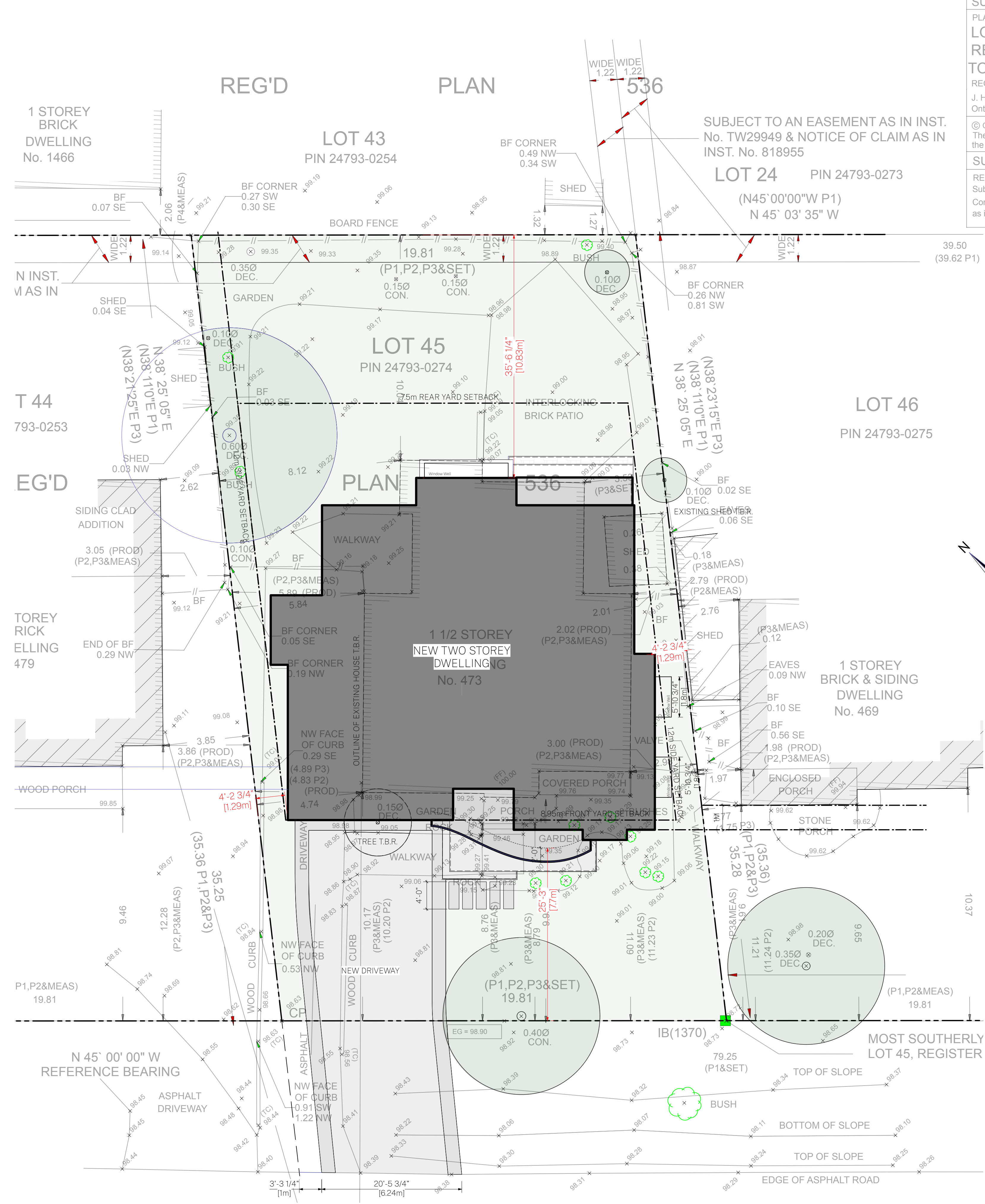


SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF SURVEY AND TOPOGRAPHY OF
 LOT 45
 REGISTERED PLAN 536
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor 2022

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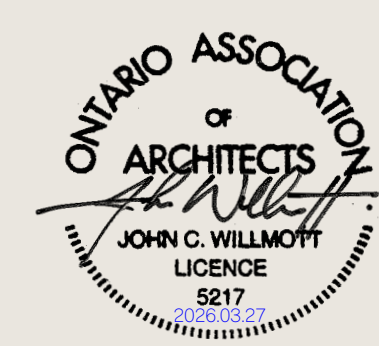
SURVEYOR'S REAL PROPERTY REPORT - PART 2
 REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY
 Subject to a 1.22 m Wide Easement in favour of the Bell Telephone
 Company of Canada as in Instrument No. TW29949 & Notice of Claim
 as in Inst. No. 818955.



