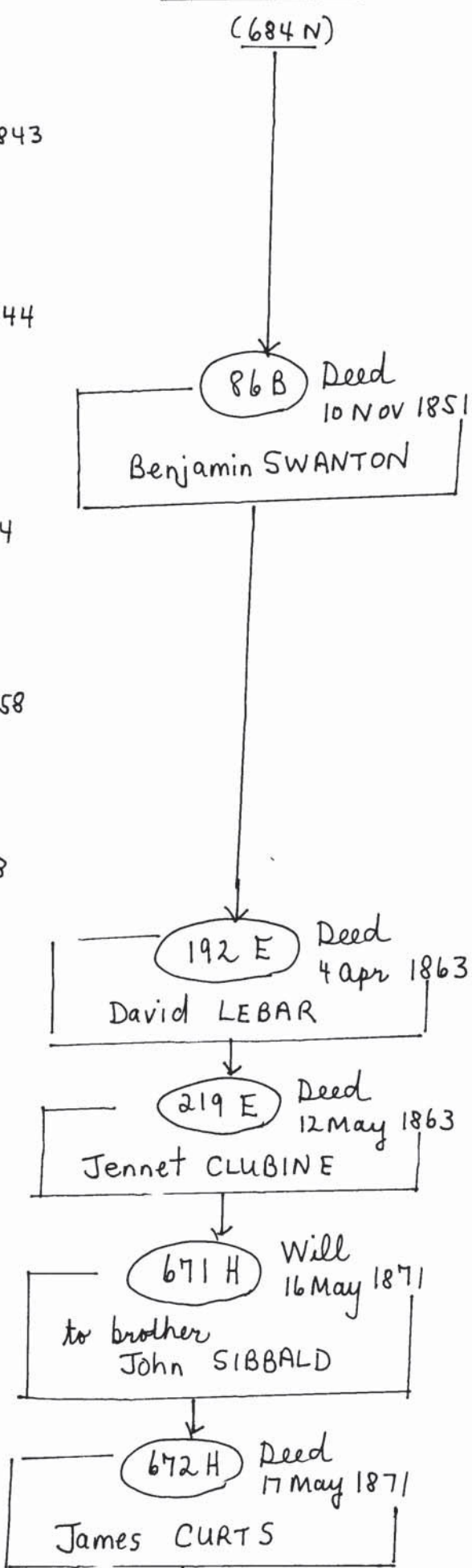
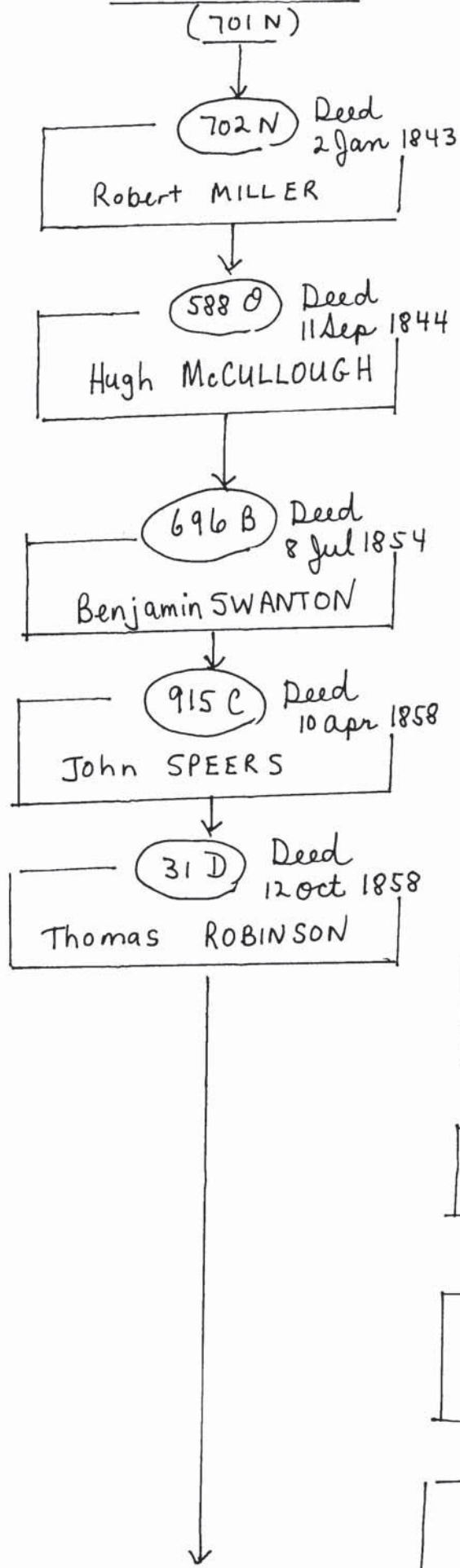
Date of Completion: 15 September 2017

Chain complete back to: Crown Patent

Property: Part of PIN 25071-1112 being  
Pt. Lot 30 Concession 1 Trafalgar SDS, Part 2, 20R-7258 and as  
in 511802, Oakville  
Formerly PIN 25071-0134  
Originally PIN 24925-0055



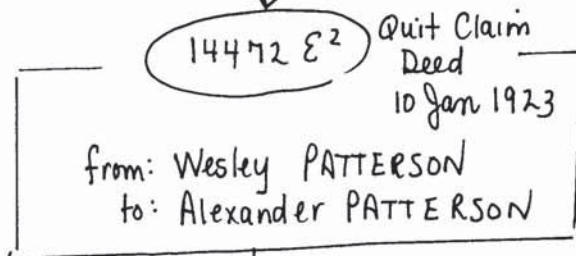
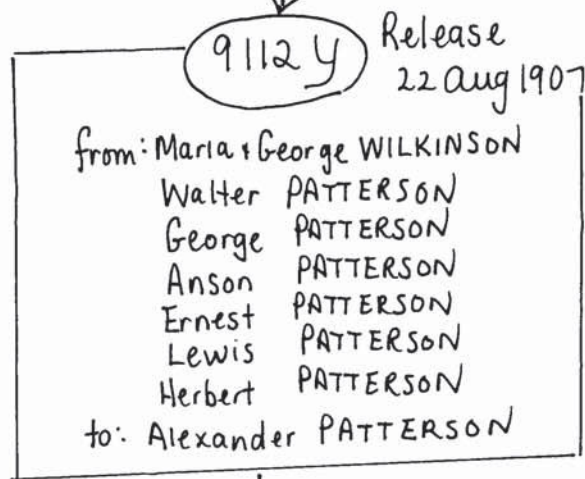
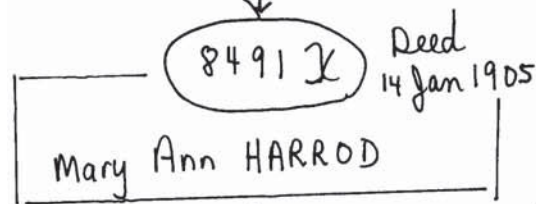
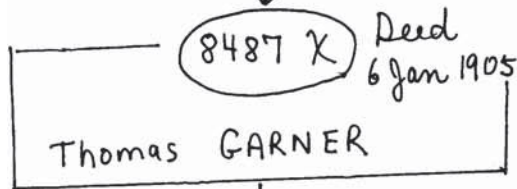
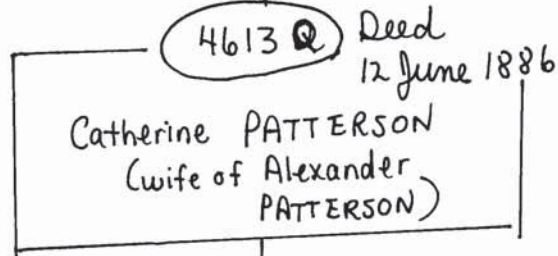
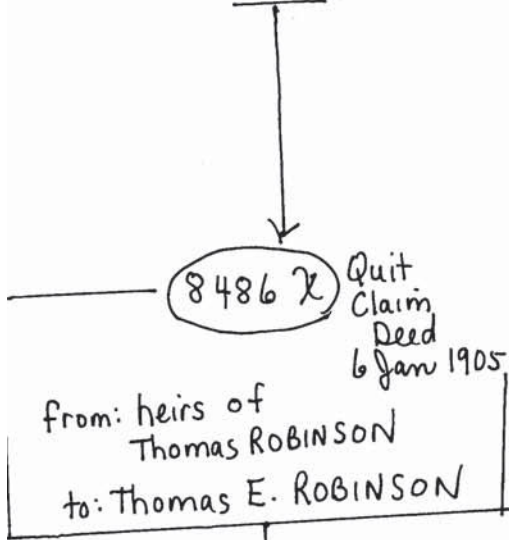
continued on Page 2



continued on Page 3 ↓

(31D)

(672 H)



(8491)

(14472)

