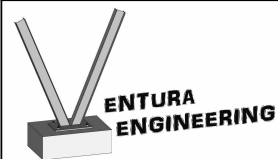
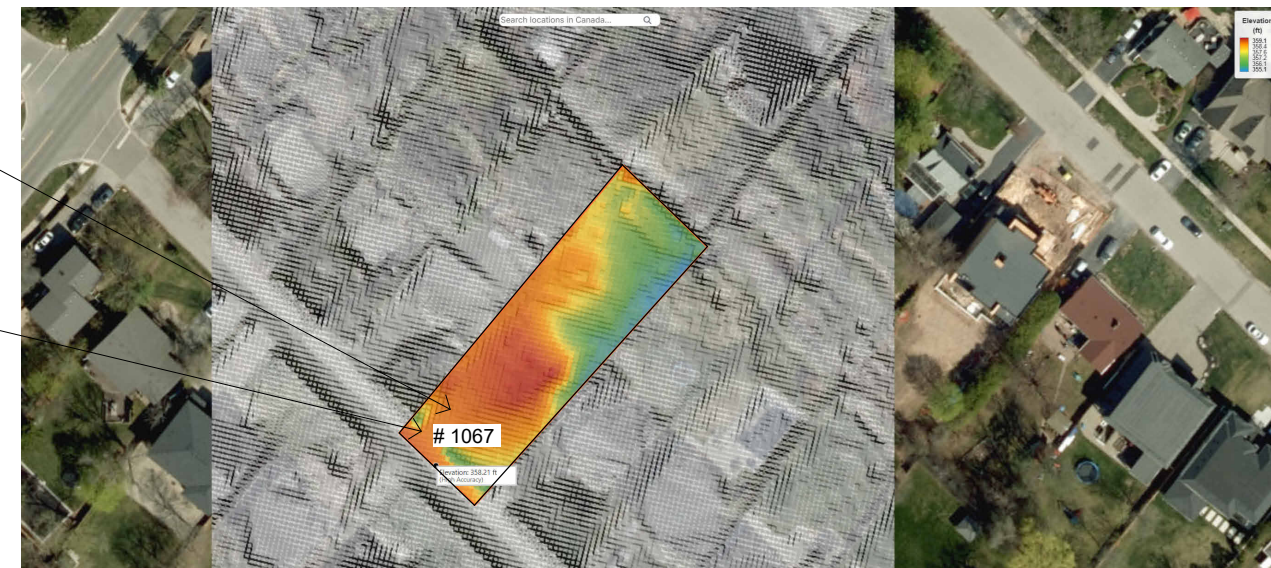


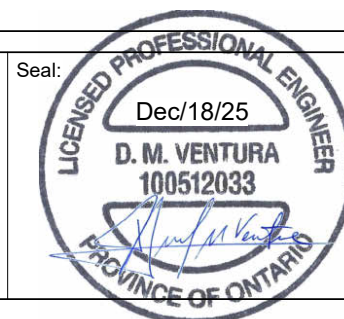
1067 Truman Ave., Oakville, ON  
 Nearest Countour Lines Elevation  
 358.69ft (109.33 m)

Lot 25, Plan 344, Oakville  
 PIN 24882-0067 (LT)

Lidar Elevations



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No.	Description	Date
01	Issued for permit	12/18/25

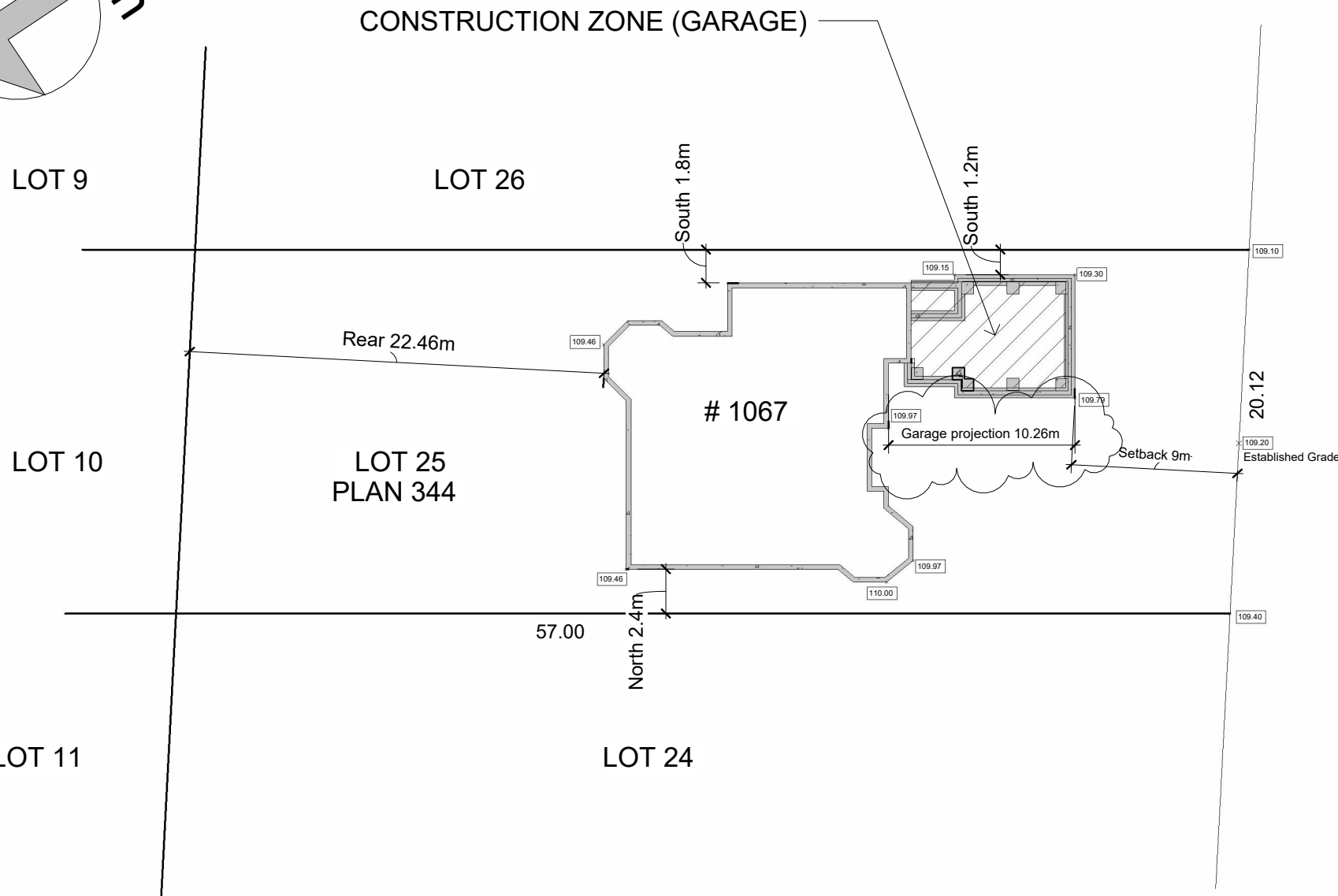
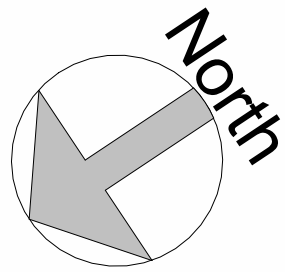
Owner  
 Safdar Ali Qurbanzada

Project Name  
 Garage Modification

Site Topography

Project number	VEP# 2025.45
Date	12/18/25
Drawn by	D.V.
Checked by	D.V.