SITE STATISTICS - 473 Bellwood Ave				
Zoning			By-Law 2014-014	Reference
			RL3-0	
Lot Area	693.70 m ²	7,466.92 ft ²	558 m²	6.3
Lot Frontage (existing)	19.81 m	64.99 ft	18.0 m	6.3
Lot Coverage				
Proposed Dwelling	225.48 m ²	2427.02 ft ²	32.50%	
Proposed front Canopy	6.58 m ²	70.81 ft ²	0.95%	
Proposed Rear Porch	6.41 m ²	68.98 ft ²	0.92%	
Proposed Total	238.46 m²	2566.81 ft²	34.4%	(35%) 2613.42 sf max
Residential Floor Area Ratio				
Outside Face of wall				
Ground Floor	161.71 m ²	1740.62 ft ²	23.3%	
Second Floor	162.40 m ²	1748.05 ft ²	23.4%	
Total	324.11 m²	3488.67 ft²	46.7%	(41%) 3061 sf max
Building Height				
Existing Dwelling Height	9.00 m	29.53 ft	9.0 m (max)	6.3 / 6.4.6.
Dwelling Depth				
			n/a	6.3
Setbacks (Dwelling)				
Front Yard	7.70 m	25.26 ft	8.95m	6.3 / 6.4.3
Rear Yard	10.83 m	35.53 ft	7.5m	6.3
Interior Side Yard (W)	1.29 m	4.23 ft	1.2 m (min)	6.3
Interior Side Yard (E)	1.29 m	4.23 ft	1.2 m (min)	
Driveway				
Driveway Width	6.24 m	20.47 ft	3.0 m (min) 9m (max)	5.8.2.(a)
Private Garage (Attached)				
				5.8.6.
Garage Area	56.94 m ²	612.87 ft ²	45 m² max	5.8.6.(b)
Garage Projection	0 m	0.00 ft	1.5 m max	5.8.7.(c)
Shaded items require minor variance				