Administrators' Deed  
13 Nov 1924

15163 E<sup>2</sup>

from: heirs of Mary Ann HARROD  
to: George Stanley WOOD

Administrators' Deed  
10 Jan 1923

14473 E<sup>2</sup>

from: Estate of Alexander PATTERSON  
to: Walter Russell FOX

Administrators' Deed  
20 Nov 1946

21728 K<sup>2</sup>

Fanny Ethel WOOD

Deed  
7 Mar 1930

16970 F<sup>2</sup>

William COWAN

Executor's Deed  
8 July 1952

26674 N<sup>2</sup>

Ross Thomas COWAN

Deed  
7 Oct 1960

116224

Taeke VISSER  
Saakje VISSER

Agreement for Sale  
19 July 1966

206400

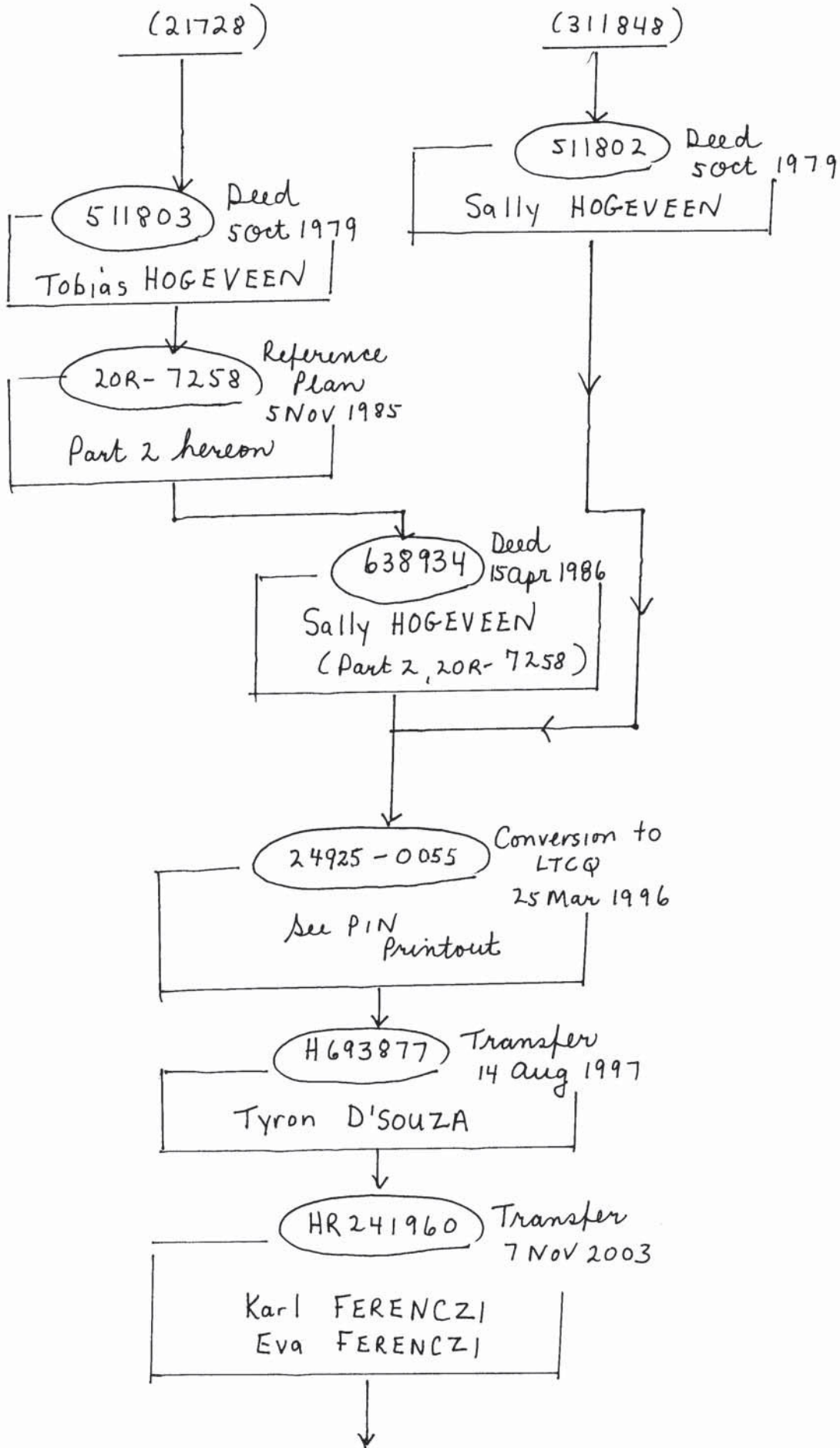
Tobias HOGVEEN  
Sally HOGVEEN

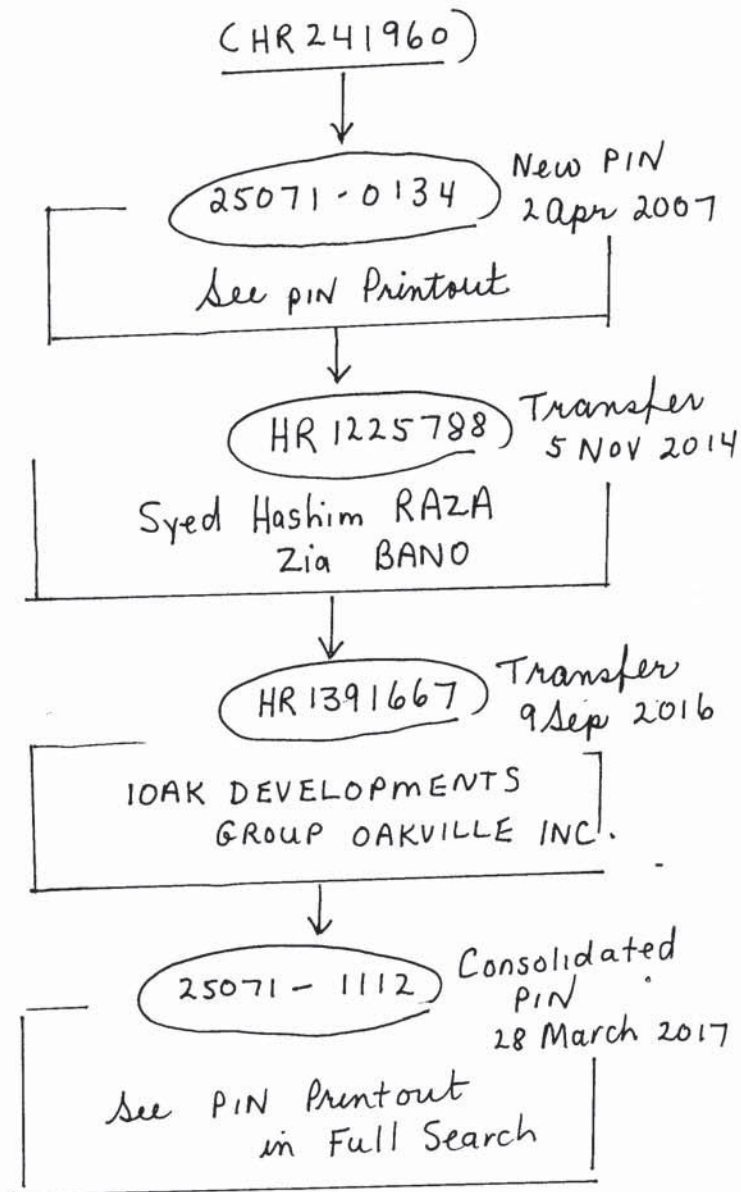
Deed  
30 Apr 1971

311848

Tobias HOGVEEN  
Sally HOGVEEN







end of chain  
15 September 2017

**Kimberly Thomas**  
Law Clerk & Conveyancer  
251 Oriole Court  
Milton, ON L9T 3R3  
Cellular (905) 462-1206



PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 3  
 PREPARED FOR K  
 ON 2017/09/14 AT 16:03:27

LAND  
 REGISTRY  
 OFFICE #20  
 24925-0055 (LT) **CLOSED #1**

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 30, CON 1 TRAFALGAR, SOUTH OF DUNDAS STREET, PART 2, 20R7258, & AS IN 511802; OAKVILLE

behind 0134

PIN CREATION DATE:  
 1996/03/25

PROPERTY REMARKS:  
 ESTATE/QUALIFIER:  
 FEE SIMPLE  
 LT CONVERSION QUALIFIED

RECENTLY:  
 FIRST CONVERSION FROM BOOK  
 CAPACITY SHARE  
 JTEN  
 JTEN

OWNERS' NAMES  
 FERENCZI, KARL  
 FERENCZI, EVA

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
**EFFECTIVE	2000/07/23	THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/03/25 ON THIS PIN**				
**WAS REPLACED WITH THE	"PIN CREATION DATE" OF 1996/03/25**					
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/03/22 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
**	SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *					
**	AND ESCHEATS OR FORFEITURE TO THE CROWN.					
**	THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.					
**	ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.					
**DATE OF CONVERSION TO LAND TITLES: 1996/03/25 **						
NOTE: THIS PROPERTY WAS RETIRED ON 2007/04/02. THIS PROPERTY IS NOW RE-ENTERED INTO THE FOLLOWING PROPERTY: 25071-0134						
511802	1979/10/05	TRANSFER	*** COMPLETELY DELETED ***		HOGVEEN, SALLY	
598261	1984/04/24	CHARGE	*** COMPLETELY DELETED ***		CANADIAN IMPERIAL BANK OF COMMERCE	
20R7258	1985/11/05	PLAN REFERENCE	*** COMPLETELY DELETED ***			C
638934	1986/04/15	TRANSFER	*** COMPLETELY DELETED ***		HOGVEEN, SALLY	
659661	1987/02/06	CHARGE	*** COMPLETELY DELETED ***		NATIONAL TRUST COMPANY	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



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LAND  
REGISTRY  
OFFICE #20

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 2 OF 3  
PREPARED FOR K  
ON 2017/09/14 AT 16:03:27

24925-0055 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
832644	1994/12/15	CHARGE		*** COMPLETELY DELETED ***	NATIONAL TRUST COMPANY	
H693877	1997/08/14	TRANSFER		*** COMPLETELY DELETED *** HOGEVEEN, SALLY	D'SOUZA, TYRON	
H693878	1997/08/14	CHARGE		*** COMPLETELY DELETED *** D'SOUZA, TYRON	ROYAL BANK OF CANADA	
H701023	1997/09/22	DISCH OF CHARGE		*** COMPLETELY DELETED *** CANADIAN IMPERIAL BANK OF COMMERCE		
H705972	1997/10/21	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL TRUST COMPANY		
H713735	1997/12/05	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL TRUST COMPANY		
HR42916	2001/03/30	TRANSFER OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA	THE TORONTO-DOMINION BANK	
HR42917	2001/03/30	NOTICE		*** COMPLETELY DELETED *** D'SOUZA, TYRON	THE TORONTO-DOMINION BANK	
HR241960	2003/11/07	TRANSFER	\$312,000	D'SOUZA, TYRON	FERENCZI, KARL FERENCZI, EVA	C
HR241961	2003/11/07	CHARGE		*** COMPLETELY DELETED *** FERENCZI, EVA FERENCZI, KARL	THE TORONTO-DOMINION BANK	
HR277177	2004/04/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		

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Ontario ServiceOntario

LAND  
REGISTRY  
OFFICE #20

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 3 OF 3  
PREPARED FOR K  
ON 2017/09/14 AT 16:03:27

24925-0055 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
HR436067	2005/12/02	CHARGE	\$430,000	FERENCZI, EVA FERENCZI, KARL	THE BANK OF NOVA SCOTIA	C
HR439285	2005/12/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
HR441431	2005/12/21	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		

25071-  
to PIN 0134

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LAND  
 REGISTRY  
 OFFICE #20

25071-0134 (LT)

CLOSED # 2

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: FT LT 30, CON 1 TRAF SDS, PT 2 20R7258 & AS IN 511802; TOWN OF OAKVILLE  
 PROPERTY REMARKS: CORRECTION: DOCUMENT HR100727 REMOVED FROM 25071-0134 ON 2014/11/04 AT 16:52 BY OROURKE, JOAN.  
 ESTATE/QUALIFIER: RECENTLY:  
 FEE SIMPLE RE-ENTRY FROM 24925-0055  
 LT CONVERSION QUALIFIED CAPACITY SHARE  
 OWNERS' NAMES LOAK DEVELOPMENTS GROUP OAKVILLE INC.  
 PIN CREATION DATE: 2007/04/02

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
**	PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2007/04/02 **					
**SUBJECT,	ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:					
**	SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *					
**	AND ESCHEATS OR FORFEITURE TO THE CROWN.					
**	THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF					
**	IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY					
**	CONVENTION.					
**	ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.					
**DATE OF CONVERSION TO	LAND TITLES: 1996/03/25 **					
NOTE: THIS PROPERTY WAS RETIRED ON 2017/03/28. THIS PROPERTY IS NOW CONSOLIDATED INTO THE FOLLOWING PROPERTY: 25071-1112						
20R7258	1985/11/05	PLAN REFERENCE				
HR241960	2003/11/07	TRANSFER		*** DELETED AGAINST THIS PROPERTY *** D'SOUZA, TYRON	FERENCZI, KARL FERENCZI, EVA	C
REMARKS: PLANNING ACT STATEMENTS						
HR436067	2005/12/02	CHARGE		*** DELETED AGAINST THIS PROPERTY *** FERENCZI, EVA FERENCZI, KARL	THE BANK OF NOVA SCOTIA	
HR1225788	2014/11/05	TRANSFER		*** COMPLETELY DELETED *** FERENCZI, EVA FERENCZI, KARL	RAZA, SYED HASHIM BANO, ZIA	
HR1225789	2014/11/05	CHARGE		*** COMPLETELY DELETED *** RAZA, SYED HASHIM	ROYAL BANK OF CANADA	

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25071-0134 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHRD
HR1235103	2014/12/12	DISCH OF CHARGE		BANO, ZIA *** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA		
		REMARKS: HR436067.				
HR1391667	2016/09/09	TRANSFER	\$1,450,000	BANO, ZIA RAZA, SYED HASHIM	LOAK DEVELOPMENTS GROUP OAKVILLE INC.	C
HR1403220	2016/10/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA		
		REMARKS: HR1225789.				
HR1440574	2017/03/17	APL CONSOLIDATE		LOAK DEVELOPMENTS GROUP OAKVILLE INC.		C

to PIN  
25071-1112

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Ontario ServiceOntario

LAND REGISTRY OFFICE #20

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 1  
PREPARED FOR KThomas1  
ON 2017/09/14 AT 15:06:22

25071-1112 (LT) **SUBJECT PIN**

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: FIRSTLY: PT LT 30, CON 1 TRAF SDS, AS IN 784679; SECONDLY: PT LT 30, CON 1 TRAF SDS, PT 2 20R7258 & AS IN 511802; TOWN OF OAKVILLE

PROPERTY REMARKS:

ESTATE/QUALIFIER:  
FEE SIMPLE  
LT CONVERSION QUALIFIED

OWNERS' NAMES  
LOAK DEVELOPMENTS GROUP OAKVILLE INC.