**SP1-02**



**Setbacks:**

Description	Existing	Proposed
Front yard setback	9.0 m	9.0 m
South side yard setback	1.2 m	1.2 m
North yard setback	2.4 m	2.4 m
Rear yard setback	22.46 m	22.46 m
Building height	8.78 m	8.78 m

**Area Table:**

Description	Existing	Proposed
Ground floor area	200 m <sup>2</sup>	200 m <sup>2</sup>
2 <sup>nd</sup> floor area	187 m <sup>2</sup>	240.9 m <sup>2</sup>
<b>Total area</b>	<b>387 m<sup>2</sup></b>	<b>440.9 m<sup>2</sup></b>
Residential Floor Area (RFA) Ratio	34%	38.67 %
Lot area	1140 m <sup>2</sup>	1140 m <sup>2</sup>
Total footprint area	244.2 m <sup>2</sup>	253.9 m <sup>2</sup>
Lot Coverage	21 %	22 %
Garage area	44.2 m <sup>2</sup>	47.9 m <sup>2</sup>

**Net Floor Area:**

Description	Existing	Proposed
Net Ground floor area	177 m <sup>2</sup>	177 m <sup>2</sup>
Net 2 <sup>nd</sup> floor area	164 m <sup>2</sup>	211.9 m <sup>2</sup>
<b>Total area</b>	<b>341 m<sup>2</sup></b>	<b>388.9 m<sup>2</sup></b>
Net floor area index	30%	34 %
Garage area	44.2 m <sup>2</sup>	47.9 m <sup>2</sup>

**Established Grade:**

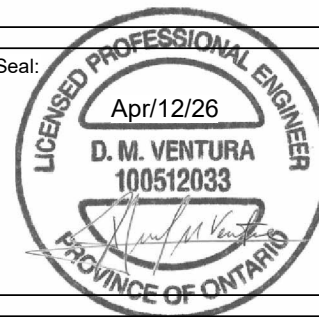
Zoning By-law 2009-189 (Consolidated to July 10, 2024)  
 Section 3 - Definitions:  
 "Established grade" means the grade elevation measured at:  
 i. the center point of the front lot line for interior lots.  
 Lot 25 is a interior lot, therefore established grade elevation at center point is 109.20  
 Highest building elevation is 117.98 (Max. Height 8.78m)

**1 Site Location**  
1 : 300



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Seal:



No.	Description	Date
1 01	Residential permit	04/12/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25
04	Issued for permit - Revision 3	02/04/26
05	Issued for permit - Revision 4	04/12/26

Owner: Safdar Ali Qurbanzada  
 Project Name: Garage Modification

Site Location

Project number	VEP# 2025.45
Date	04/12/26
Drawn by	D.V.
Checked by	D.V.

**SP1-01**



## Garage Modification

1067 Truman Rd., Oakville, ON

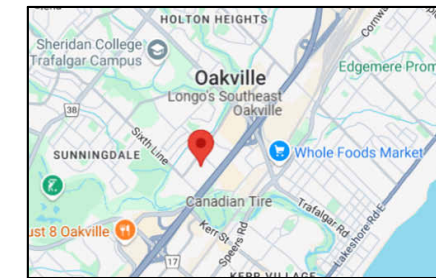
Client: Safdar Ali Qurbanzada

July, 2025



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Map Location for: 1067 Truman Rd.



### List of Drawings:

- A0.01 Cover
- A0.02 General Notes & Specifications
- SP1.01 Site Location
- A1.01 Plan View - 1st Floor
- A1.02 Plan View - 2nd Floor
- A1.03 Roof Plan
- A2.01 Existing North Elevation
- A2.02 Proposed North Elevation
- A2.03 Existing West Elevation
- A2.04 Proposed West Elevation
- A2.05 Existing South Elevation
- A2.06 Proposed South Elevation
- A4.01 Section - Garage and 2nd Floor

No.	Description	Date
01	Issued for Permitting	07/17/2025

### Project Name:

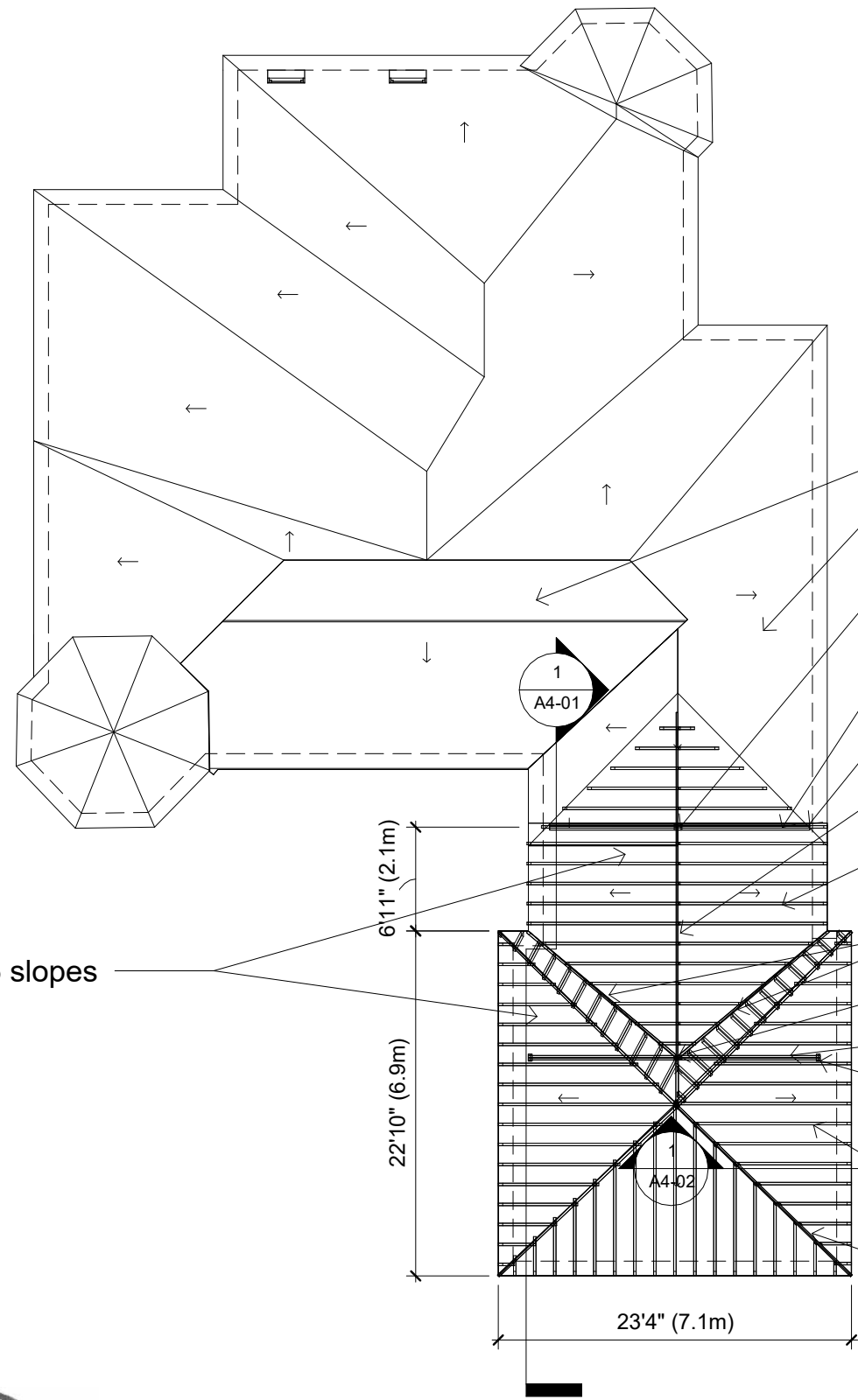
Garage Modification

Project number: VEP#2025.045

Drawn by: D.V.

Checked by: D.V.

**A0.01**



Gagare roofs with new 12:5 slopes

**1 Roof Plan**  
1 : 125

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Seal:

LICENSED PROFESSIONAL ENGINEER  
D. M. VENTURA  
100512033  
PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	10/20/25

Owner  
**Safdar Ali Qurbanzada**

Project Name  
**Garage Modification**

Plan View - Roof	
Project number	VEP# 2025.45
Date	10/20/25
Drawn by	D.V.
Checked by	D.V.