BELLWOOD RESIDENCE

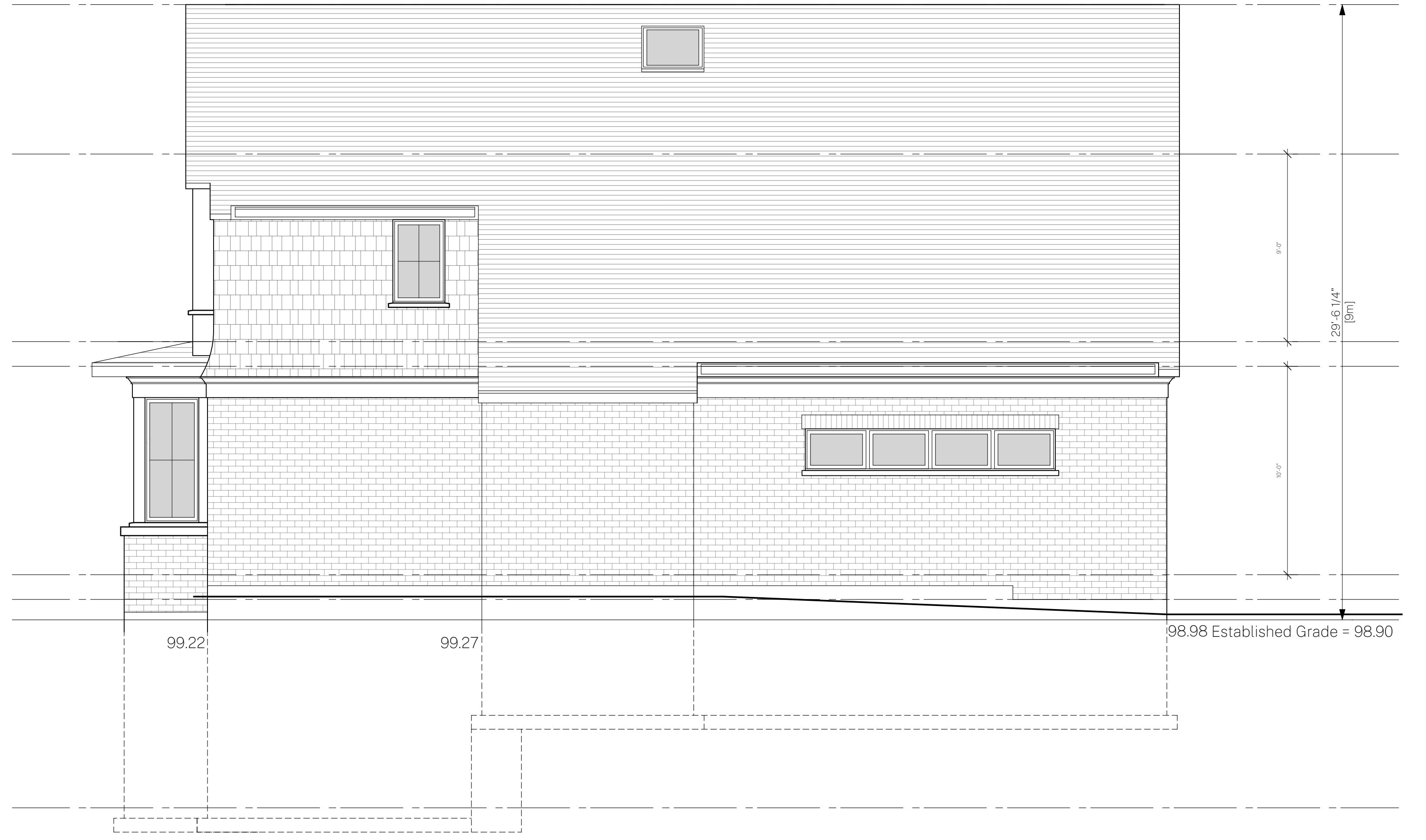
Site Plan & Site Statistics • 1:100 • CAV Application • 473 Bellwood Ave, Oakville, ON • March 27, 2026