RECENTLY:  
CONSOLIDATION FROM 25071-0134, 25071-0135

CAPACITY SHARE

FIN CREATION DATE:  
2017/03/28

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
**		PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2017/03/28 **				
**		SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:				
**		SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *				
**		AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.				
**		DATE OF CONVERSION TO LAND TITLES: 1996/03/25 **				
20R7258	1985/11/05	PLAN REFERENCE				C
HR1391667	2016/09/09	TRANSFER	\$1,450,000	BANO, ZIA RAZA, SYED HASHIM	LOAK DEVELOPMENTS GROUP OAKVILLE INC.	C
HR1402712	2016/10/18	TRANSFER	\$2,050,000	WETTLAUER, JEAN	LOAK DEVELOPMENTS GROUP OAKVILLE INC.	C
		REMARKS: PLANNING ACT STATEMENTS.				
HR1440574	2017/03/17	APL CONSOLIDATE		LOAK DEVELOPMENTS GROUP OAKVILLE INC.		C

by *Beauchi*  
*Presta*

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# APPENDIX G

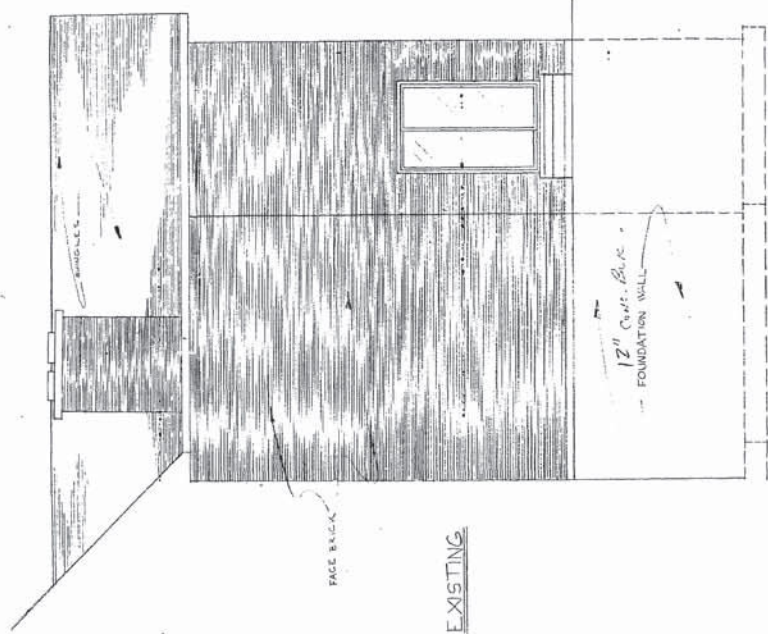
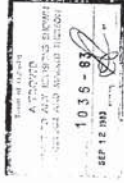
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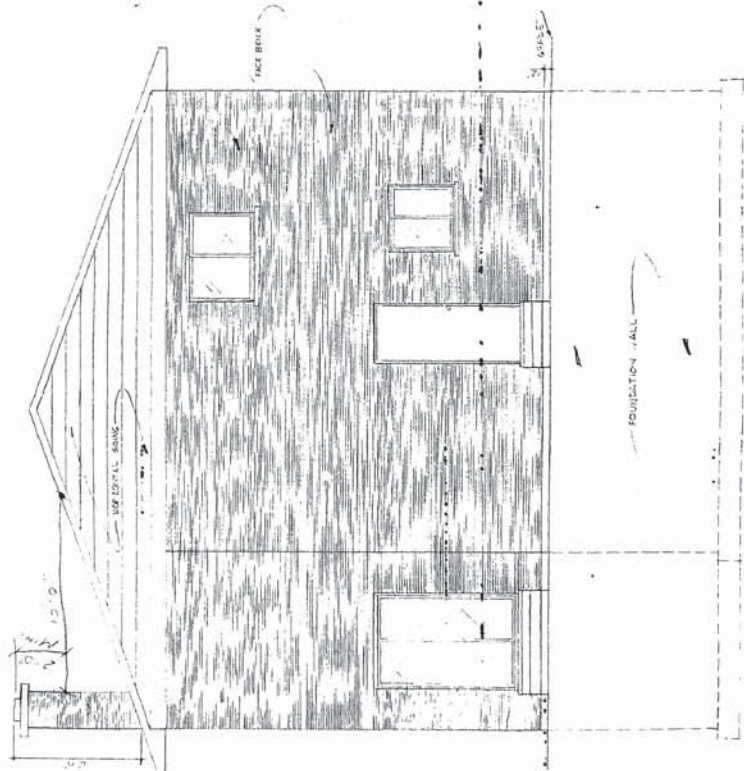


SCALE:	PROJECT:
AS NOTED	83-25
DATE:	PLAN:
AUGUST	SECTION:
5	PLAN NO:
	A-3
	D HILL

246 Brantford



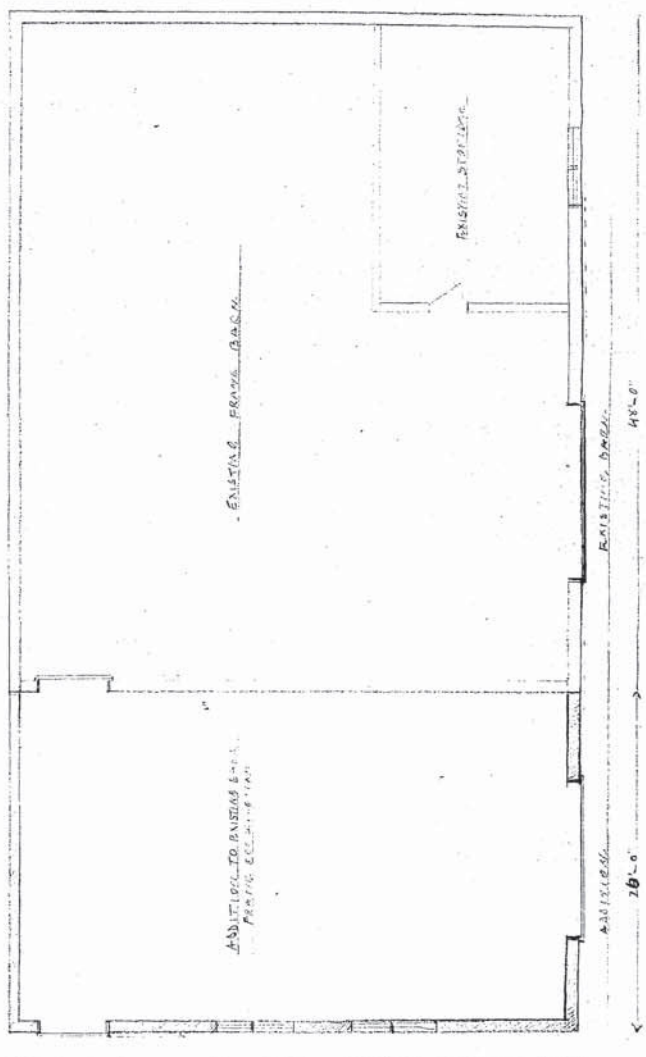
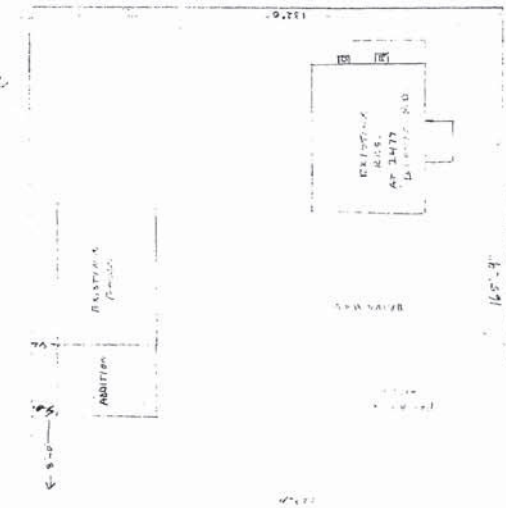
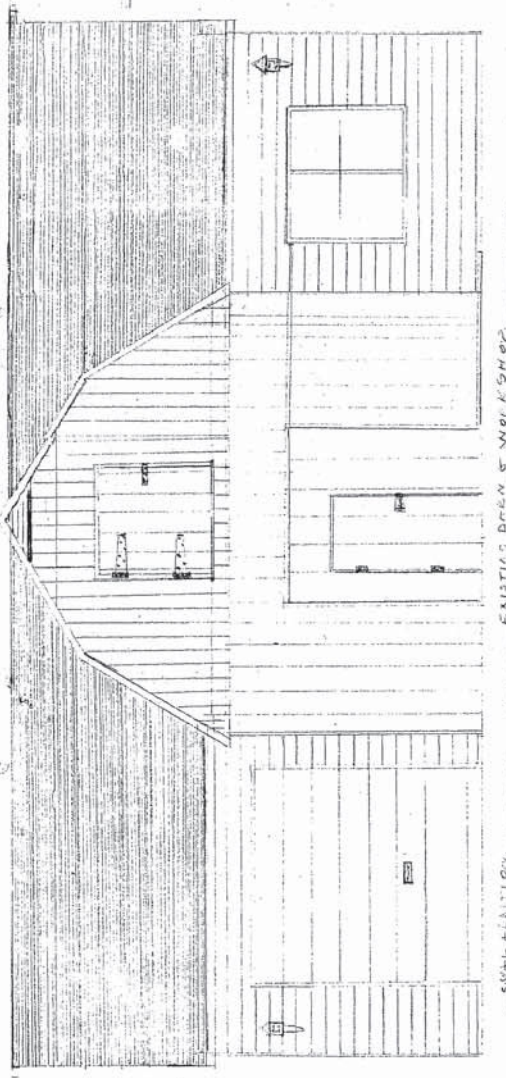
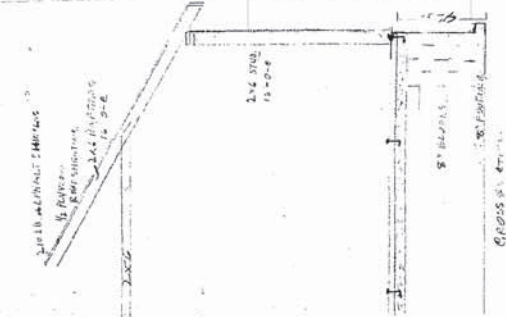
SOUTH ELEVATION



EAST ELEVATION

Town of Oakville  
 Released Pursuant To The  
 Municipal Freedom of Information  
 And Protection of Privacy Act  
 Copyright Act Applies to Use and Reproduction





Town of Oakville  
 Released Pursuant To The  
 Municipal Freedom of Information  
 And Protection of Privacy Act  
 Copyright Act Applies to Use and Reproduction

PROPOSED BATHS INITIATION 20  
 TODAY - SALLY HOON VISA  
 ADDRESS: 2477 BAYVIEW RD. UNIT 2  
 FLOOR: COMPLETELY 1/2  
 FLOOR: COMPLETELY 1/2  
 FLOOR: COMPLETELY 1/2  
 DATE: 2008.03.11 BY: S.C.

