



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2015-032

A by-law to amend the Town of Oakville Zoning By-law 1984-63 and the Town of Oakville Zoning By-law 2014-014 to permit the use of lands described as 610 Chartwell Road (formerly 514 South Service Road) (First Gulf Corporation, File No.: 1611.16)

COUNCIL ENACTS AS FOLLOWS:

1. Map 91(8) of By-law 1984-63 is amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 89, Special Provisions for Particular Parcels of Land, of By-law 1984-63 is amended by adding a new subsection 889 as follows:

"Special Provision	Applies to / Location	By-law Number
(889)	<u>First Gulf Corporation</u> 610 Chartwell Road	2015-032

The lands subject to Special Provision 889 may be used for the uses permitted in the general provisions of By-law 1984-63, as amended, subject to the applicable regulations therefore, except where in conflict with the following uses and regulations, in which case the following shall prevail.

a) Prohibited Uses

- i) Drive-through service facility
- ii) on lands identified as Block 1 on Figure 889-1, all habitable buildings and habitable structures and all uses except for conservation uses

b) Zone Standards

- I. Minimum required front yard – 2.1 metres
- II. Maximum required front yard – 10.5 metres
- III. Minimum required flankage – 14.0 metres

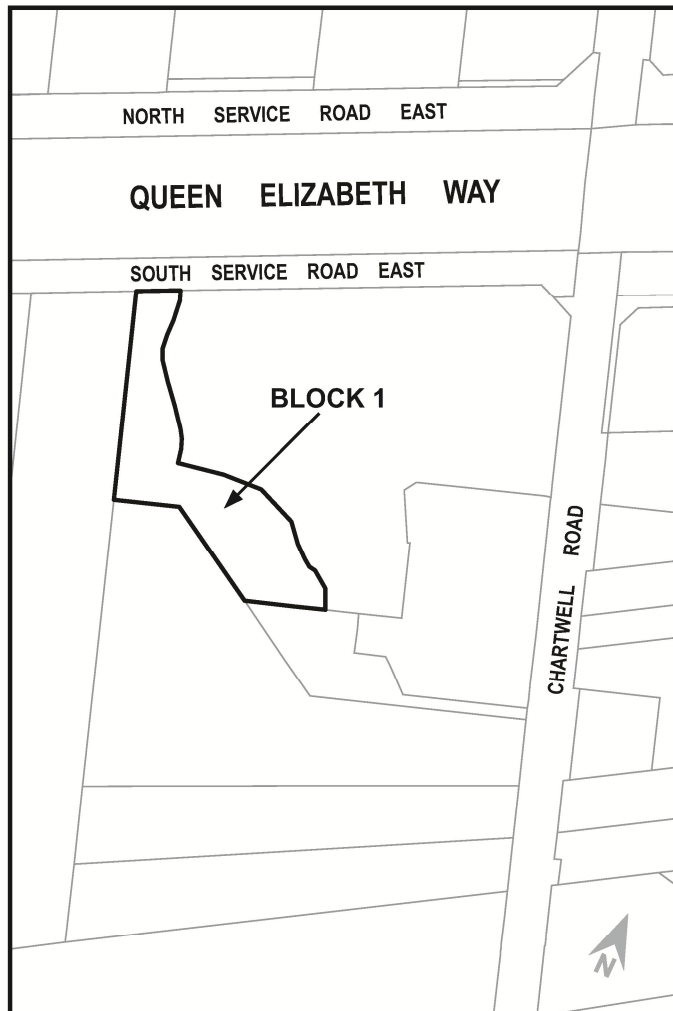
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- IV. Minimum required interior side yard – 25.0 metres
 - V. Minimum required rear yard – 25.0 metres
 - VI. Minimum width of buffer strip to any road, including the highway corridor - 3.0 metres
 - VII. Required widths of landscaping from any surface parking area – 1.0 metres
 - VIII. Minimum number of storeys – 2 storeys (Minimum height 9.0m)
 - IX. Maximum number of storeys – 4 storeys (Maximum height 26m)
 - X. Minimum first storey height – 4.5 metres
 - XI. Maximum permitted projection above the top of a roof for a parapet on the east elevation of a *building* – 3.3 metres for a maximum of 95% of the length of the wall length, and 5.8 metres for the remaining wall length.
 - XII. Maximum permitted projection above the top of a roof for a parapet on the west elevation of a *building* – 2.0 metres for a maximum of 74% of the wall length and 5.3 metres for a maximum of 26% of the wall length.
 - XIII. Maximum permitted projection above the top of a roof for a parapet on the north elevation of a *building* – 2.0 metres for a maximum of 75.5% of the wall length, 3.3 metres for a maximum of 15.5% of the wall length, and a maximum of 5.8 metres for 9% of the wall length
 - XIV. Maximum permitted projection above the top of a roof for a parapet on the south elevation of a *building* – 3.3 metres for a maximum of 35% of the wall length
 - XV. Rooftop Mechanical Equipment that exceeds 3 metres shall be enclosed in a mechanical penthouse