**A1-03**

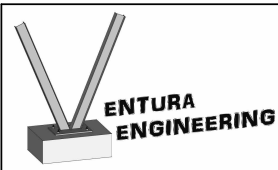
Existing garage  
without 2nd floor

Roof Ridge  
10120

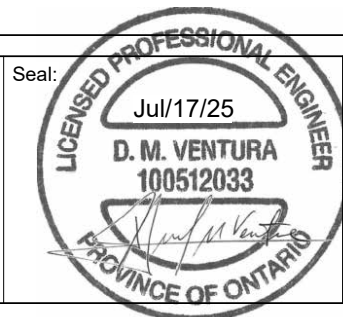
Garage Floor  
1918



**1 Existing North Side Elevation**  
1 : 100



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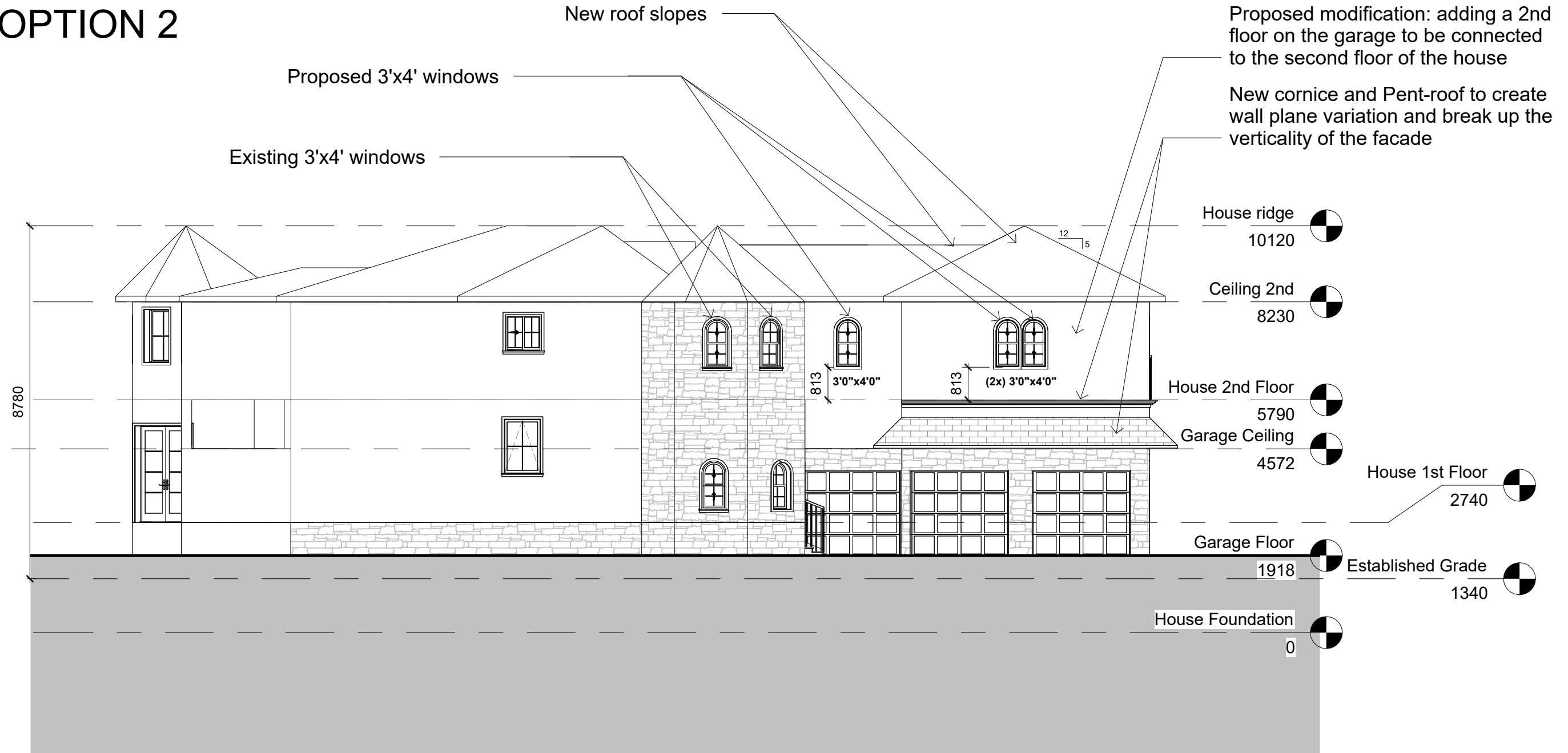
No.	Description	Date
01	Issued for permit	07/17/25

Owner  
Safdar Ali Qurbanzada

Project Name  
Garage Modification

Existing North Side Elevation		A2-01
Project number	VEP# 2025.45	
Date	07/17/25	
Drawn by	D.V.	
Checked by	D.V.	

# OPTION 2



Proposed modification: adding a 2nd floor on the garage to be connected to the second floor of the house

New cornice and Pent-roof to create wall plane variation and break up the verticality of the facade

**1 Proposed North Side Elevation**  
1 : 100

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Seal:

LICENSED PROFESSIONAL ENGINEER  
D. M. VENTURA  
100512033  
PROVINCE OF ONTARIO

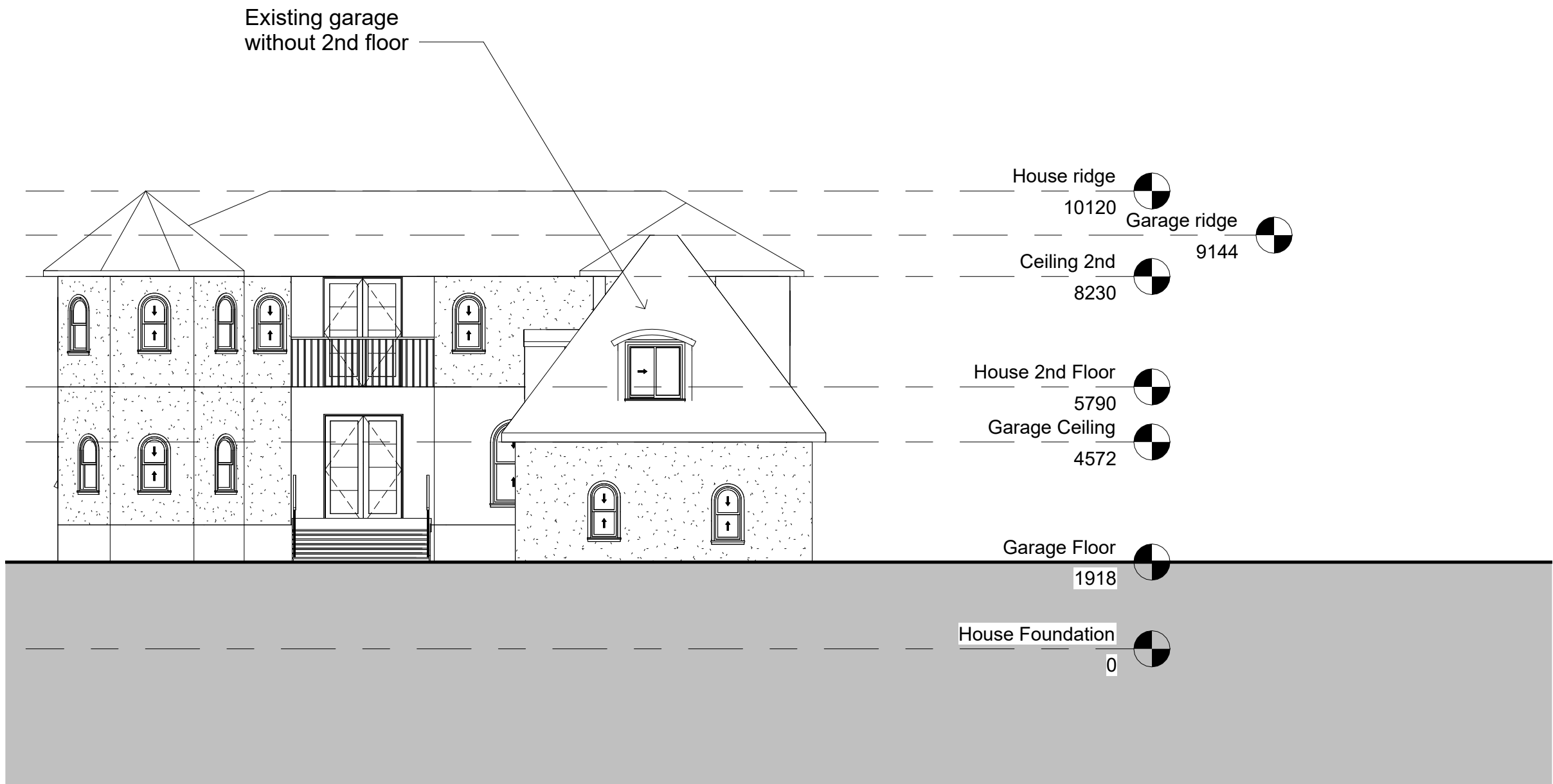
No.	Description	Date
01	Issued for permit	07/17/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25
04	Issued for permit - Revision 3	02/08/26