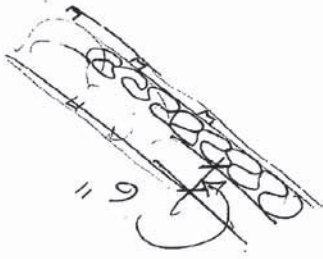
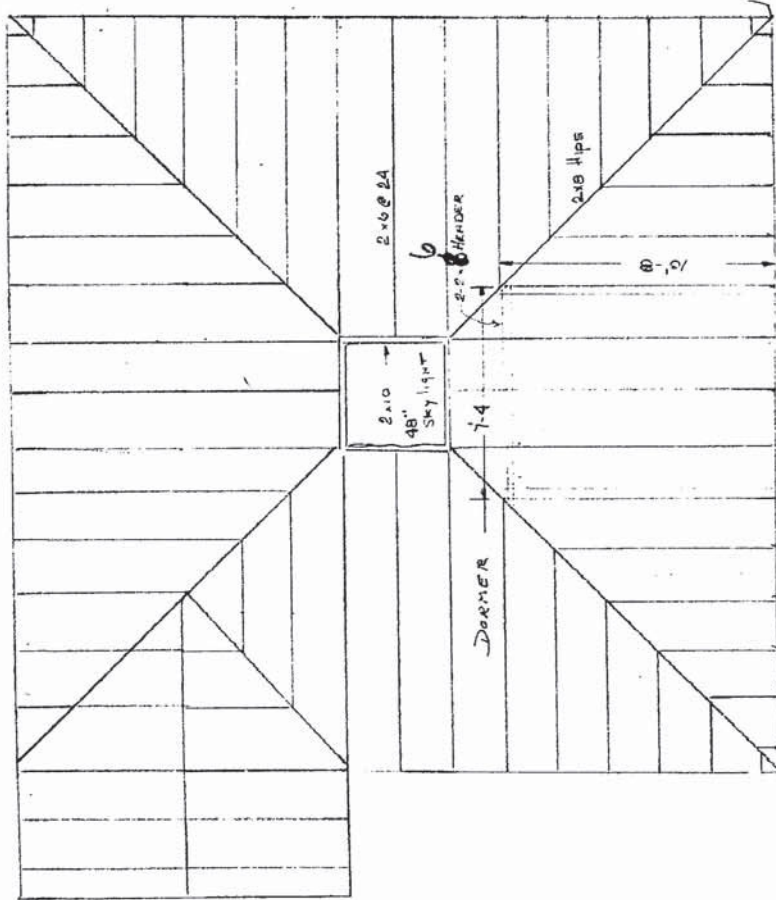
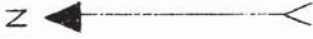
CALL ABOVE

2477 Bayview Rd 10/1

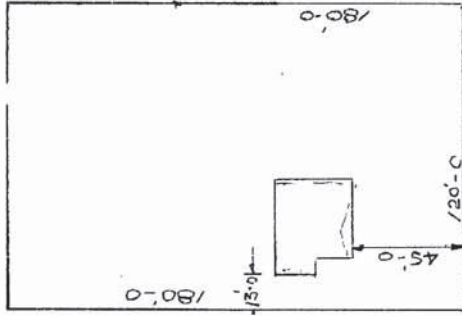






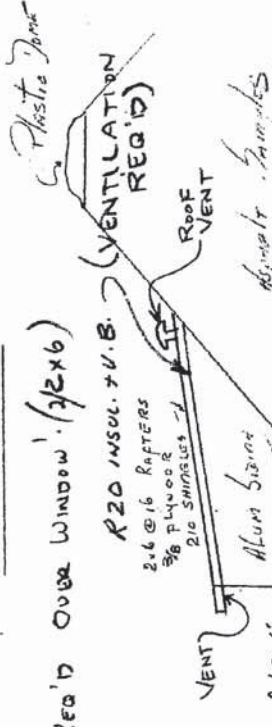


Electrical installation to be in accordance with the Ontario Hydro Code.  
 TOWN OF OAKVILLE  
 BUILDING DEPARTMENT



LOT 30 SDS  
 PALERMO ONT

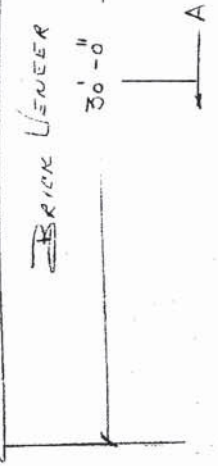
1) LINTEL REQ'D OVER WINDOW (2x6)



Town of Oakville  
**APPROVED**  
 SUBJECT TO ANY REVISIONS SHOWN IN COLOUR AND MARKED THEREON

PERMIT No. 441 81  
 DATE APR 28 1981

*[Signature]*



INSTALLATION OF DORMER  
 FOR  
 R. WIETLAUFER  
 2467 BRONTE RD. PALERMO

S-2467 Bronte Rd. 1001

## APPENDIX H

Conceptual Drawings prepared by Quadrangle Architects dated 17 November 2017



Quadrangle



# 2467 & 2477 Old Bronte Road

Oakville, Ontario  
Concept Design Report

17 November 2017

† 416 598 1240  
[www.quadrangle.ca](http://www.quadrangle.ca)  
**Quadrangle Architects Limited**  
901 King Street West, Suite 701  
Toronto, ON M5V 3H5

Inspiration realized



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Project Intent

06	10AK Developments Vision
08	Objectives
09	Project Goals

## 1Oak Developments Group Vision



### OUR MISSION

"To develop communities people love to work and live in."  
Enjoy the freedom of rental with the security of living in your own home; the beauty of award-winning design and high quality craftsmanship, and the amenities of life in a luxury building.





# Objectives



Sustainability



Accessibility



Constructability



Economy



Flexibility



Quality Design & Optimization

# Project Goals

## 1

### Unique Identity

Create a building which stands alone as a unique element contributing to the neighbourhood and community. A building which is articulated with setbacks and architectural elements to create a one-off building



## 2

### Context Driven

Draw on the character and content of the Palermo Village plan to propose a new development which integrates seamlessly and positively



## 3

### Materiality

Use materials which reflect the heritage attributes of Palermo Village



## 4

### Street Activation

Create a pedestrian friendly development, which actively integrates with Old Bronte Road and the planning principles in effect for the future development of the area

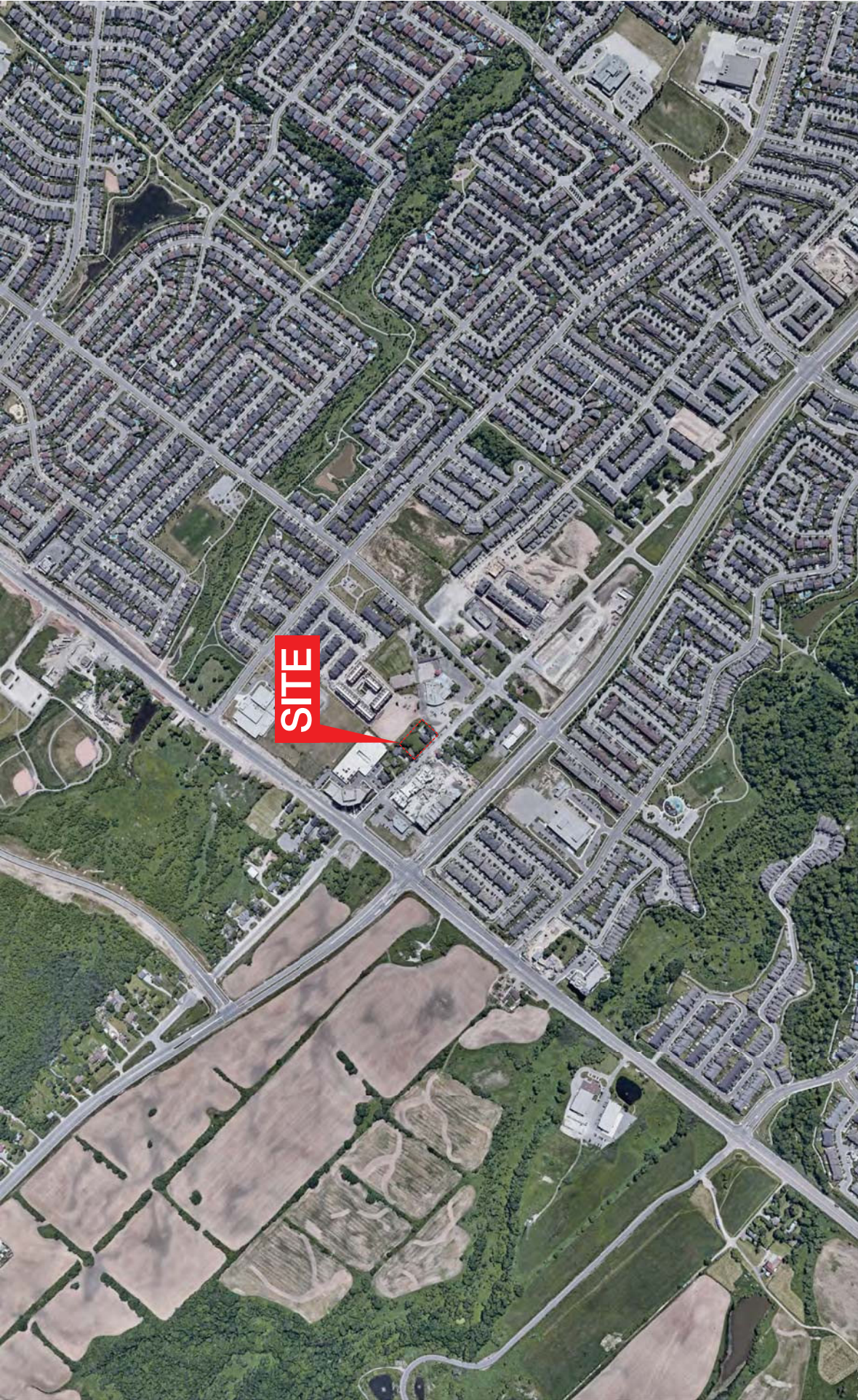






Site Condition

13	Planning
14	Opportunities & Constraints
15	Site Analysis + Existing Conditions





### Old Bronte Road

Old Bronte Road intersects with Dundas Street West in northwest Oakville. This crossroad is the site of the historic settlement of Palermo, once an important stop on the route between Toronto and Dundas. At its peak in the 1920s Palermo boasted a post office, community hall, blacksmith shop, brick school house, doctor's office and churches.













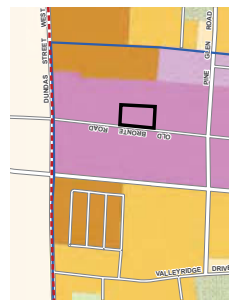
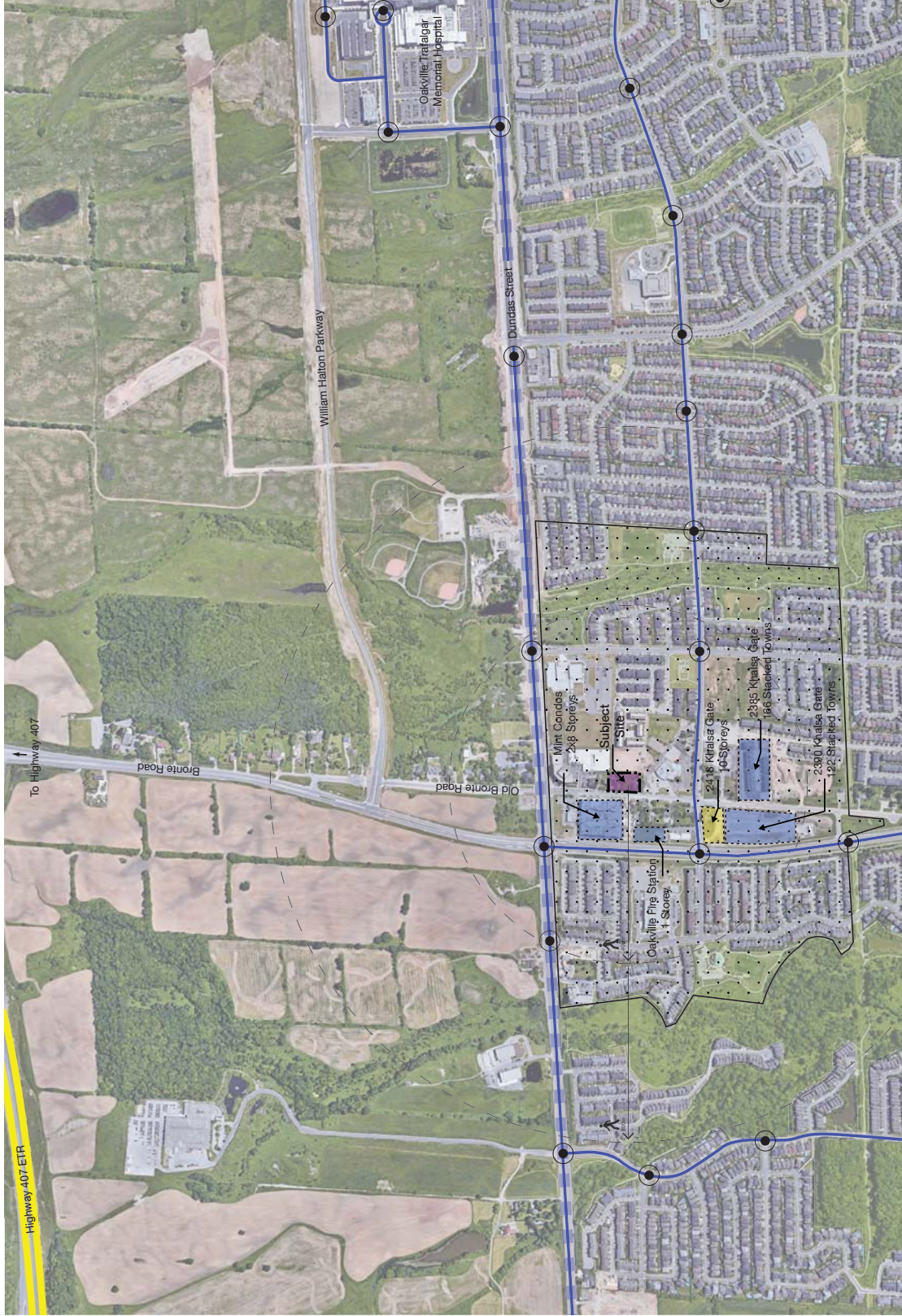
### Today