c) Parking Standards

- i) Minimum width of a required parking space – 2.7 metres
- ii) Minimum area of a required parking space – 15.39 metres
- iii) Minimum length of a parking space – 5.7 metres
- iv) Minimum width of a surplus parking space – 2.6 metres
- v) Minimum area of a surplus parking space – 14.82 metres
- vi) Minimum setback of surface parking spaces from any building face – 1.45 metres
- vii) Minimum required number of parking spaces – 1 per 40 square metres of net floor area
- viii) Maximum number of parking spaces – 1 per 22 square metres net floor area

d) **Special Site Figure 889-1:**

Special Provision 889



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1. Map 19(8b) of By-law 2014-014, as amended, is amended by rezoning the lands as depicted on Schedule 'B' to this By-law.
2. Part 15, Special Provisions, of By-law 2014-014, as amended, is amended by adding a new Section 15.360 as follows:
- 3.

"360"	<u>First Gulf Corporation</u> 610 Chartwell Road	Parent Zone: MTE and N
Map 19(8b)		2015-032
15.360 1. Additional Permitted Uses		
a) Natural Areas		
15.360.1 Zone Provisions		
The following regulations apply:		
a)	Maximum <i>lot coverage</i>	Shall not apply
b)	<i>Minimum front yard</i>	2.1 m
c)	<i>Maximum front yard</i>	10.5 m
d)	<i>Minimum flankage yard</i>	14.0 m
e)	<i>Minimum interior side yard</i>	25.0 m
f)	<i>Minimum rear yard</i>	25.0 m
g)	Minimum width of landscape strip adjacent to any public road, including the highway corridor	3.0 m
h)	Required widths of landscaping from any surface parking area	1.0 m
i)	required width of landscaping adjacent to a Natural Areas zone	0.0 m
j)	Minimum number of stories	2 (Minimum Height 9m)
k)	Maximum number of stories	4 (Maximum Height 26m)
l)	Minimum first storey height	4.5 m
m)	Maximum permitted projection above the top of a roof for a parapet on the east elevation of a <i>building</i>	3.3 metres for a maximum of 95% of the length of the east elevation and 5.8 metres for the remaining wall length

n)	Maximum permitted projection above the top of a roof for a parapet on the west elevation of a <i>building</i>	5.3 metres for 22% of the wall length
o)	Maximum permitted projection above the top of a roof for a parapet on the north elevation of a <i>building</i>	3.3 metres for 15.5% of the wall length and a 5.8 metres for 9% of the wall length
p)	Maximum permitted projection above the top of a roof for a parapet on the south elevation of a <i>building</i>	3.3 metres for a maximum of 35% of the length of the elevation
q)	Rooftop Mechanical Equipment to be enclosed in a mechanical penthouse	Exceeding 3 metres
15.360.3 Parking Regulations		
The following parking regulations apply:		
a)	Minimum number of parking spaces	1/40 square metres net floor area
b)	Maximum number of parking spaces	1/22 square metres net floor area
c)	Minimum number of parking spaces	231
d)	Minimum width of a surplus parking space	2.6 metres
f)	Minimum area of a surplus parking spaces	14.82 metres
g)	Minimum surface parking area setback from a building	1.45 metres

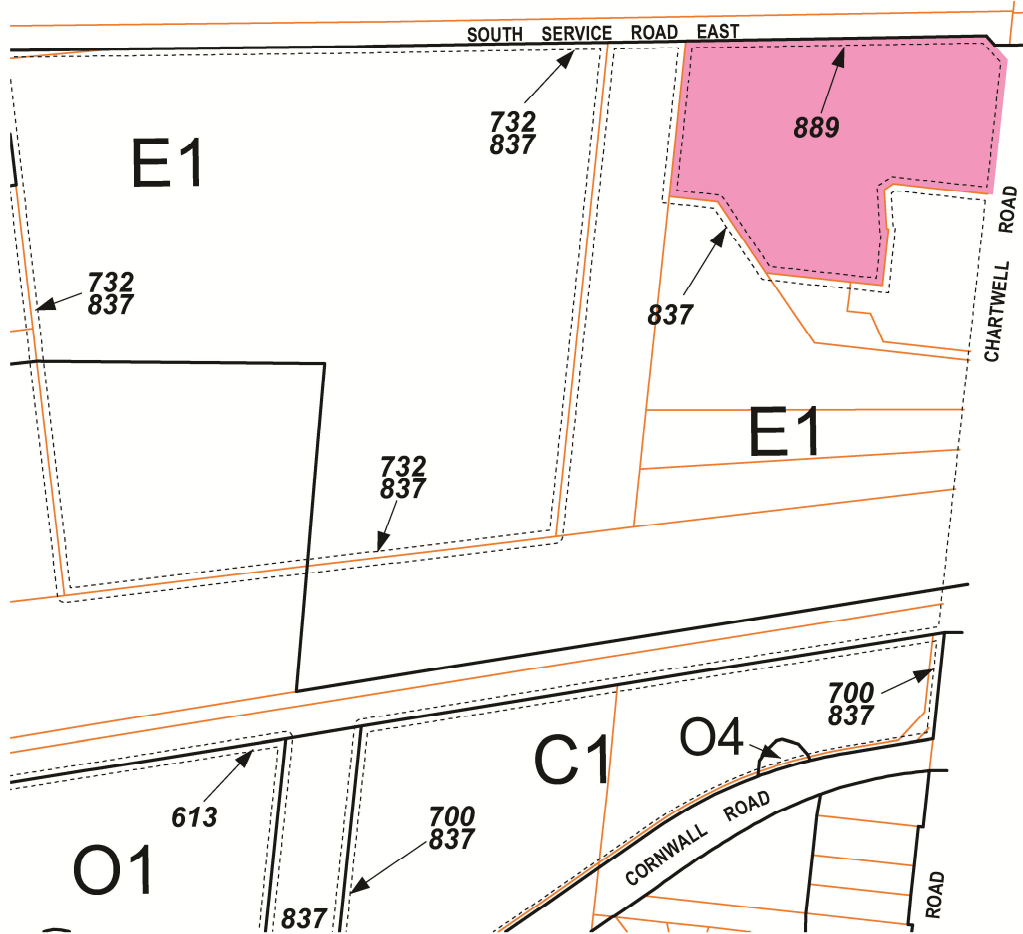
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this 13th day April, 2015


