

Provincial Planning Statement, 2024

**Chapter 1: Introduction**

**Vision**

Ontario is a vast, fast-growing province that is home to many urban, rural and northern communities distinguished by different populations, economic activity, pace of growth, and physical and natural conditions. More than anything, a prosperous Ontario will see the building of more homes for all Ontarians. This is why the province has set a goal of getting at least 1.5 million homes built by 2031.

Ontario will increase the supply and mix of *housing options*, addressing the full range of housing affordability needs. Every community will build homes that respond to changing market needs and local demand. Providing a sufficient supply with the necessary mix of *housing options* will support a diverse and growing population and workforce, now and for many years to come.

A prosperous and successful Ontario will also support a strong and competitive economy that is investment-ready and recognized for its influence, innovation and diversity. Ontario's economy will continue to mature into a centre of industry and commerce of global significance. Central to this success will be the people who live and work in this province.

Ontario's land use planning framework, and the decisions that are made, shape how our communities grow and prosper. Prioritizing compact and *transit-supportive* design, where locally appropriate, and optimizing investments in *infrastructure* and *public service facilities* will support convenient access to housing, quality employment, services and recreation for all Ontarians. Cultural heritage and archaeology in Ontario will provide people with a sense of place. And while many Ontarians still face a complex range of challenges, municipalities will work with the Province to support the long term prosperity and well-being of residents through the design of communities responsive to the needs of all Ontarians.

Ontario's vibrant agricultural sector and sensitive areas will continue to form part of the province's economic prosperity and overall identity. Growth and development will be prioritized within urban and rural settlements that will, in turn, support and protect the long-term viability of *rural areas*, local food production, and the *agri-food network*. In addition, resources, including natural areas, water, aggregates and agricultural lands will be protected. Potential risks to public health or safety or of property damage from natural hazards and human-made hazards, including the risks associated with the impacts of climate change will be mitigated.

Ontario will continue to recognize the unique role Indigenous communities have in land use planning and development, and the contribution of Indigenous communities' perspectives and traditional knowledge to land use planning decisions. Meaningful early engagement and constructive, cooperative relationship-building between planning authorities and Indigenous communities will facilitate knowledge-sharing and inform decision-making in land use planning.

Above all, Ontario will continue to be a great place to live, work and visit where all Ontarians enjoy a high standard of living and an exceptional quality of life.

## Chapter 2: Building Homes, Sustaining Strong and Competitive Communities

### 2.1 Planning for People and Homes

1. As informed by provincial guidance, planning authorities shall base population and employment growth forecasts on Ontario Population Projections published by the Ministry of Finance and may modify, as appropriate.
2. Notwithstanding policy 2.1.1, municipalities may continue to forecast growth using population and employment forecasts previously issued by the Province for the purposes of land use planning.
3. At the time of creating a new official plan and each official plan update, sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of at least 20 years, but not more than 30 years, informed by provincial guidance. Planning for *infrastructure, public service facilities, strategic growth areas* and *employment areas* may extend beyond this time horizon.

Where the Minister of Municipal Affairs and Housing has made a zoning order, the resulting development potential shall be in addition to projected needs over the planning horizon established in the official plan. At the time of the municipality's next official plan update, this additional growth shall be incorporated into the official plan and related infrastructure plans.

4. To provide for an appropriate range and mix of *housing options* and densities required to meet projected requirements of current and future residents of the *regional market area*, planning authorities shall:
  - a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through lands which are *designated and available* for residential development; and
  - b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned, including units in draft approved or registered plans.
5. Where planning is conducted by an upper-tier municipality, the land and unit supply maintained by the lower-tier municipality identified in policy 2.1.4 shall be based on and reflect the allocation of population and units by the upper-tier municipality.
6. Planning authorities should support the achievement of *complete communities* by:
  - a) accommodating an appropriate range and mix of land uses, *housing options*, transportation options with *multimodal access*, employment, *public service facilities* and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;
  - b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and
  - c) improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.