Palermo Village is identified in the Livable Oakville Plan as an area for which a concentration of new development is planned. Old Bronte Road / Khalsa Gate, the main spine of the village, is being studied in order to develop a streetscape plan.

# Opportunities & Constraints

## Legend

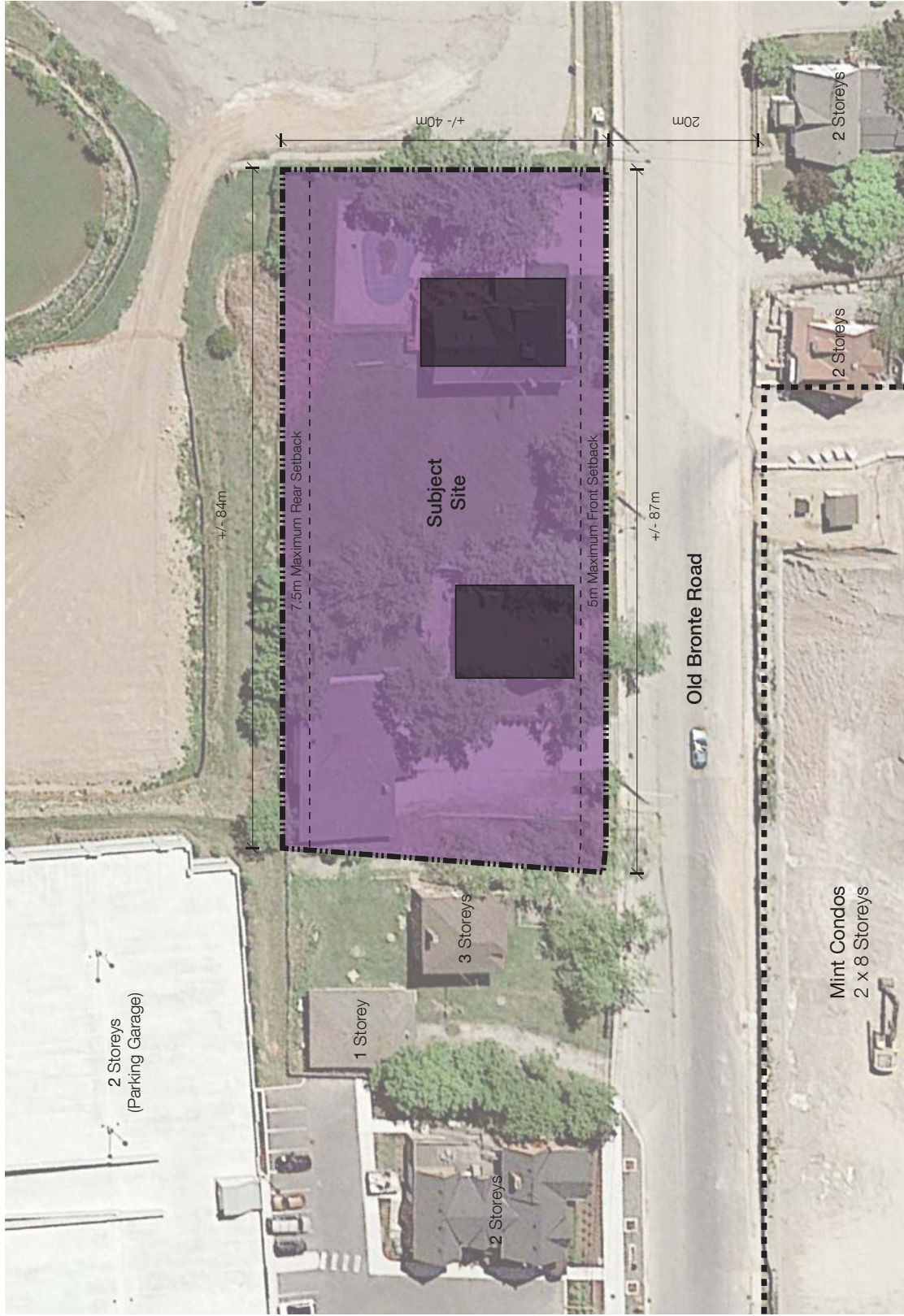
-  Subject Site
-  Highway 407 ETR
-  Future Dundas Street Bus Rapid Transit
-  Oakville Transit Bus Route
-  Bus Stop
-  5 & 10 Minute Walks (400m & 800m)
-  Parkland
-  Palermo Village Growth Area
-  Contextual Development (Approved | Under Construction)
-  Contextual Development (Proposed)



Oakville Official Plan  
Urban Centre



# Site Analysis + Existing Conditions



**Legend**

Subject Site	
Existing Buildings (Approx.)	

**Approximate Lot Area**

+/- 37,800sf (+/- 3,512sm)

**Zoning Summary**

Oakville Zoning By-law 2014-014

H1-MU3

Height Limit: 29m

Old Bronte Road ROW: 20m

Official Plan: Apartment Neighbourhoods

Special Policy Area: Palermo Village

**Zoning Provisions**

Height Limit: 29m | 8 Storeys

Minimum Front (West) Setback: 0.0m

Maximum Front (West) Setback: 5.0m

Minimum Rear (East) Setback: 0.0m

Maximum Rear (East) Setback: 7.5m

Minimum Interior Side Yard Setback: 0.0m

Maximum Interior Side Yard Setback: None

**General Disclaimer for Site Analysis:**

NOTE: For the purpose of this preliminary study, the property lines shown are approximate. The information has been obtained from the City of Oakville online property data maps.