Owner: Safdar Ali Qurbanzada

Project Name: Garage Modification

Proposed North side Elevation	
Project number	VEP# 2025.45
Date	02/08/26
Drawn by	D.V.
Checked by	D.V.

**A2-02**



**1 Existing West Side Elevation**  
1 : 100

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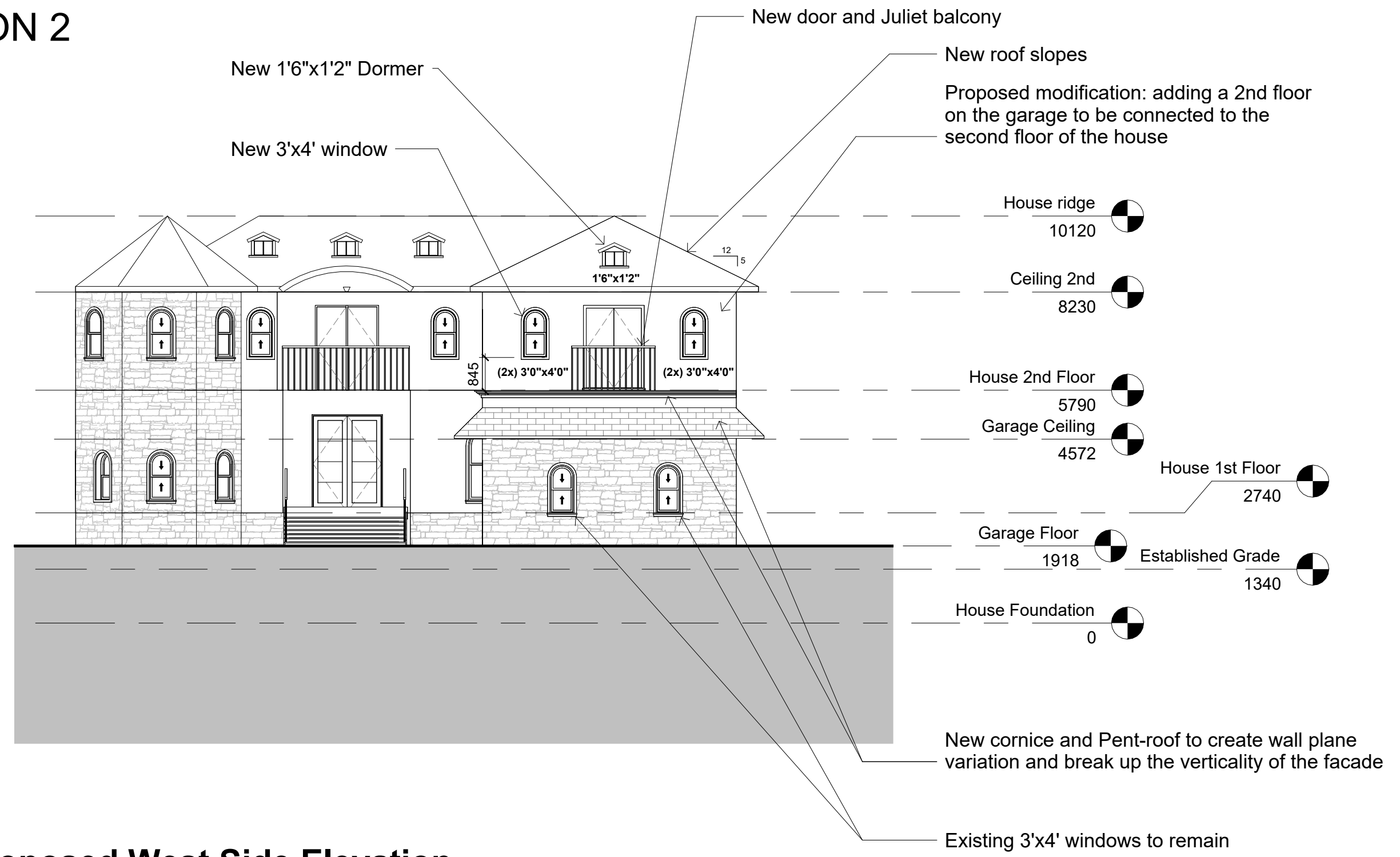
Seal:

LICENSED PROFESSIONAL ENGINEER  
D. M. VENTURA  
100512033  
PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	07/17/25

Owner	Safdar Ali Qurbanzada	Existing West side Elevation	
Project Name	Garage Modification	Project number	VEP# 2025.45
		Date	07/17/25
		Drawn by	D.V.
		Checked by	D.V.
			<b>A2-03</b>

# OPTION 2



**1 Proposed West Side Elevation**  
1 : 100

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Seal:

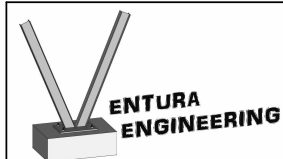
LICENSED PROFESSIONAL ENGINEER  
D. M. VENTURA  
100512033  
PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	07/17/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25
04	Issued for permit - Revision 3	02/08/26

Owner	Safdar Ali Qurbanzada	Proposed West side Elevation	
Project Name	Garage Modification	Project number	VEP# 2025.45
		Date	02/08/26
		Drawn by	D.V.
		Checked by	D.V.
			<b>A2-04</b>

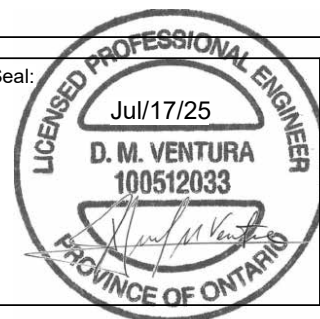


**1 Existing South Side Elevation**  
1 : 100



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Seal:



No.	Description	Date
01	Issued for permit	07/17/25

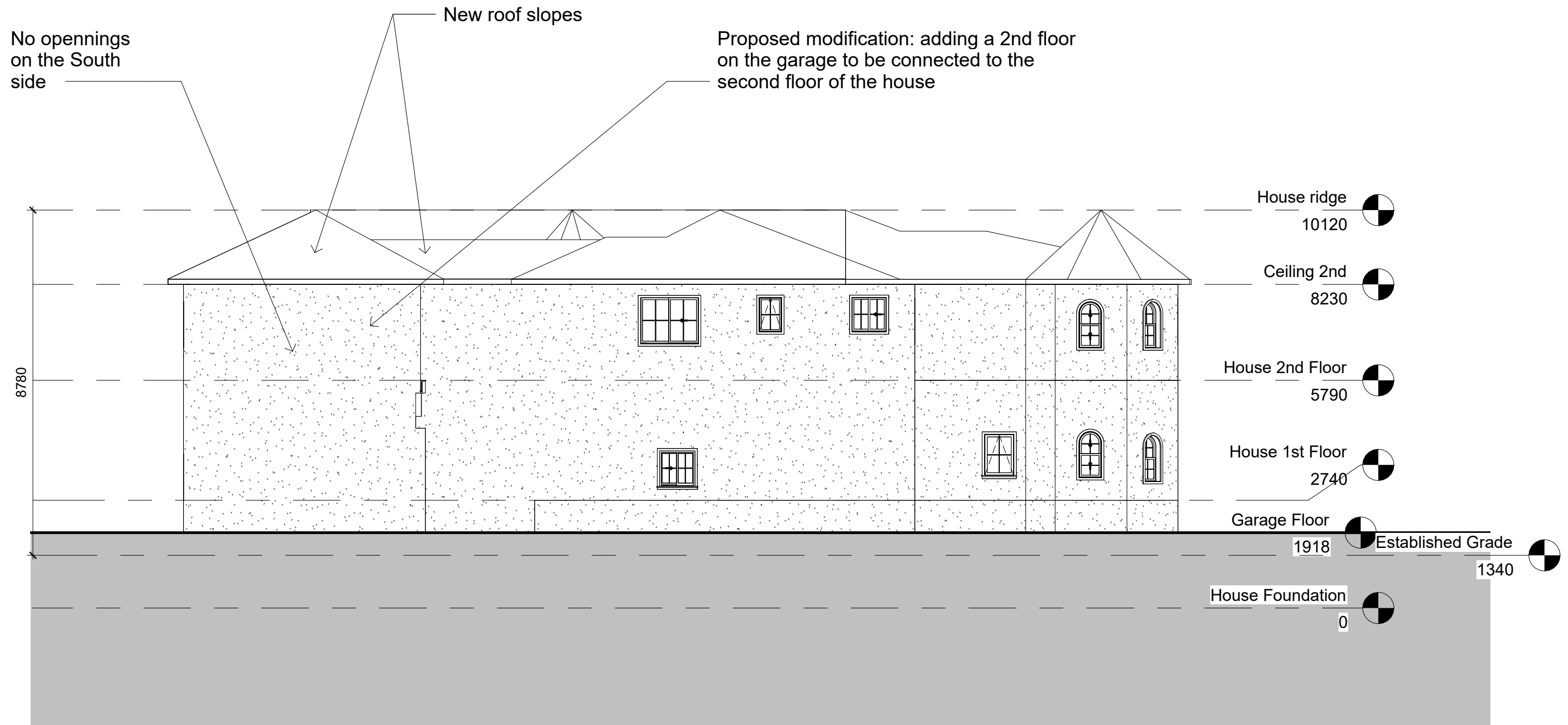
Owner  
Safdar Ali Qurbanzada

Project Name  
Garage Modification

Existing South side Elevation

Project number	VEP# 2025.45
Date	07/17/25
Drawn by	D.V.
Checked by	D.V.

**A2-05**



**1 Proposed South Side Elevation**  
1 : 100

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Seal:  
Dec/09/25  
**D. M. VENTURA**  
100512033  
PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	07/17/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25

Owner  
**Safdar Ali Qurbanzada**

Project Name  
**Garage Modification**

Proposed South side Elevation	
Project number	VEP# 2025.45
Date	12/09/25
Drawn by	D.V.
Checked by	D.V.
<b>A2-06</b>	

New first floor wall (TYP.) <sup>Note 1</sup>

2-15M Cont. Bars

Foundation wall to terminate Min.  
6" above garage floor

10M Dowels @ 406 O.C.

New 8" slab on grade

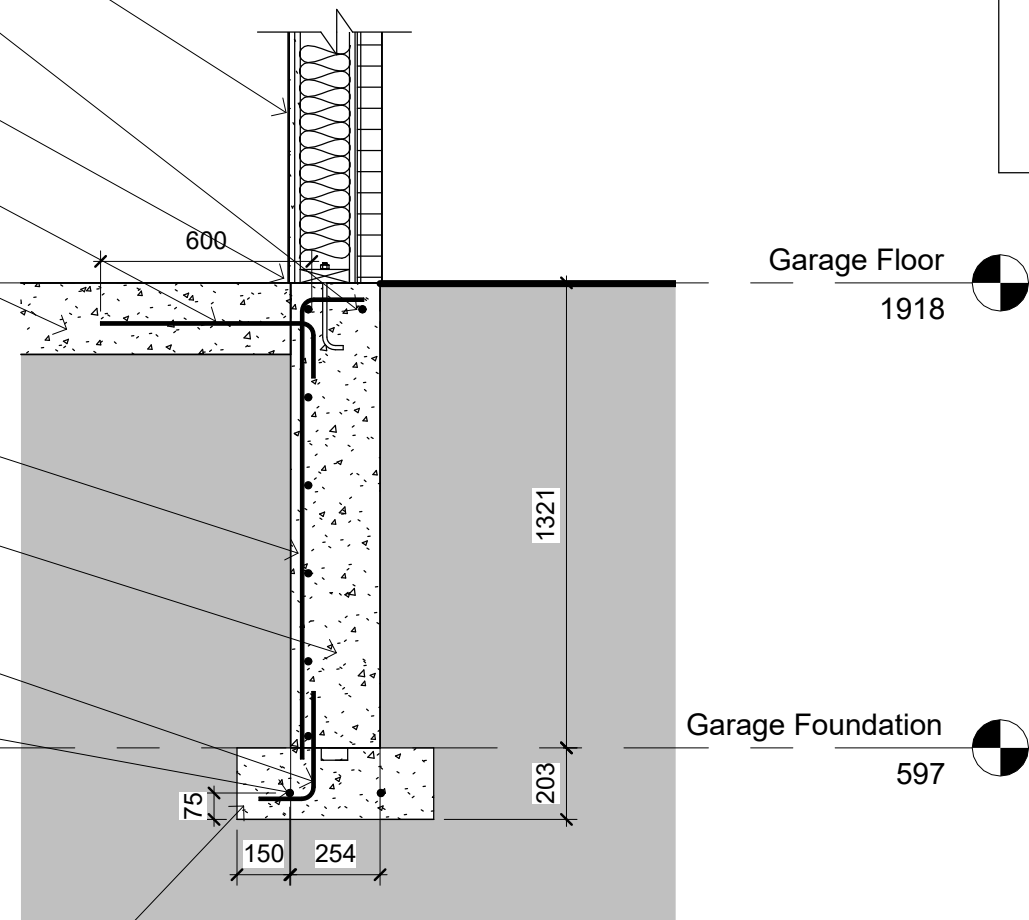
Reinforcing: 10M @ 250 O.C.  
Horizontal & 10M @ 250 O.C.  
Vertical Bars

Reinforced Concrete Wall

10M Dowels @ 250 O.C.