## 2.2 Housing

1. Planning authorities shall provide for an appropriate range and mix of *housing options* and densities to meet projected needs of current and future residents of the *regional market area* by:
  - a) establishing and implementing minimum targets for the provision of housing that is *affordable to low and moderate income households*, and coordinating land use planning and planning for housing with Service Managers to address the full range of *housing options* including *affordable* housing needs;
  - b) permitting and facilitating:
    1. all *housing options* required to meet the social, health, economic and well-being requirements of current and future residents, including *additional needs housing* and needs arising from demographic changes and employment opportunities; and
    2. all types of residential *intensification*, including the *development* and *redevelopment* of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new *housing options* within previously developed areas, and *redevelopment*, which results in a net increase in residential units in accordance with policy 2.3.1.3;
  - c) promoting densities for new housing which efficiently use land, resources, *infrastructure* and *public service facilities*, and support the use of *active transportation*; and
  - d) requiring *transit-supportive* development and prioritizing *intensification*, including potential air rights development, in proximity to transit, including corridors and stations.

## 2.3 Settlement Areas and Settlement Area Boundary Expansions

### 2.3.1 General Policies for Settlement Areas

1. *Settlement areas* shall be the focus of growth and development. Within *settlement areas*, growth should be focused in, where applicable, *strategic growth areas*, including *major transit station areas*.
2. Land use patterns within *settlement areas* should be based on densities and a mix of land uses which:
  - a) efficiently use land and resources;
  - b) optimize existing and planned *infrastructure* and *public service facilities*;
  - c) support *active transportation*;
  - d) are *transit-supportive*, as appropriate; and
  - e) are *freight-supportive*.
3. Planning authorities shall support general *intensification* and *redevelopment* to support the achievement of *complete communities*, including by planning for a range and mix of *housing options* and prioritizing planning and investment in the necessary *infrastructure* and *public service facilities*.
4. Planning authorities shall establish and implement minimum targets for *intensification* and *redevelopment* within built-up areas, based on local conditions.
5. Planning authorities are encouraged to establish density targets for *designated growth areas*, based on local conditions. *Large and fast-growing municipalities* are encouraged to plan for a target of 50 residents and jobs per gross hectare in *designated growth areas*.

6. Planning authorities should establish and implement phasing policies, where appropriate, to ensure that development within *designated growth areas* is orderly and aligns with the timely provision of the *infrastructure* and *public service facilities*.

## 2.4 Strategic Growth Areas

### 2.4.1 General Policies for Strategic Growth Areas

1. Planning authorities are encouraged to identify and focus growth and development in *strategic growth areas*.
2. To support the achievement of *complete communities*, a range and mix of *housing options*, *intensification* and more mixed-use development, *strategic growth areas* should be planned:
  - a) to accommodate significant population and employment growth;
  - b) as focal areas for education, commercial, recreational, and cultural uses;
  - c) to accommodate and support the transit network and provide connection points for inter- and intra-regional transit; and
  - d) to support *affordable*, accessible, and equitable housing.
3. Planning authorities should:
  - a) prioritize planning and investment for *infrastructure* and *public service facilities* in *strategic growth areas*;
  - b) identify the appropriate type and scale of development in *strategic growth areas* and the transition of built form to adjacent areas;
  - c) permit *development* and *intensification* in *strategic growth areas* to support the achievement of *complete communities* and a *compact built form*;
  - d) consider a student housing strategy when planning for *strategic growth areas*; and
  - e) support *redevelopment* of commercially-designated retail lands (e.g., underutilized shopping malls and plazas), to support mixed-use residential.

## 3.6 Sewage, Water and Stormwater

1. Planning for *sewage and water services* shall:
  - a) accommodate forecasted growth in a timely manner that promotes the efficient use and optimization of existing *municipal sewage services* and *municipal water services* and existing *private communal sewage services* and *private communal water services*;
  - b) ensure that these services are provided in a manner that:
    1. can be sustained by the water resources upon which such services rely;
    2. is feasible and financially viable over their life cycle;
    3. protects human health and safety, and the natural environment, including the *quality and quantity of water*; and
    4. aligns with comprehensive municipal planning for these services, where applicable.
  - c) promote water and energy conservation and efficiency;
  - d) integrate servicing and land use considerations at all stages of the planning process;
  - e) consider opportunities to allocate, and re-allocate if necessary, the unused system capacity of *municipal water services* and *municipal sewage services* to support efficient use of these services to meet current and projected needs for increased housing supply; and
  - f) be in accordance with the servicing options outlined through policies 3.6.2, 3.6.3, 3.6.4 and 3.6.5.