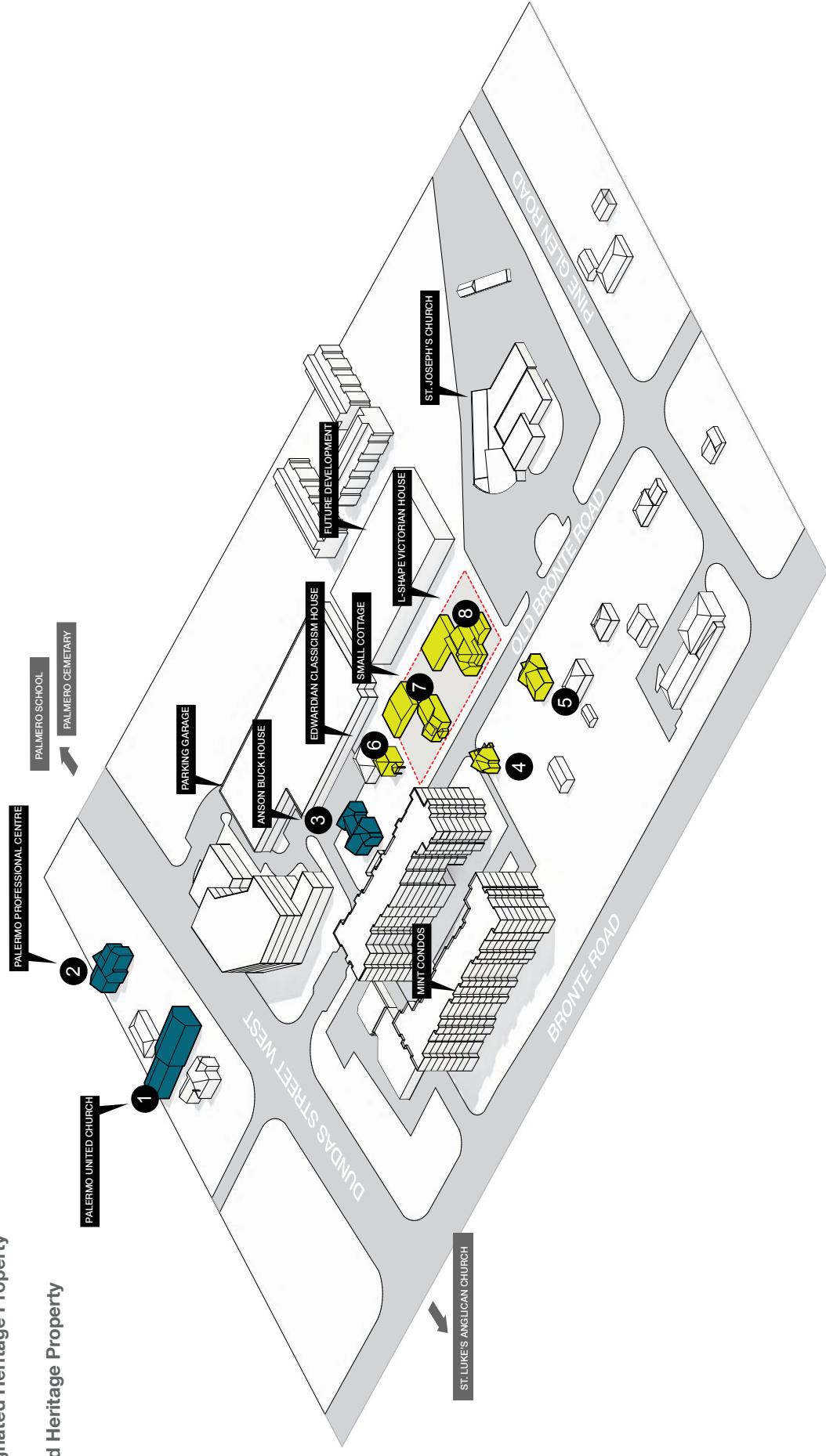
Site Analysis

18	Designated and Listed Heritage Buildings
20	Existing Buildings on Site

# Designated and Listed Heritage Properties

 Designated Heritage Property

 Listed Heritage Property

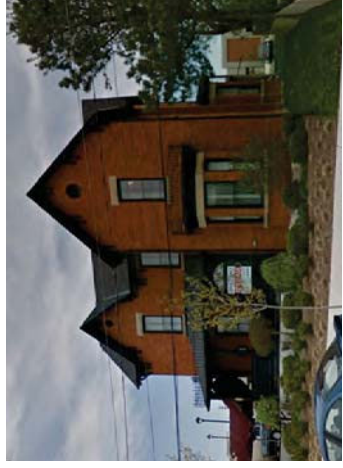




1 Palmero United Church



2 Palmero Professional Centre



3 Anson Buck House



4 Victorian Red Brick House



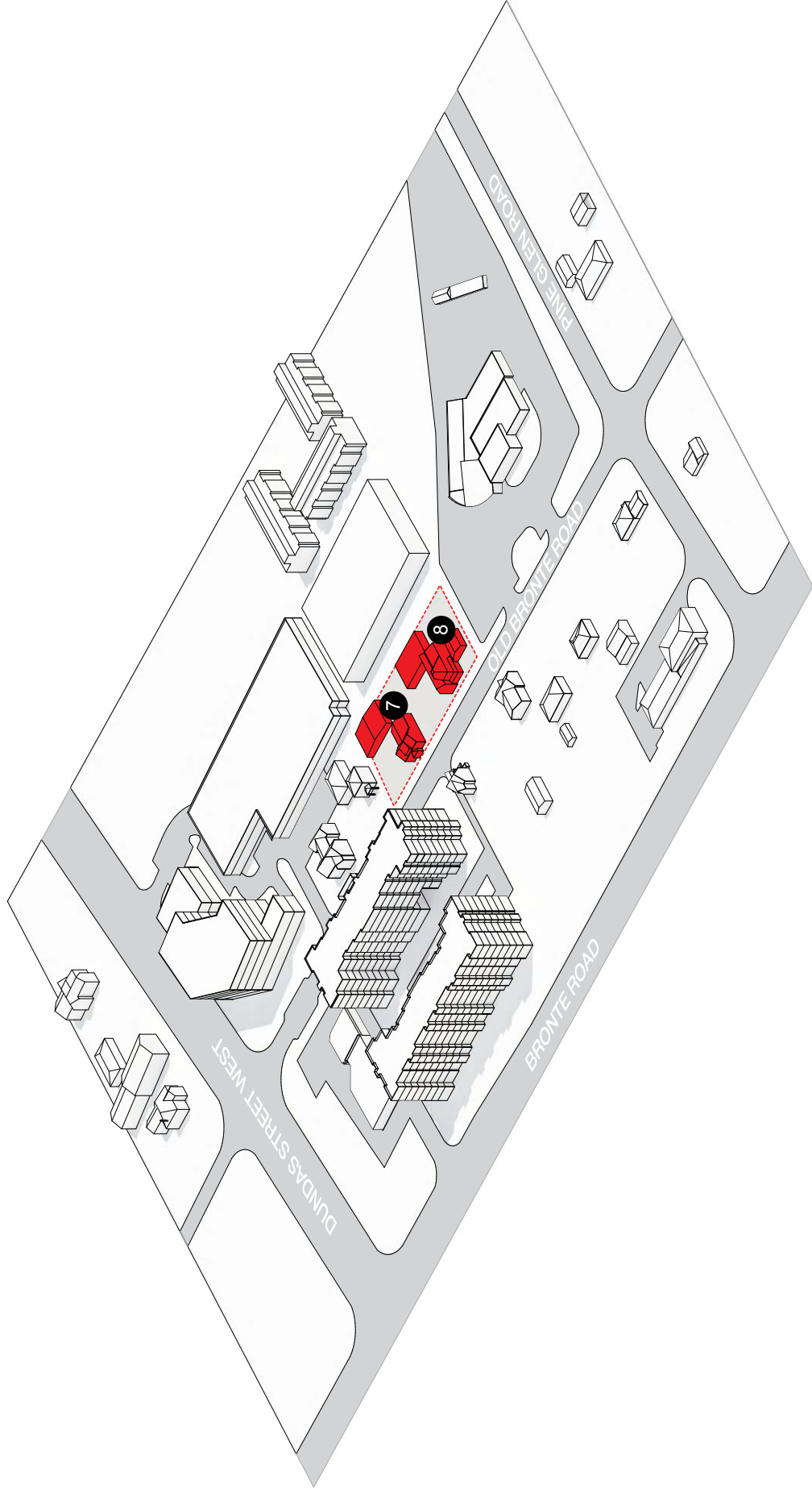
5 Gothic Revival House



6 Edwardian Classicism House

# Existing Buildings on Site

 Buildings on Site





7 Small Cottage



8 L-Shape Victorian House





**Building Studies**

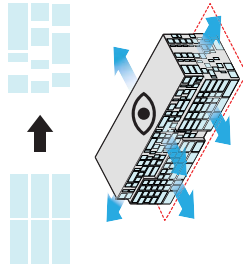
24	Massing Strategies
26	Retail Studies
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30	Selective Materiality
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# Massing Strategies



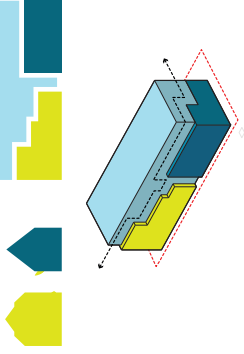
## Existing Site

The existing site comprises of +/- 3,450 square meters of area



## Views

Extended balconies and variation in window sizes/ orientation ensure views in all directions from each unit



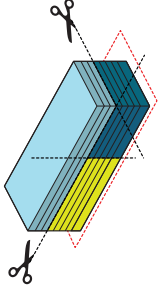
## Context Driven Materiality

Drawing from the surrounding heritage buildings, the building is defined and split into multiple materials



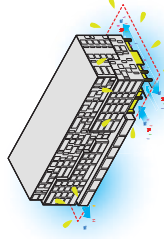
## Activation

By activating the rooftop and balconies the resulting building is one that actively contributes to the character of Old Bronte Road



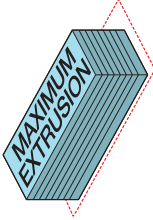
## Pedestrian Access

Breaking up the massing helps minimize the building's impact to match the smaller scale developments on the street.



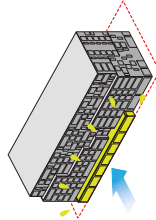
## Pedestrian Access

Pushing back the ground floor creates a more permeable and urban environment at grade



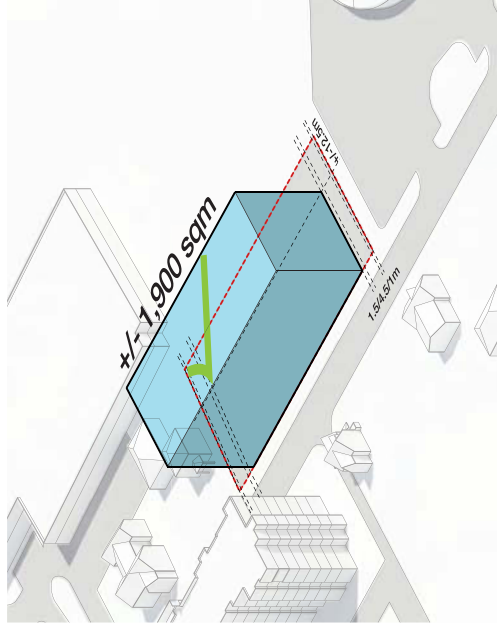
## Commercial Activation

A maximum extrusion to 26m matches the surrounding new developments



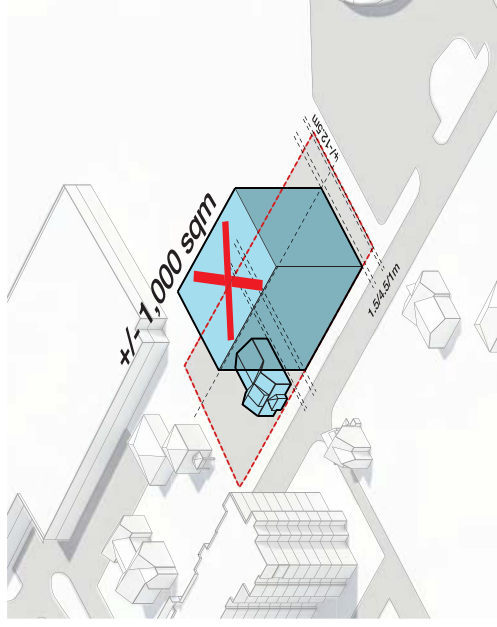
## Commercial Activation

Insertion of commercial activity at grade ensures public connection and activation



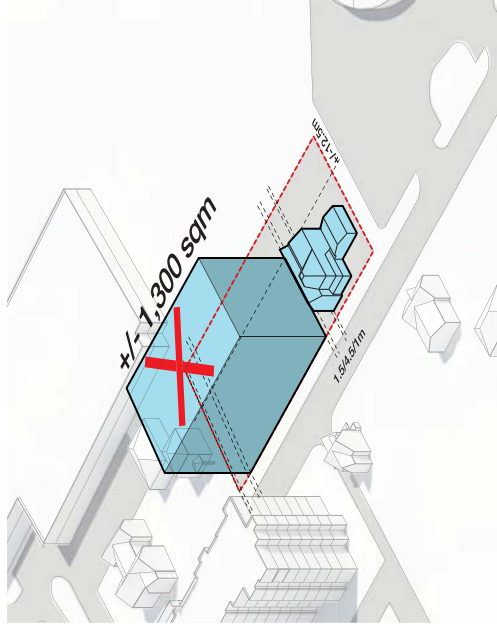
**Remove Existing Buildings**

Resulting area after setbacks is suitable for a viable development



**Keep Small Cottage**

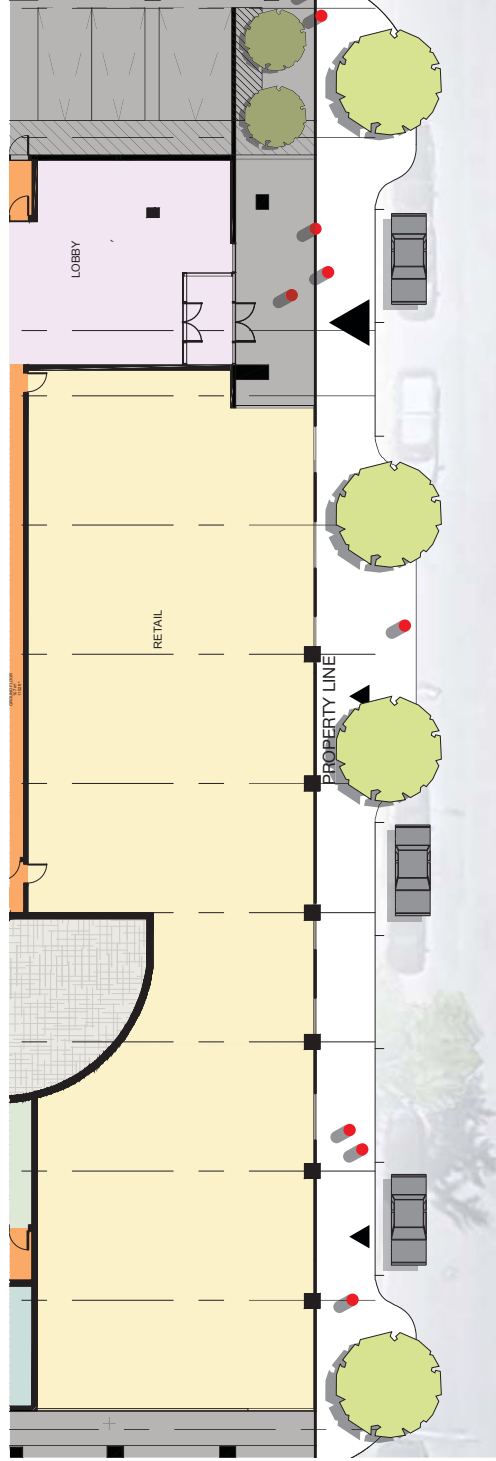
Resulting area after setbacks are implemented is too small for viable development. (Parking levels compromised)