WILLMOTT & STRICKLAND
 Architecture & Interiors



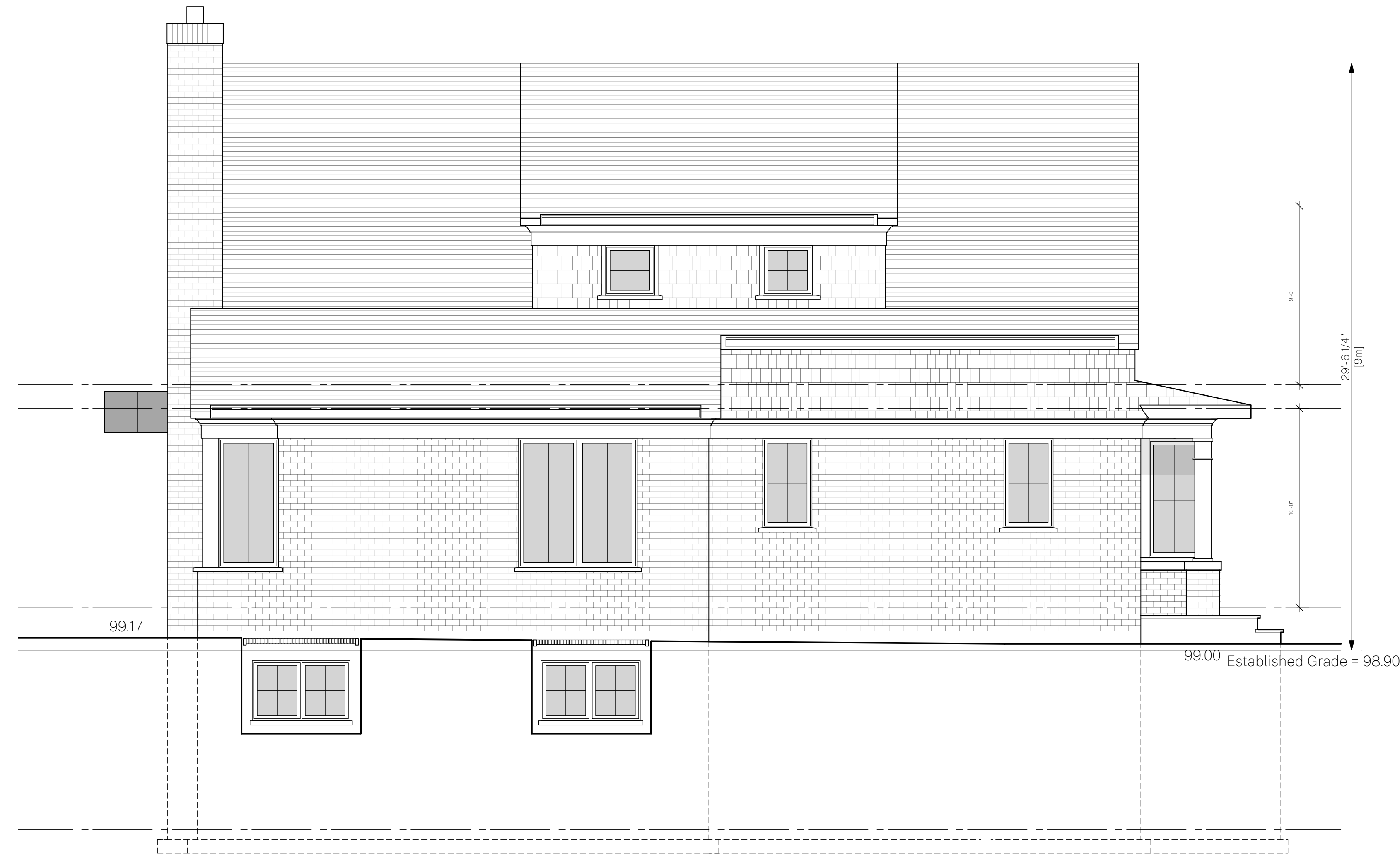
1 REAR (EAST) ELEVATION
1/4" = 1'-0"



2 SIDE (NORTH) ELEVATION
1/4" = 1'-0"



1 FRONT (WEST) ELEVATION
1/4" = 1'-0"



2 SIDE (SOUTH) ELEVATION
1/4" = 1'-0"



BELLWOOD RESIDENCE

Street View • CAV Application • 473 Bellwood Ave, Oakville, ON • March 27, 2026



**WILLMOTT &
STRICKLAND**
Architecture & Interiors

March 27, 2026

Secretary Treasurer
Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON. L6H 0H3
(digitally submitted)

To Whom it May Concern:

RE: Planning Justification for Minor Variance Application at 473 Bellwood Avenue

This letter is submitted in support of a minor variance application for the above noted property. The proposed development involves the demolition of an existing dwelling and the construction of a new two storey dwelling with attached garage requiring the following minor variances as applied for:

1. To permit a **Residential Floor Area (RFA) of 46.8%**, whereas the maximum permitted is 41%.
2. To permit a **Garage Area of 56.94 m²** whereas the maximum permitted is 45m².
3. To permit a **Front Yard Setback of 7.7m** whereas 8.96 m is required.

Our firm proactively arranged a pre-consultation meeting with Town Staff which was held on March 11, 2026, to discuss the proposed development and the extent of the variances requested. Feedback on the design was generally well received. In the subsequent staff report it was suggested that a reduction in the floor area and a review of the composition of the front façade should be considered to ensure it was in keeping with Livable Oakville guidelines. After making modifications in response to the recommendations, the variances applied for represent a **reduction of the RFA by 1%** and a scaling back of the chimney feature on the front façade.

The property is **Zoned RL-3.0 under the 2014-014 Zoning By-Law**. It's located in an established low density residential neighbourhood characterized by medium sized lots and houses with varied architectural character, many of which are new constructions or significant renovations over the past 25 years. Of the 14 houses on Bellwood Avenue, only 2 remain as single storey bungalows with little change from their original development. The current dwelling on the lot, which previously received a second-floor addition, sits between the only two houses of original form on the street. Those houses will likely be redeveloped in the future. The design of the house with permitted variances will be consistent with the pattern of high-quality dwellings in the neighbourhood contributing positively to the streetscape.