2. *Municipal sewage services* and *municipal water services* are the preferred form of servicing for *settlement areas* to support protection of the environment and minimize potential risks to human health and safety. For clarity, *municipal sewage services* and *municipal water services* include both centralized servicing systems and decentralized servicing systems.
3. Where *municipal sewage services* and *municipal water services* are not available, planned or feasible, *private communal sewage services* and *private communal water services* are the preferred form of servicing for multi-unit/lot *development* to support protection of the environment and minimize potential risks to human health and safety.
4. Where *municipal sewage services* and *municipal water services* or *private communal sewage services* and *private communal water services* are not available, planned or feasible, *individual on-site sewage services* and *individual on-site water services* may be used provided that site conditions are suitable for the long-term provision of such services with no *negative impacts*.

At the time of the official plan review or update, planning authorities should assess the long-term impacts of *individual on-site sewage services* and *individual on-site water services* on environmental health and the financial viability or feasibility of other forms of servicing set out in policies 3.6.2 and 3.6.3.

5. *Partial services* shall only be permitted in the following circumstances:
  - a) where they are necessary to address failed *individual on-site sewage services* and *individual on-site water services* in existing development;
  - b) within *settlement areas*, to allow for infilling and minor rounding out of existing development on *partial services* provided that site conditions are suitable for the long-term provision of such services with no *negative impacts*; or
  - c) within rural *settlement areas* where new development will be serviced by *individual on-site water services* in combination with *municipal sewage services* or *private communal sewage services*.
6. In rural areas, where *partial services* have been provided to address failed services in accordance with policy 3.6.5.a), infilling on existing lots of record may be permitted where this would represent a logical and financially viable connection to the existing *partial service* and provided that site conditions are suitable for the long-term provision of such services with no *negative impacts*.
7. Planning authorities may allow lot creation where there is confirmation of sufficient *reserve sewage system capacity* and *reserve water system capacity*.
8. Planning for stormwater management shall:
  - a) be integrated with planning for *sewage and water services* and ensure that systems are optimized, retrofitted as appropriate, feasible and financially viable over their full life cycle;
  - b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;
  - c) minimize erosion and changes in water balance including through the use of *green infrastructure*;
  - d) mitigate risks to human health, safety, property and the environment;
  - e) maximize the extent and function of vegetative and pervious surfaces;
  - f) promote best practices, including stormwater attenuation and re-use, water conservation and efficiency, and *low impact development*; and
  - g) align with any comprehensive municipal plans for stormwater management that consider cumulative impacts of stormwater from development on a *watershed* scale.

### 3.8 Energy Supply

1. Planning authorities should provide opportunities for the development of energy supply including electricity generation facilities and transmission and distribution systems, *energy storage systems*, district energy, *renewable energy systems*, and *alternative energy systems*, to accommodate current and projected needs.

### 3.9 Public Spaces, Recreation, Parks, Trails and Open Space

1. Healthy, active, and inclusive communities should be promoted by:
  - a) planning public streets, spaces and facilities to be safe, meet the needs of persons of all ages and abilities, including pedestrians, foster social interaction and facilitate *active transportation* and community connectivity;
  - b) planning and providing for the needs of persons of all ages and abilities in the distribution of a full range of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;
  - c) providing opportunities for public access to shorelines; and
  - d) recognizing provincial parks, conservation reserves, and other protected areas, and minimizing negative impacts on these areas.

## Chapter 4: Wise Use and Management of Resources

### 4.1 Natural Heritage

1. Natural features and areas shall be protected for the long term.
2. The diversity and connectivity of natural features in an area, and the long-term *ecological function* and biodiversity of *natural heritage systems*, should be maintained, restored or, where possible, improved, recognizing linkages between and among *natural heritage features and areas*, *surface water features* and *ground water features*.
3. *Natural heritage systems* shall be identified in Ecoregions 6E & 7E<sup>1</sup>, recognizing that *natural heritage systems* will vary in size and form in *settlement areas*, *rural areas*, and *prime agricultural areas*.
4. *Development* and *site alteration* shall not be permitted in:
  - a) *significant wetlands* in Ecoregions 5E, 6E and 7E<sup>1</sup>; and
  - b) *significant coastal wetlands*.
5. *Development* and *site alteration* shall not be permitted in:
  - a) *significant wetlands* in the Canadian Shield north of Ecoregions 5E, 6E and 7E<sup>1</sup>;
  - b) *significant woodlands* in Ecoregions 6E and 7E (excluding islands in Lake Huron and the St. Marys River)<sup>1</sup>;
  - c) *significant valleylands* in Ecoregions 6E and 7E (excluding islands in Lake Huron and the St. Marys River)<sup>1</sup>;
  - d) *significant wildlife habitat*;
  - e) *significant areas of natural and scientific interest*; and
  - f) *coastal wetlands* in Ecoregions 5E, 6E and 7E<sup>1</sup> that are not subject to policy 4.1.4.b),