2-15M Cont. Bars

Reinforced Concrete Footing



**CONCRETE SPECIFICATIONS:**

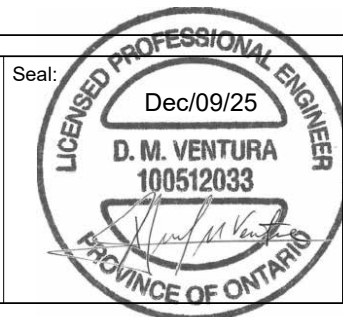
PORTLAND CEMENT: TYPE GU SULPHATE RESISTING  
COMPRESSIVE STRENGTH  $f_c = 25$  MPa MINIMUM;  
ENTRAINED AIR CONTENT: 5 TO 8%;  
AGGREGATE SIZE 20mm MAXIMUM;  
GRANULAR "A" BASE MATERIAL COMPACTED;

**1 Foundation & Wall - Details**  
1 : 20

**Note 1 - 1st Floor Walls System :**  
5/8" type "X" Gypsum board  
6 Mil Polyethylene Vapor Barrier  
3/4" Plywood Sheeting  
2x6" wood studs @ 16" O.C.  
Min. Batt Insulation RSI 3.87 (R-22)  
3/8" Plywood Sheeting or equal  
Water resistant barrier, Tyvek or equal  
Min. Continuous Insulation RSI 0.88 (R-5)  
Traditional Stucco System (3 layers)



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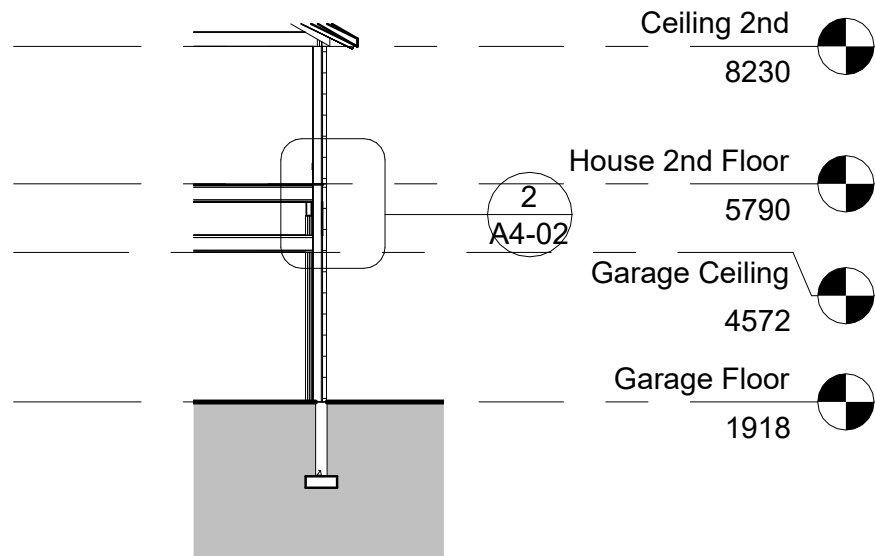


No.	Description	Date
01	Issued for permit	12/09/25

Owner	Safdar Ali Qurbanzada
Project Name	Garage Modification

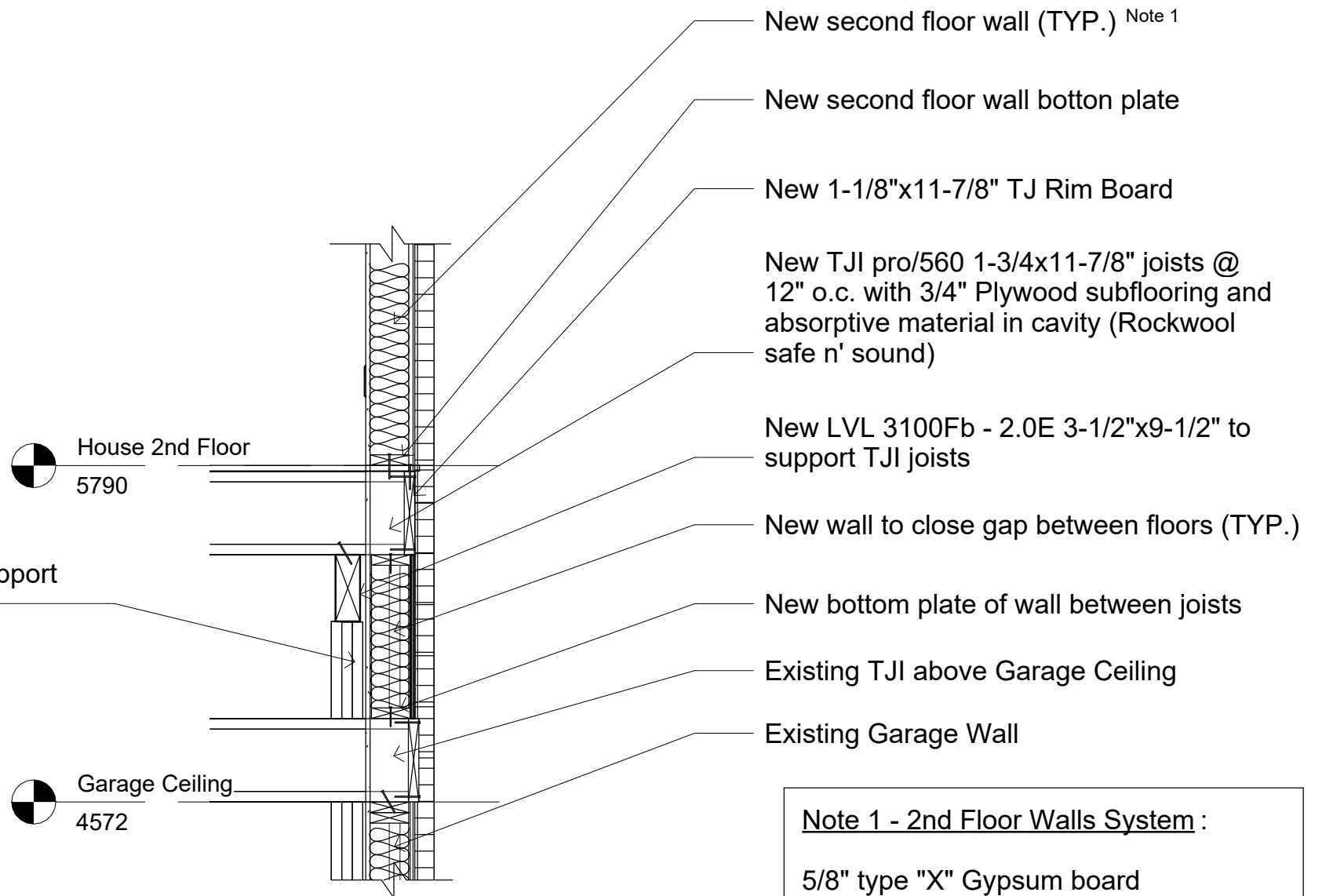
Foundation & Wall Detail	
Project number	VEP# 2025.45
Date	12/09/25
Drawn by	D.V.
Checked by	D.V.

**A4-04**



**1 Wall Connection**  
1 : 125

New (3x) 2x6 built-up column to support new LVL (down to foundation)