RFA

The request for an increase in floor area ratio is required for the Owners who have a young family in need of 4 bedrooms and reasonable, if not conventional living spaces. The rooms in the house are modest in size. We have carefully designed the house so that the increase in floor area will not create any adverse impacts on the neighbours by respecting the criteria set out in the Livable Oakville guidelines “to maintain and protect the existing neighbourhood character”. The scale, height, massing, architectural style, and materials are compatible and found within the neighbourhood. Specifically, we have been careful to minimize the massing of the house with gable roofs sloping from the ridges down to the top of the main floor walls at the edges of the house. The gable sections flank a shed roof set back in the centre featuring a dormer window to break up the scale and massing of the façade. The maximum height requirement is respected. Side yard setbacks exceed the minimum except at the “pinch points” due to the “parallelogram” shape of the lot, but those points meet the minimum requirement. The exterior materials – wood shingle siding, wood trims, brick, asphalt roof shingles and traditional windows - are complimented with modern features such as the curved overhang, all contributing to an overall design that is complimentary with other houses on Bellwood Avenue.



Fig. 1 – Proposed House rendering

Garage Area

The Owner is a self-proclaimed car buff and required some extra space for tools and workspace in the garage. With an active family, space is also required for bicycles, lawn equipment, and garbage storage. The increased area is located behind the car parking and makes no adverse impact on the front façade which presents as a conventional 2 bay garage. Town staff commonly support this type of increase and did not oppose it during our pre-consultation meeting.

Front Yard Setback

The request to reduce the front yard setback is required to avoid construction in the tree protection zone for the private tree on the northerly lot line in the rear yard. In accordance with zoning, the front yard setback is taken to the line of the porch setback 0.6 m from the edge of the overhang. As the overhang is curved this setback only occurs at one point. It is worth noting that the main wall of the house is located in line with the permitted setback of the neighbour to the south and projects only 0.43m (1'-5") beyond the as of right setback and the garage portion is set at the required setback. The proposed porch overhang has been designed at the Owner's request to allow them sit on the front patio under cover and monitor their children playing in the front yard.