MAYOR

CLERK

SCHEDULE "A"
To By-law 2015-032



AMENDMENT TO BY-LAW 1984-63

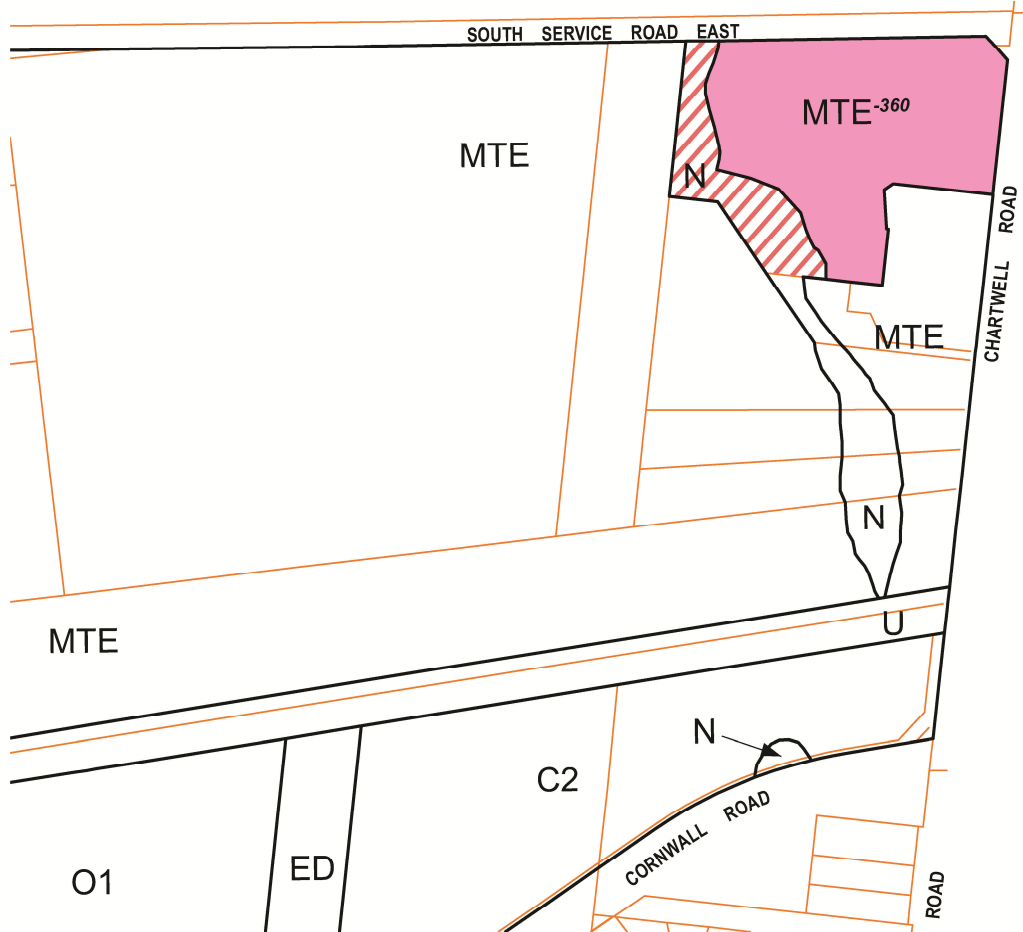
 Rezoned from Employment (E1 --SP 837)
to Employment (E1 --SP 889)

EXCERPT FROM MAP
91 (8)





SCALE 1 : 3500

SCHEDULE "B"
To By-law 2015-032



AMENDMENT TO BY-LAW 2014-014

 Rezoned from Midtown Transitional Employment (MTE) and Natural Area (N) to Midtown Transitional Employment (MTE -- SP 360)

 Rezoned from Natural Area (N) and Midtown Transitional Employment (MTE) to Natural Area (N)

EXCERPT FROM MAP
19 (8b)



SCALE 1 : 3500