unless it has been demonstrated that there will be no *negative impacts* on the natural features or their *ecological functions*.

6. *Development and site alteration* shall not be permitted in *fish habitat* except in accordance with *provincial and federal requirements*.
7. *Development and site alteration* shall not be permitted in *habitat of endangered species and threatened species*, except in accordance with *provincial and federal requirements*.
8. *Development and site alteration* shall not be permitted on *adjacent lands* to the *natural heritage features and areas* identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the *ecological function* of the *adjacent lands* has been evaluated and it has been demonstrated that there will be no *negative impacts* on the natural features or on their *ecological functions*.
9. Nothing in policy 4.1 is intended to limit the ability of *agricultural uses* to continue.

## 4.2 Water

1. Planning authorities shall protect, improve or restore the *quality and quantity of water* by:
  - a) using the *watershed* as the ecologically meaningful scale for integrated and long-term planning, which can be a foundation for considering cumulative impacts of development;
  - b) minimizing potential *negative impacts*, including cross-jurisdictional and cross-*watershed* impacts;
  - c) identifying *water resource systems*;
  - d) maintaining linkages and functions of *water resource systems*;
  - e) implementing necessary restrictions on *development and site alteration* to:
    1. protect all municipal drinking water supplies and *designated vulnerable areas*; and
    2. protect, improve or restore *vulnerable* surface and ground water, and their *hydrologic functions*;
  - f) planning for efficient and sustainable use of water resources, through practices for water conservation and sustaining water quality; and
  - g) ensuring consideration of environmental lake capacity, where applicable.
2. *Development and site alteration* shall be restricted in or near *sensitive surface water features* and *sensitive ground water features* such that these features and their related *hydrologic functions* will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.
3. Municipalities are encouraged to undertake, and *large and fast-growing municipalities* shall undertake *watershed planning* to inform planning for *sewage and water services* and stormwater management, including *low impact development*, and the protection, improvement or restoration of the *quality and quantity of water*.
4. Despite policy 4.2.3, where planning is conducted by an upper-tier municipality that includes one or more lower-tier *large and fast-growing municipalities*, the upper-tier municipality shall undertake *watershed planning* in partnership with lower-tier municipalities, including lower-tier *large and fast-growing municipalities*.
5. All municipalities undertaking *watershed planning* are encouraged to collaborate with applicable conservation authorities.

## 4.6 Cultural Heritage and Archaeology

1. *Protected heritage property*, which may contain *built heritage resources* or *cultural heritage landscapes*, shall be *conserved*.
2. Planning authorities shall not permit *development* and *site alteration* on lands containing *archaeological resources* or *areas of archaeological potential* unless the *significant archaeological resources* have been *conserved*.
3. Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* unless the *heritage attributes* of the *protected heritage property* will be *conserved*.
4. Planning authorities are encouraged to develop and implement:
  - a) archaeological management plans for conserving *archaeological resources*; and
  - b) proactive strategies for conserving *significant built heritage resources* and *cultural heritage landscapes*.
5. Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing *archaeological resources*, *built heritage resources* and *cultural heritage landscapes*.

## Chapter 5: Protecting Public Health and Safety

### 5.1 General Policies for Natural and Human-Made Hazards

1. Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health or safety or of property damage, and not create new or aggravate existing hazards.