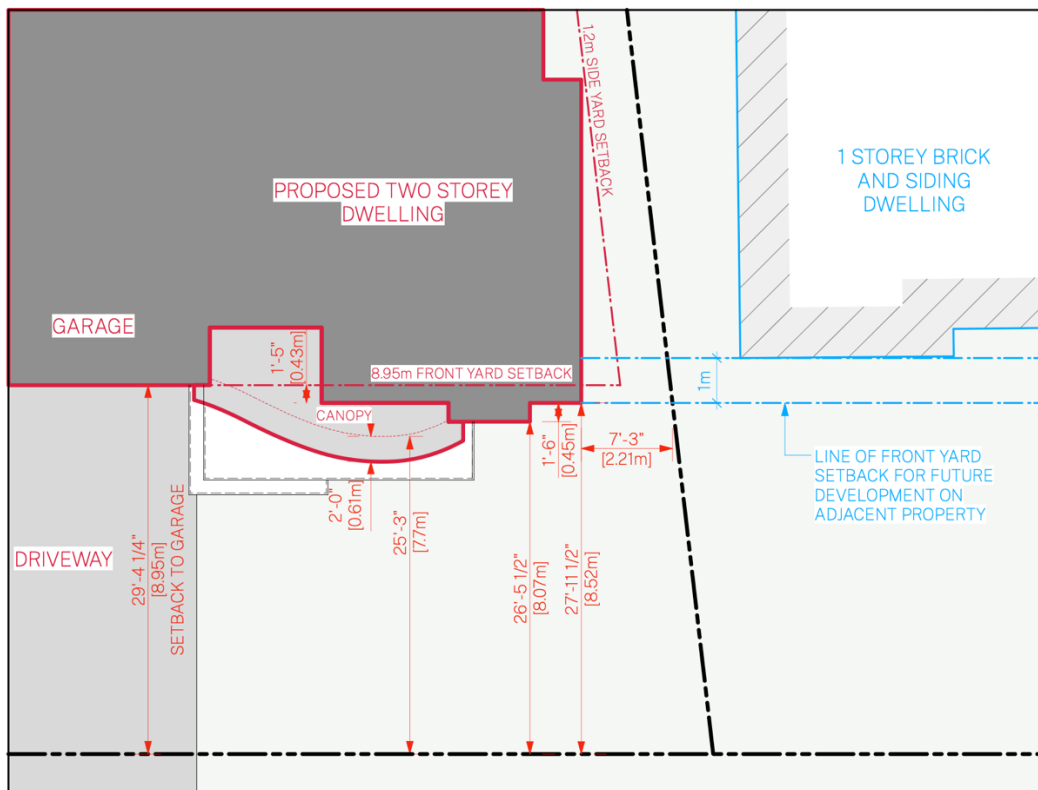


Fig. 2–Detail plan of front yard setback.

Chimney

Staff expressed some concern about the chimney feature on the front façade suggesting it may “introduce undesirable massing on to the street”. The design was conceived to pay homage to a very common design element in the original development fabric where fireplaces were located at the front flanked by windows, commonly corner windows. The chimneys in the 50’s and 60’s mid-century modern designs common in these subdivisions were brick and extended well above the eave line. Most of the houses with these fireplaces were built on bungalows or split levels, but there are examples of new constructions in the extended neighbourhood with similar designs (refer to the figures below). As new houses have grown to two levels, so to goes the chimneys or other vertical mass elements.

In our view the chimney is not an undesirable massing, but a feature in the composition of the elevation that can be celebrated in the two-storey fabric of the newer streetscape. In response to planning staff’s comments, it should be noted that the chimney that was presented in the pre-consultation design has been reduced by **0.6 m (2 feet)** in height and the depth of the chimney reduced **0.15 m (6”)** to be tighter to the face of the wall. We also note that there is a mature coniferous tree at the front of the property that obscures the direct view of the chimney from the street.



Fig. 3 & 4 Chimneys located on the front of original split-level houses. House in Fig. 2 is located on the NW corner of Bellwood Avenue and Duncan. The house in fig. 3 is located on Duncan Avenue directly facing Bellwood Ave.



Fig. 5 & 6 Original chimneys on renovated bungalows, both on Duncan Avenue east of Maple Grove Drive.



Fig. 7 & 8 – Prominent chimneys on flanking yards facing streets, both significantly closer to the road than that proposed for 473 Bellwood. The house in Fig. 6 is located on the NE corner of Bellwood Ave. and Duncan Road, The chimney extends past gable offset on wall. The house in Fig. 7 is located on the SE corner of Bellwood Ave. and Briarwood Avenue, 2 doors south of 473 Bellwood, with chimney facing Briarwood.



Fig. 9 & 10. – Prominent vertical mass/chimney features shown on recently built 2 storey houses. The house in Fig. 9 is located on Briarwood Avenue and received a minor variance for an RFA of 49.3%. The house in Fig. 10 is a project this architect designed on Malbrook Road street just east of Maple Grove Drive. The feature chimney is flanked by windows, full height in this case, but similar to this proposal.



Fig. 11 –A street facing chimney on nearby Albion Avenue, offset in the gable creating an interesting composition on a brick façade.

Based on the examples above we see that vertical elements with substantial mass are present in the area and do not leave an imposing impression, nor do they make a negative impact to the streetscape.

Summary

The proposal to construct a new house at 473 Bellwood Avenue with 3 requested variances represents a context-sensitive form of development that aligns with the Town of Oakville’s Official Plan objectives and meets the intent of the Zoning By-law as justified in this report. The proposal is consistent with the Livable Oakville policies and design guidelines for stable residential communities. We have demonstrated that the house as designed respects past vernacular, compliments the existing street with compatible design elements, scale, and materiality. This report submits that the proposed new house is desirable for appropriate development of the land and that the variances requested are minor in nature. As such, the proposal meets the four tests used to evaluate minor variances under Section 45 (1) of The Planning Act Ontario.

We trust Town of Oakville planning staff and the Committee of Adjustment will support and approve the variances as applied for.

Report by:

WILLMOTT & STRICKLAND INC.

John Willmott, B.ES, B.Arch, OAA, MRAIC
Principal Architect