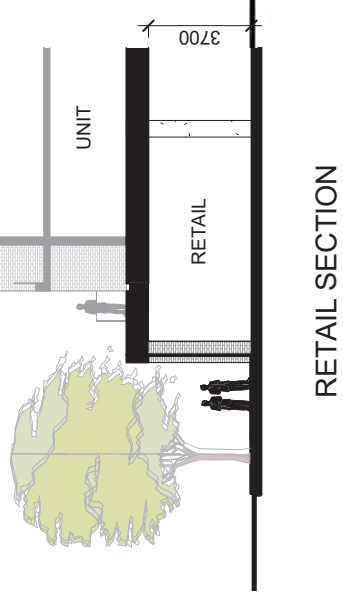
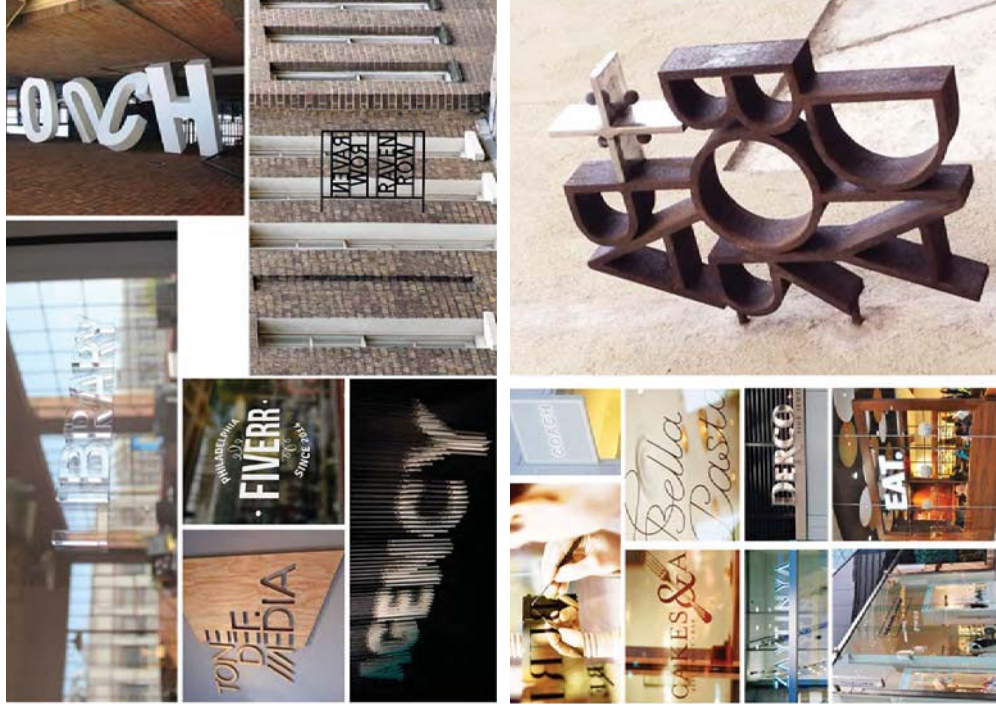
**Keep L-Shape Victorian House**

Resulting area after setbacks are implemented is too small for viable development. (Parking levels compromised)