### 5.2 Natural Hazards

1. Planning authorities shall, in collaboration with conservation authorities where they exist, identify *hazardous lands* and *hazardous sites* and manage development in these areas, in accordance with provincial guidance.
2. Development shall generally be directed to areas outside of:
  - a) *hazardous lands* adjacent to the shorelines of the *Great Lakes - St. Lawrence River System* and *large inland lakes* which are impacted by *flooding hazards*, *erosion hazards* and/or *dynamic beach hazards*;
  - b) *hazardous lands* adjacent to *river, stream and small inland lake systems* which are impacted by *flooding hazards* and/or *erosion hazards*; and
  - c) *hazardous sites*.
3. *Development* and *site alteration* shall not be permitted within:
  - a) the *dynamic beach hazard*;
  - b) *defined portions of the flooding hazard along connecting channels* (the St. Marys, St. Clair, Detroit, Niagara and St. Lawrence Rivers);
  - c) areas that would be rendered inaccessible to people and vehicles during times of *flooding hazards*, *erosion hazards* and/or *dynamic beach hazards*, unless it has been demonstrated that the site has safe access appropriate for the nature of the *development* and the natural hazard; and



- d) a *floodway* regardless of whether the area of inundation contains high points of land not subject to flooding.
4. Planning authorities shall prepare for the *impacts of a changing climate* that may increase the risk associated with natural hazards.
  5. Despite policy 5.2.3, *development* and *site alteration* may be permitted in certain areas associated with the *flooding hazard along river, stream and small inland lake systems*:
    - a) in those exceptional situations where a *Special Policy Area* has been approved. The designation of a *Special Policy Area*, and any change or modification to the official plan policies, land use designations or boundaries applying to *Special Policy Area* lands, must be approved by the Ministers of Municipal Affairs and Housing and Natural Resources and Forestry prior to the approval authority approving such changes or modifications; or
    - b) where the *development* is limited to uses which by their nature must locate within the *floodway*, including flood and/or erosion control works or minor additions or passive non-structural uses which do not affect flood flows.
  6. *Development* shall not be permitted to locate in *hazardous lands* and *hazardous sites* where the use is:
    - a) an *institutional use* including hospitals, long-term care homes, retirement homes, pre-schools, school nurseries, day cares and schools;
    - b) an *essential emergency service* such as that provided by fire, police, and ambulance stations and electrical substations; or
    - c) uses associated with the disposal, manufacture, treatment or storage of *hazardous substances*.
  7. Where the *two zone concept* for *flood plains* is applied, *development* and *site alteration* may be permitted in the *flood fringe*, subject to appropriate floodproofing to the *flooding hazard* elevation or another *flooding hazard* standard approved by the Minister of Natural Resources and Forestry.
  8. Further to policy 5.2.7, and except as prohibited in policies 5.2.3 and 5.2.6, *development* and *site alteration* may be permitted in those portions of *hazardous lands* and *hazardous sites* where the effects and risk to public safety are minor, could be mitigated in accordance with provincial standards, and where all of the following are demonstrated and achieved:
    - a) *development and site alteration* is carried out in accordance with *floodproofing standards, protection works standards, and access standards*;
    - b) vehicles and people have a way of safely entering and exiting the area during times of flooding, erosion and other emergencies;
    - c) new hazards are not created and existing hazards are not aggravated; and
    - d) no adverse environmental impacts will result.
  9. *Development* shall generally be directed to areas outside of lands that are unsafe for development due to the presence of *hazardous forest types for wildland fire*.

*Development* may however be permitted in lands with *hazardous forest types for wildland fire* where the risk is mitigated in accordance with *wildland fire assessment and mitigation standards*.