**2 Wall Connection - Details**  
1 : 20

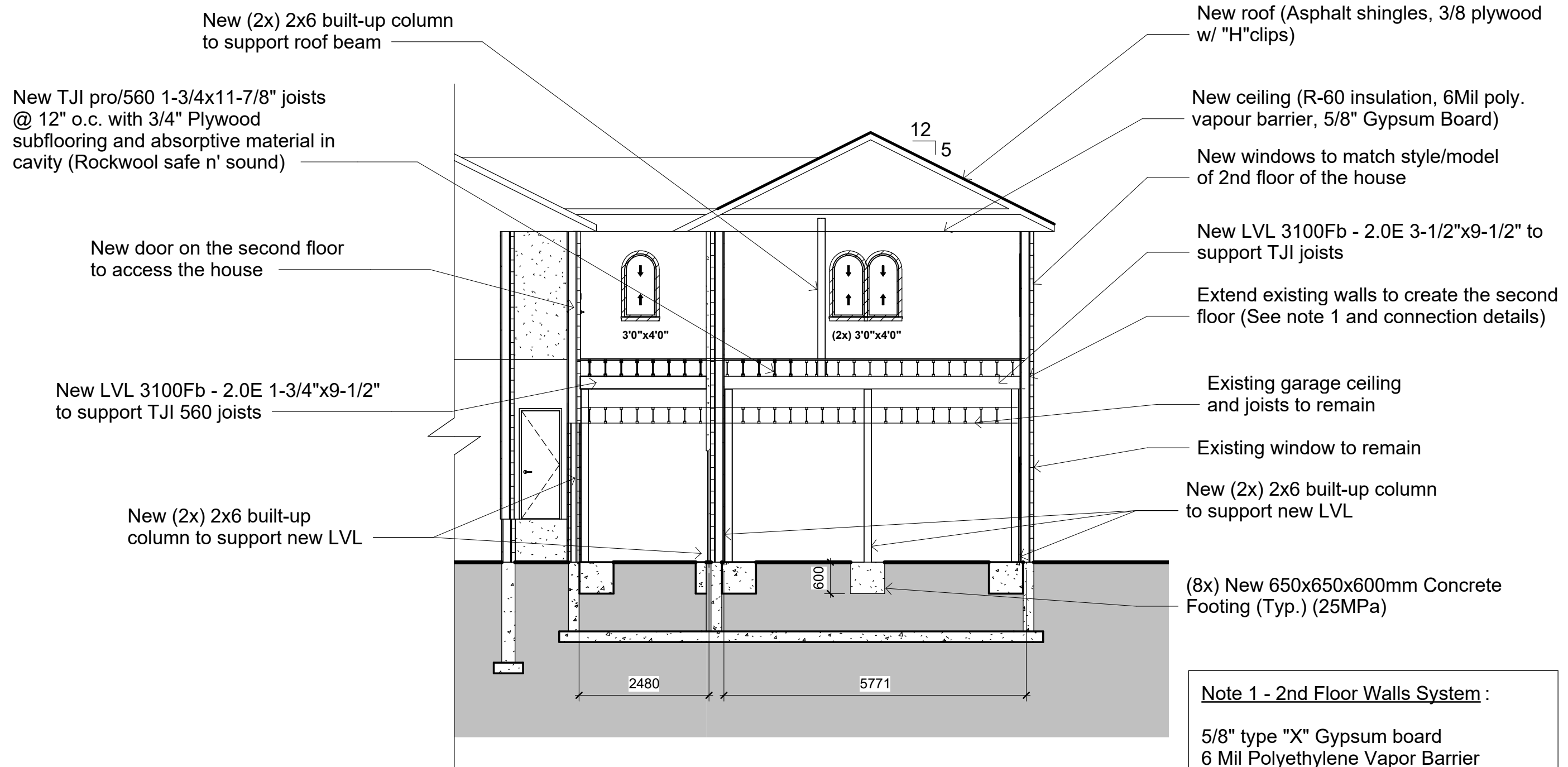
**Note 1 - 2nd Floor Walls System :**  
5/8" type "X" Gypsum board  
6 Mil Polyethylene Vapor Barrier  
3/4" Plywood Sheeting  
2x6" wood studs @ 16" o.c  
Min. Batt Insulation RSI 3.87 (R-22)  
3/8" Plywood Sheeting or equal  
Water resistant barrier, Tyvek or equal  
Min. Continuous Insulation RSI 0.88 (R-5)  
Traditional Stucco System (3 layers)

Seal:  
Dec/09/25  
**D. M. VENTURA**  
100512033  
PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	10/20/25
02	Issued for permit - Revision 1	12/09/25

Owner	Safdar Ali Qurbanzada	Wall Connection Details	
Project Name	Garage Modification	Project number	VEP# 2025.45
		Date	12/09/25
		Drawn by	D.V.
		Checked by	D.V.

**A4-02**



New TJI pro/560 1-3/4x11-7/8" joists @ 12" o.c. with 3/4" Plywood subflooring and absorptive material in cavity (Rockwool safe n' sound)

New door on the second floor to access the house

New LVL 3100Fb - 2.0E 1-3/4"x9-1/2" to support TJI 560 joists

New (2x) 2x6 built-up column to support new LVL

New (2x) 2x6 built-up column to support roof beam

New roof (Asphalt shingles, 3/8 plywood w/ "H"clips)

New ceiling (R-60 insulation, 6Mil poly. vapour barrier, 5/8" Gypsum Board)

New windows to match style/model of 2nd floor of the house

New LVL 3100Fb - 2.0E 3-1/2"x9-1/2" to support TJI joists

Extend existing walls to create the second floor (See note 1 and connection details)

Existing garage ceiling and joists to remain

Existing window to remain

New (2x) 2x6 built-up column to support new LVL

(8x) New 650x650x600mm Concrete Footing (Typ.) (25MPa)

**Note 1 - 2nd Floor Walls System :**  
 5/8" type "X" Gypsum board  
 6 Mil Polyethylene Vapor Barrier  
 3/4" Plywood Sheeting  
 2x6" wood studs @ 16" o.c  
 Min. Batt Insulation RSI 3.87 (R-22)  
 3/8" Plywood Sheeting or equal  
 Water resistant barrier, Tyvek or equal  
 Min. Continuous Insulation RSI 0.88 (R-5)  
 Traditional Stucco System (3 layers)

**1 Garage Section**  
1 : 75

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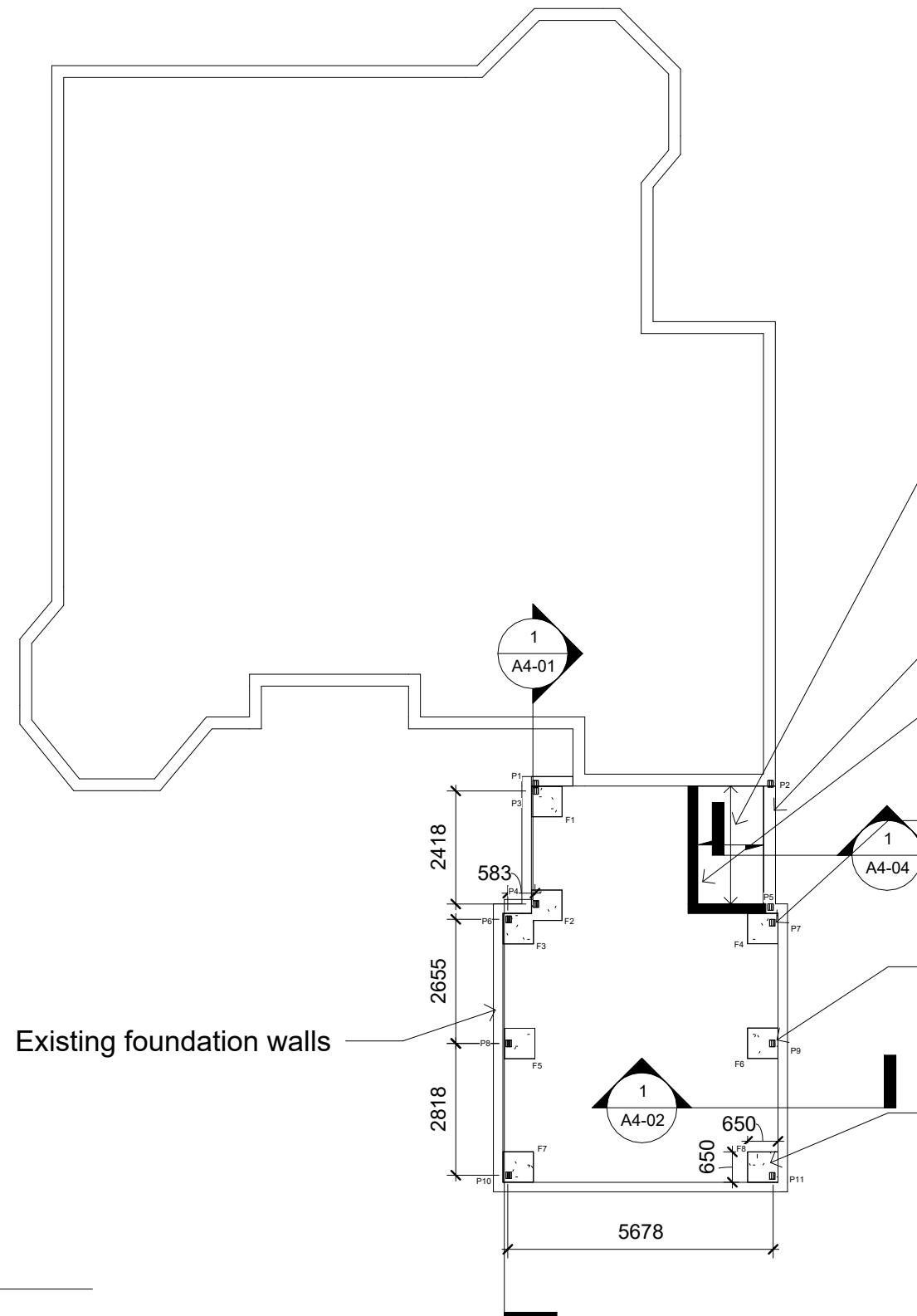
Seal:  
 Dec/09/25  
**D. M. VENTURA**  
 100512033  
 PROVINCE OF ONTARIO

No.	Description	Date
01	Issued for permit	07/17/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25

Owner: Safdar Ali Qurbanzada  
 Project Name: Garage Modification

Garage Section	
Project number	VEP# 2025.45
Date	12/09/25
Drawn by	D.V.
Checked by	D.V.