# Activated Street Retail

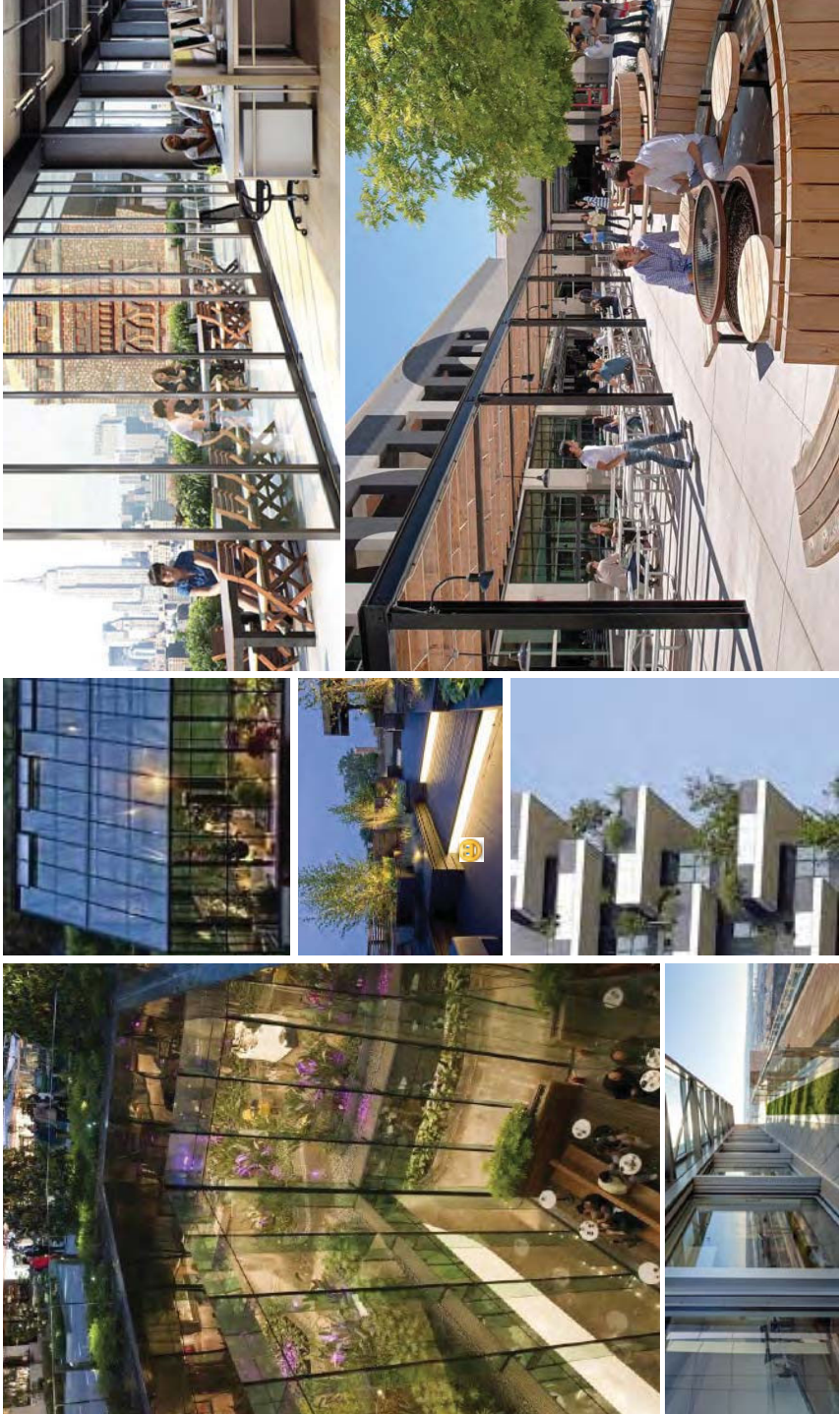


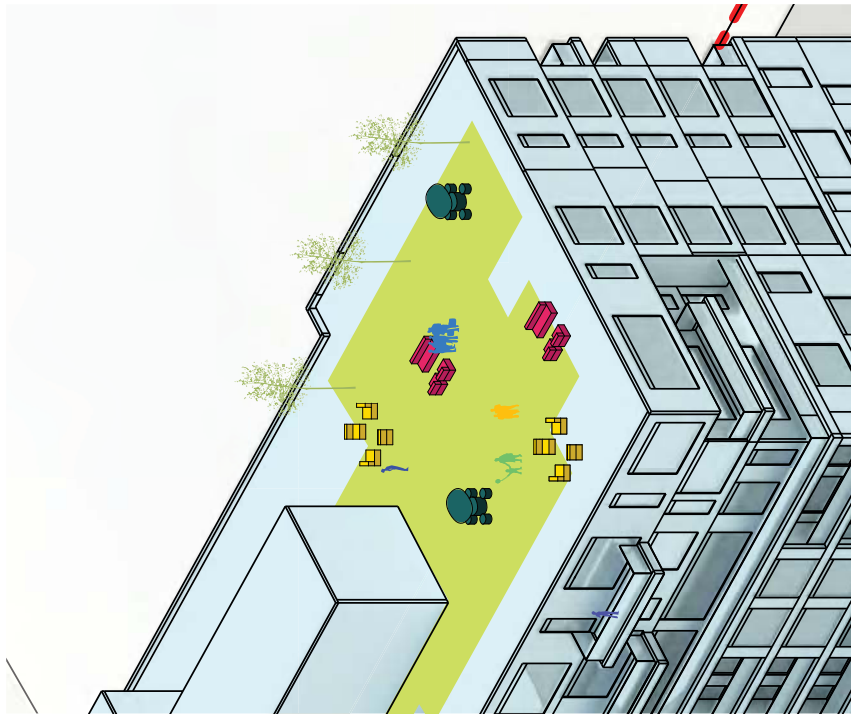
# Retail Signage Precedents



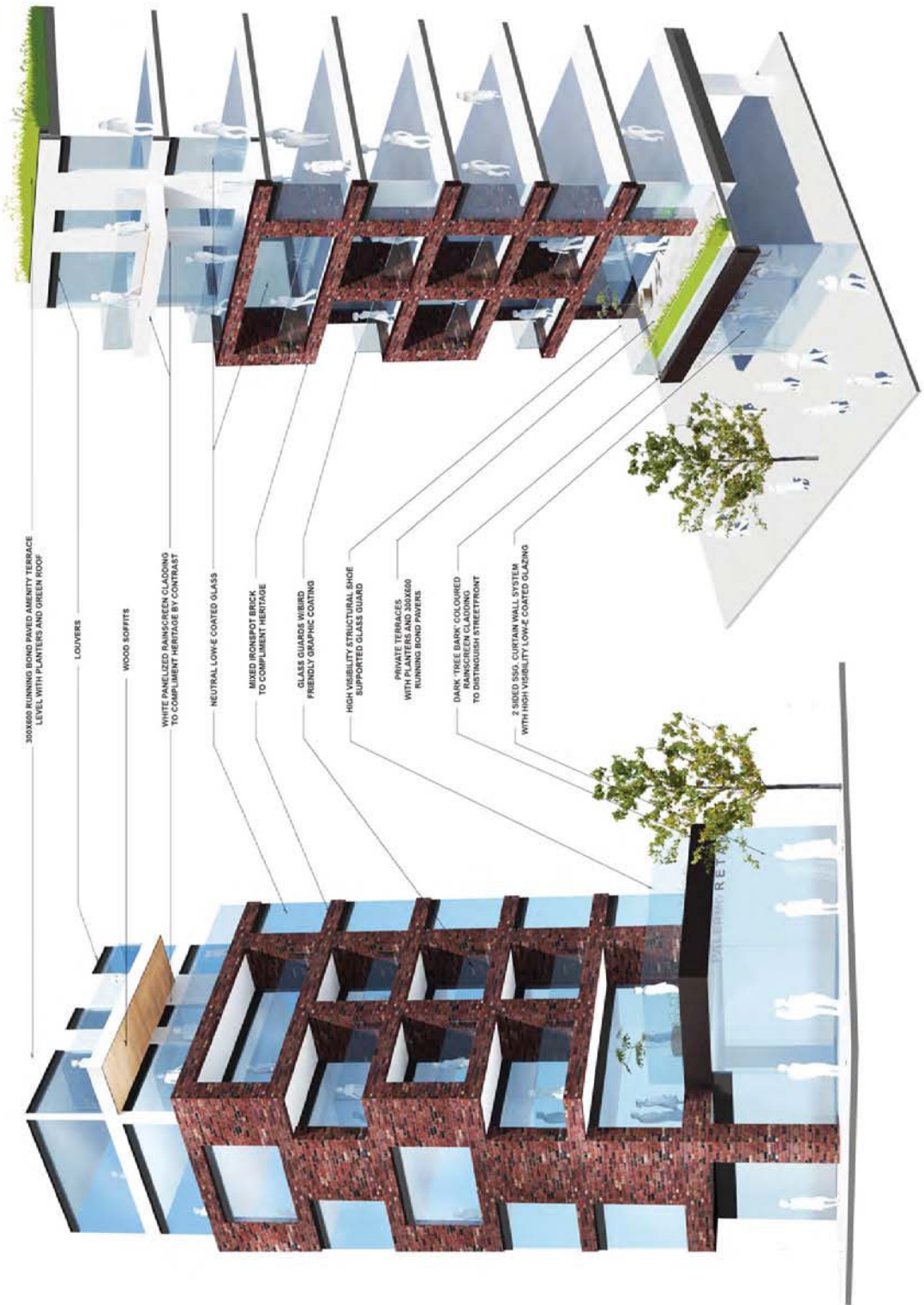
RETAIL SECTION

# Activated Rooftop/Balconies





# Selective Materiality





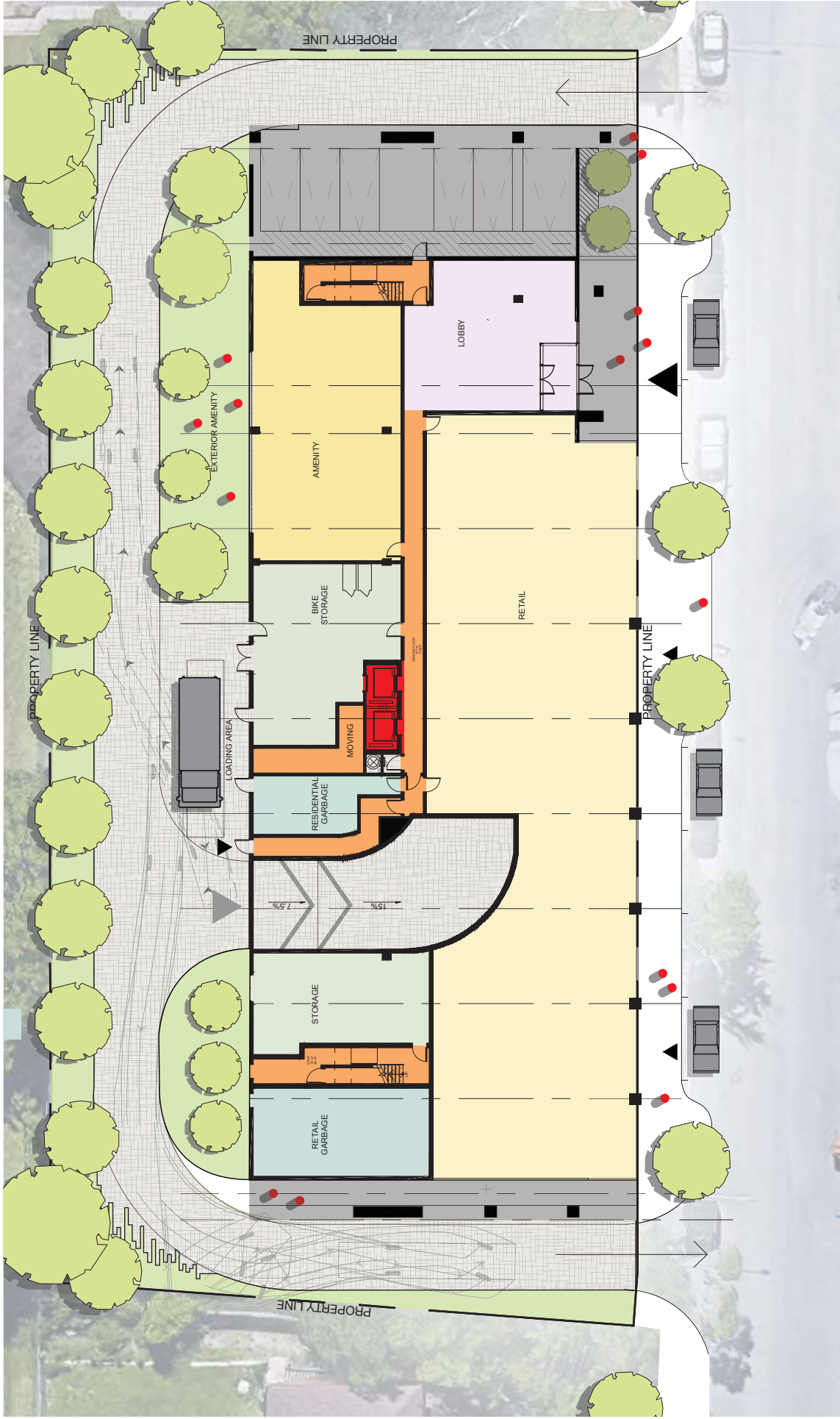




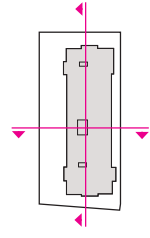
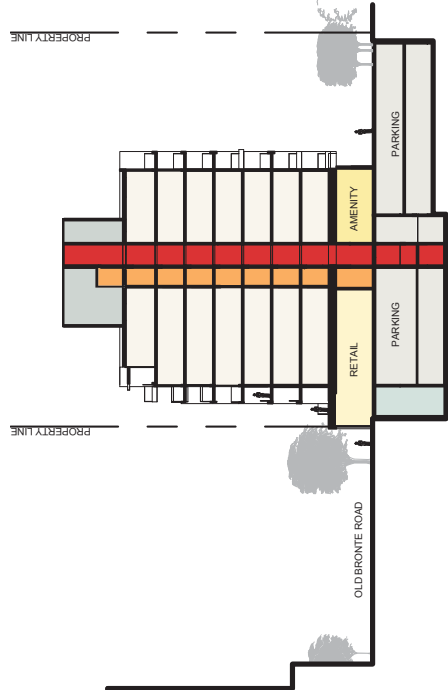
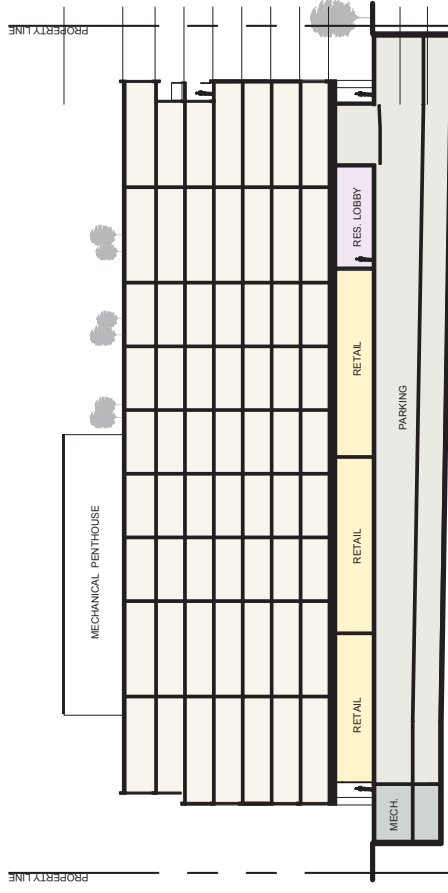
Concept Design

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# Ground Floor Plan



# Building Sections







# West/East Elevation



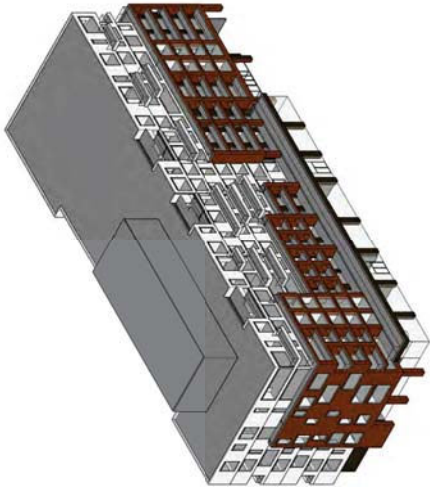


# South Elevation

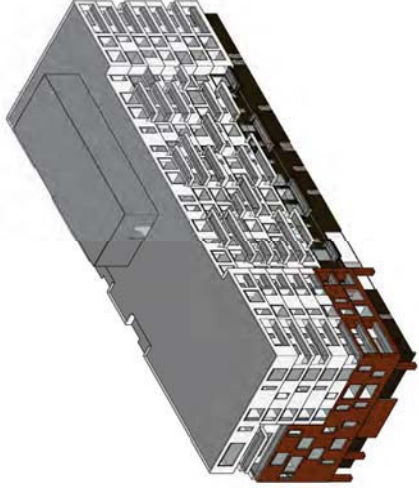


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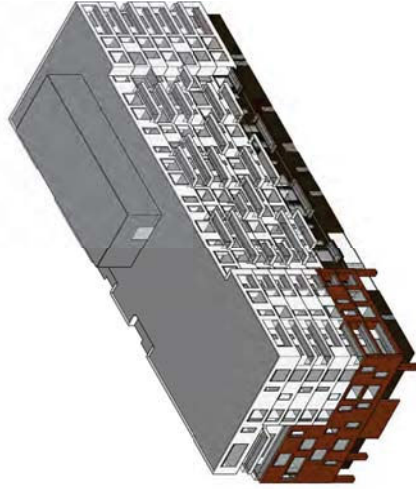
# Axonometric



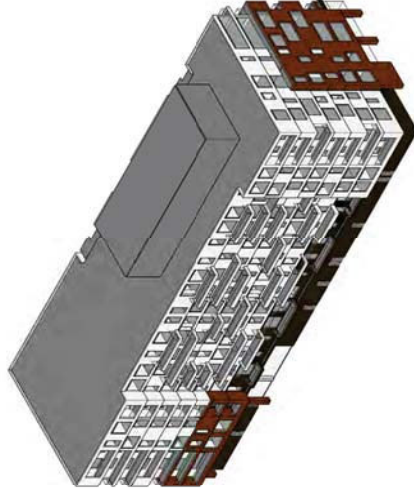
NW



SE



SW



NE

# North Elevation

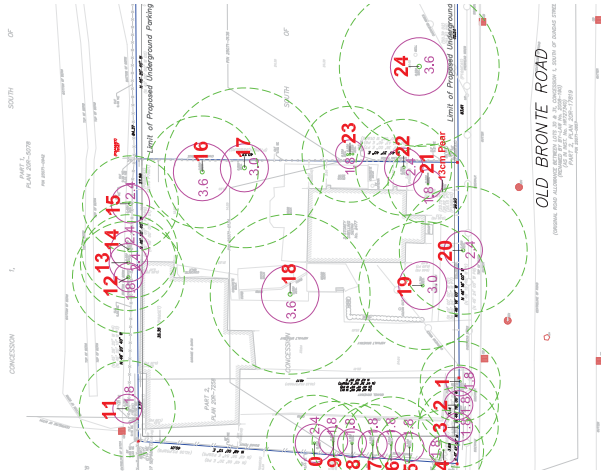


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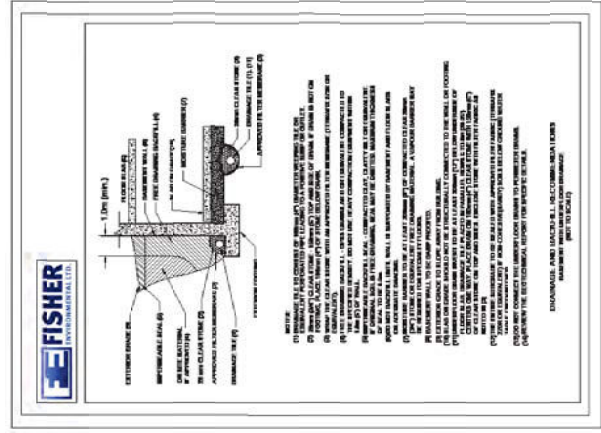
# Reports



**Heritage**  
 ERA Architects Inc.  
 Date Issued: 2017-07-12



**Arborist**  
 Kuntz Forestry Consulting Inc.  
 Date Issued: 2017-19-05



**Geotechnical**  
 Fisher Environmental Ltd.  
 Date Issued: 2017-07-02

# Consultants

**Planning**  
Korziak Urban Planning

**Transportation**  
BA Group

**Surveyor**  
Schaeffer Dzaldov Bennett LTD

**Landscape**  
Terraplan

**Civil Engineering**  
Schaeffer & Associates Limited

**Electrical/Mechanical**  
United Engineering

**Geo-Technical**  
Fisher Environmental Ltd.

**Archeological**  
This Land Archeologically Inc.

**Heritage Architect**  
ERA Architects Inc.



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