## 6.2 Coordination

1. A coordinated, integrated and comprehensive approach should be used when dealing with planning matters within municipalities, across lower, single and/or upper-tier municipal boundaries, and with other orders of government, agencies, boards, and Service Managers including:
  - a) managing and/or promoting growth and development that is integrated with planning for *infrastructure* and *public service facilities*, including schools and associated child care facilities;
  - b) economic development strategies;
  - c) managing natural heritage, water, agricultural, mineral, and cultural heritage and archaeological resources;
  - d) *infrastructure, multimodal transportation systems, public service facilities* and *waste management systems*;
  - e) ecosystem, shoreline, watershed, and Great Lakes related issues;
  - f) natural and human-made hazards;
  - g) population, housing and employment projections, based on *regional market areas*, as appropriate; and
  - h) addressing housing needs in accordance with provincial housing policies and plans, including those that address homelessness.
2. Planning authorities shall undertake early engagement with Indigenous communities and coordinate on land use planning matters to facilitate knowledge-sharing, support consideration of Indigenous interests in land use decision-making and support the identification of potential impacts of decisions on the exercise of Aboriginal or treaty rights.
3. Planning authorities are encouraged to engage the public and stakeholders early in local efforts to implement the Provincial Planning Statement, and to provide the necessary information to ensure the informed involvement of local citizens, including equity-deserving groups.
4. Planning authorities and school boards shall collaborate to facilitate early and integrated planning for schools and associated child care facilities to meet current and future needs.
5. Planning authorities shall collaborate with publicly-assisted post-secondary institutions, where they exist, to facilitate early and integrated planning for student housing that considers the full range of *housing options* near existing and planned post-secondary institutions to meet current and future needs.
6. Further to policy 6.2.5, planning authorities should collaborate with publicly-assisted post-secondary institutions on the development of a student housing strategy that includes consideration of off-campus housing targeted to students.
7. Planning authorities should coordinate emergency management and other economic, environmental and social planning considerations to support efficient and resilient communities.
8. Municipalities, the Province, and other appropriate stakeholders are encouraged to undertake a coordinated approach to planning for large areas with high concentrations of employment uses that cross municipal boundaries.
9. Where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with lower-tier municipalities shall:
  - a) identify and allocate population, housing and employment projections for lower-tier municipalities;
  - b) identify areas where growth and development will be focused, including *strategic growth areas*, and establish any applicable minimum density targets;

- c) identify minimum density targets for growth and development taking place in new or expanded *settlement areas*, where applicable; and
- d) provide policy direction for the lower-tier municipalities on matters that cross municipal boundaries.

10. Where there is no upper-tier municipality or where planning is not conducted by an upper-tier municipality, planning authorities shall ensure that policy 6.2.9 is addressed as part of the planning process, and should coordinate these matters with adjacent planning authorities.

## 8: Definitions

**Archaeological resources:** includes artifacts, archaeological sites and marine archaeological sites, as defined under the *Ontario Heritage Act*. The identification and evaluation of such resources are based upon archaeological assessments carried out by archaeologists licensed under the *Ontario Heritage Act*.

**Areas of archaeological potential:** means areas with the likelihood to contain *archaeological resources*, as evaluated using the processes and criteria that are established under the *Ontario Heritage Act*.

**Complete communities:** means places such as mixed-use neighbourhoods or other areas within cities, towns, and *settlement areas* that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities, including an appropriate mix of jobs, a full range of housing, transportation options, *public service facilities*, local stores and services. *Complete communities* are inclusive and may take different shapes and forms appropriate to their contexts to meet the diverse needs of their populations.

**Compact built form:** means a land use pattern that encourages the efficient use of land, walkable neighbourhoods, mixed land uses (residential, retail, workplace, and institutional) all within one neighbourhood, proximity to transit and reduced need for *infrastructure*. *Compact built form* can include detached and semi-detached houses on small lots as well as townhouses, duplexes, triplexes and walk-up apartments, multi-storey commercial developments, and apartments or offices above retail. Walkable neighbourhoods can be characterized by roads laid out in a well-connected network, destinations that are easily accessible by transit and *active transportation*, sidewalks with minimal interruptions for vehicle access, and a pedestrian-friendly environment along roads.

**Housing options:** means a range of housing types such as, but not limited to single-detached, semi-detached, rowhouses, townhouses, stacked townhouses, multiplexes, additional residential units, tiny homes, laneway housing, garden suites, rooming houses and multi-residential buildings, including low- and mid-rise apartments. The term can also refer to a variety of housing arrangements and forms such as, but not limited to, life lease housing, co-ownership housing, co-operative housing, community land trusts, land lease community homes, *affordable housing*, *additional needs housing*, multi-generational housing, student housing, farm worker housing, culturally appropriate housing, supportive, community and transitional housing and housing related to employment, educational, or *institutional uses*, such as long-term care homes.

**Low impact development:** means an approach to stormwater management that seeks to manage rain and other precipitation as close as possible to where it falls to mitigate the impacts of increased runoff and stormwater pollution. It typically includes a set of site design strategies and distributed, small-scale structural practices to mimic the natural hydrology to the greatest extent possible through infiltration, evapotranspiration, harvesting, filtration, and detention of stormwater. *Low impact development* can include, for example: bio-swales, vegetated areas at the edge of paved surfaces, permeable pavement, rain gardens, green roofs, and exfiltration systems.