**A4-01**



**CONCRETE SPECIFICATIONS:**

PORTLAND CEMENT: TYPE GU SULPHATE RESISTING  
 COMPRESSIVE STRENGTH  $f_c = 25$  MPa MINIMUM;  
 ENTRAINED AIR CONTENT: 5 TO 8%;  
 AGGREGATE SIZE 20mm MAXIMUM;  
 GRANULAR "A" BASE MATERIAL COMPACTED;

New 8" concrete slab on grade at the garage extension with welded wired mesh (WWM) MW/MD18.7 (6ga) 152x152mm O.C. (TYP) and 10M rebar dowels @ 16 O.C. to connect to the existing slab. Provide 15M L-shaped dowels @ 16 O.C. to tie slab to foundation wall, hooked into wall and extending 600 mm into slab. Refill area with class A crushed stone (0-19mm) and compacted 95% proctor.

New concrete foundation wall and footing

Existing foundation wall to remain

Built-up columns to be restrained at base using 1/2" bolt into Simpson Strong-Tie hot-dip galvanized post holder anchored 7" min. in the new poured concrete (Typ.)

(11x) New (3x) 2x6" built-up column to support new LVL (Typ.)

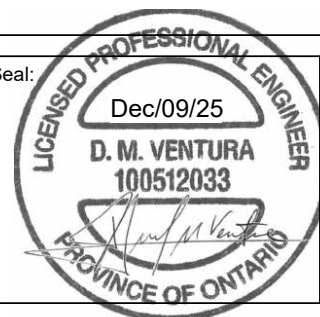
(8x) New 650x650x600mm Concrete Footing (Typ.) (25MPa)

**1 Garage Floor**  
 1 : 125



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Seal:



No.	Description	Date
01	Issued for permit	08/11/25
02	Issued for permit - Revision 1	10/20/25
03	Issued for permit - Revision 2	12/09/25

Owner	Safdar Ali Qurbanzada
Project Name	Garage Modification

Plan View - New Garage Footings		A1-04
Project number	VEP# 2025.45	
Date	12/09/25	
Drawn by	D.V.	
Checked by	D.V.	

**GENERAL NOTES:**

1. ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE DRAWING SHALL BE SUBMITTED TO THE ENGINEER;
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. DO NOT SCALE DRAWINGS;
3. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS;
4. OWNER/CONTRACTOR TO PROVIDE CERTIFICATE OF ELECTRICAL ACCEPTANCE BY ELECTRICAL SAFETY AUTHORITY (ESA);
5. ALL STRUCTURAL CONNECTIONS TO BE REVIEWED BY ENGINEER ONCE CONTRACTOR PROVIDE MEANS AND METHODS FOR CONSTRUCTION (SHOP DRAWINGS FOR APPROVAL);
6. SPECIFICATIONS OF MATERIALS:

2x6" STUDS - STRUCTURAL SPRUCE-PINE-FIR (SPF) No 2 LUMBER;  
 2x8" STUDS - STRUCTURAL SPRUCE-PINE-FIR (SPF) No 2 LUMBER;  
 2x10" STUDS - STRUCTURAL SPRUCE-PINE-FIR (SPF) No 2 LUMBER;  
 JOISTS - TJI PRO/560 1-3/4x11-7/8"  
 3/4" PLYWOOD - EXPOSURE 1, FACE GRAIN PERPENDICULAR TO JOISTS, STUDS OR TRUSSES;  
 3/8" PLYWOOD - EXTERIOR GRADE, FACE GRAIN PERPENDICULAR TO JOISTS, STUDS OR TRUSSES;  
 1 3/4x9 1/2" WEST FRASER LVL 3100F b-2.0E (MOMENT MAX. 11,608 ft.lbs, SHEAR MAX. 5526 lbs);  
 1 1/2x9 1/2" WEST FRASER LVL 3100F b-2.0E (MOMENT MAX. 23,215 ft.lbs, SHEAR MAX. 11,052 lbs);  
 ABSORPTIVE MATERIAL (Rockwool safe n' sound) MIN. R-22 (RSI 3.87);  
 6 MIL POLYETHYLENE VAPOR BARRIER;  
 WATER RESISTENT BARRIER - TYVEK OR EQUIVALENT;  
 5/8" GYPSUM BOARD - TYPE "X";  
 INTERIOR DOOR: (710x1980x35);  
 ASPHALT SHINGLES (ARCHITECTURAL TYPE, 30-YEAR WARRANTY, INSTALLED OVER UNDERLAYMENT ON 3/8" PLYWOOD, PER MANUFACTURER'S SPECIFICATIONS AND OBC REQUIREMENTS. WIND RATING MIN. 177 KM/H ;  
 LED RECESSED LIGHT - ILLUME I-ESP4WH 3000K OR SIMILAR;  
 WALLS FRAMING: 38X139 (2x6") WOOD STUDS @16 O.C., DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE;  
 LEVITON 15A SINGLE-POLE LIGHT SWITCH OR SIMILAR;  
 LEVITON NEMA 5-15 RECEPTACLE - 15A, 125V OR SIMILAR;

CONCRETE:

PORTLAND CEMENT: TYPE GU SULPHATE RESISTING in accordance with CAN/CSA A3000;  
 COMPRESSIVE STRENGTH  $f_c=25$  MPa MINIMUM;  
 ENTRAINED AIR CONTENT: 5 TO 8%;  
 AGREGATE SIZE 20mm MAXIMUM;  
 MINIMUM CONCRETE COVER 40mm;  
 GRANULAR "A" BASE MATERIAL - COMPACTED;

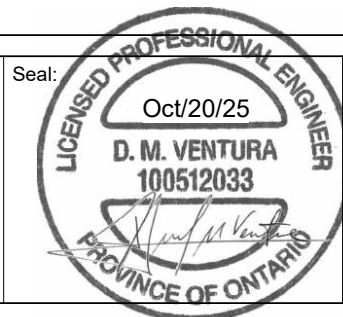
REINFORCING STEEL:

10M, 15M REBARS, GRADE 300R;  
 WELDED WIRED MESH (WWM) MW/MD18.7 (6ga) 152x152mm O.C.;

7. CONTRACTOR TO COMPLY WITH FOLLOWING CODES AND REGULATIONS:  
 ONTARIO BUILDING CODE (OBC) 2024;  
 ALL TOWN OF OAKVILLE BY-LAWS REQUIRED FOR THIS TYPE OF WORK;  
 OCCUPATIONAL HEALTH AND SAFETY ACT, R.S.O 1990, c 0.1;



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No.	Description	Date
01	Issued for permit	07/17/25
02	Issued for permit - Revision 1	10/20/25

Owner	Safdar Ali Qurbanzada	Notes and Specifications
Project Name	Garage Modification	
Project number	VEP# 2025.45	<b>A0-02</b>
Date	10/20/25	
Drawn by	D.V.	
Checked by	D.V.	