**Natural heritage system:** means a system made up of *natural heritage features and areas*, and linkages intended to provide connectivity (at the regional or site level) and support natural processes which are necessary to maintain biological and geological diversity, natural functions, viable populations of indigenous species, and ecosystems. These systems can include *natural heritage features and areas*, federal and provincial parks and conservation reserves, other natural heritage features, lands that have been restored or have the potential to be restored to a natural state, areas that support hydrologic functions, and working landscapes that enable ecological functions to continue. The Province has a recommended approach for identifying *natural heritage systems*, but municipal approaches that achieve or exceed the same objective may also be used.

**Settlement areas:** means urban areas and rural settlement areas within municipalities (such as cities, towns, villages and hamlets). Ontario's *settlement areas* vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available.

*Settlement areas* are:

- a) built-up areas where development is concentrated and which have a mix of land uses; and
- b) lands which have been designated in an official plan for development over the long term.

**Natural heritage features and areas:** means features and areas, including *significant wetlands, significant coastal wetlands*, other *coastal wetlands* in Ecoregions 5E, 6E and 7E, *fish habitat, significant woodlands* and *significant valleylands* in Ecoregions 6E and 7E (excluding islands in Lake Huron and the St. Marys River), *habitat of endangered species and threatened species, significant wildlife habitat*, and *significant areas of natural and scientific interest*, which are important for their environmental and social values as a legacy of the natural landscapes of an area.

**Quality and quantity of water:** is measured by indicators associated with *hydrologic function* such as minimum base flow, depth to water table, aquifer pressure, oxygen levels, suspended solids, temperature, bacteria, nutrients and hazardous contaminants, and hydrologic regime.

**Strategic growth areas:** means within *settlement areas*, nodes, corridors, and other areas that have been identified by municipalities to be the focus for accommodating *intensification* and higher-density mixed uses in a more *compact built form*.

*Strategic growth areas* include *major transit station areas*, existing and emerging downtowns, lands in close proximity to publicly-assisted post-secondary institutions and other areas where growth or development will be focused, that may include infill, *redevelopment* (e.g., underutilized shopping malls and plazas), *brownfield sites*, the expansion or conversion of existing buildings, or greyfields. Lands along major roads, arterials, or other areas with existing or planned *frequent transit service* or *higher order transit corridors* may also be identified as *strategic growth areas*.

## Halton Region Official Plan

31. In its vision of planning for *Halton's* future, *Halton* believes in building “healthy communities”. A healthy community is one:
- (1) that fosters among the residents a state of physical, mental, social and economic well-being;
  - (2) where residents take part in, and have a sense of control over, decisions that affect them;
  - (3) that is physically so designed to minimize the stress of daily living and meet the life-long needs of its residents;
  - (4) where a full range of housing, employment, social, health, educational, recreational and cultural opportunities are accessible for all segments of the community;
  - (5) where mobility is provided primarily through an affordable, convenient, safe and efficient public transportation system and non-motorized travel modes; and
  - (6) where the principles of sustainability are embraced and practised by residents, businesses and governments.
55. The Regional Structure is accompanied by a growth strategy for *Halton* based on the distribution of population and employment as contained in Table 1, which has been updated to the planning horizon year of 2051 through the *municipal comprehensive review*, and in accordance with the Regional phasing outlined on Map 5, as well as by other *infrastructure* elements such as transportation systems and *urban services* and other *policies* of this Plan.
- 55.1 The Regional Structure also sets out targets for *intensification* within the *Built-Up Area* and for the density of *Designated Greenfield Areas* and *Employment Areas*, as contained in Table 2.
- 55.2 The Regional Structure also sets out the Regional phasing to be achieved every five years from 2022 to 2051 between the *Built-Up Areas* and the *Designated Greenfield Areas* in Table 2a.
- 55.3 The Regional Structure also sets out targets that apply to *Strategic Growth Areas* as contained in Table 2b, including:
- a) specific minimum density targets, planned to be achieved by 2031 or earlier for *Urban Growth Centres* and beyond the 2051 planning horizon of this Plan for other *Strategic Growth Areas*; and
  - b) general targets for an overall proportion of residents and jobs to be planned for and achieved over the long-term.

The general targets for an overall proportion of residents and jobs in *Strategic Growth Areas* may be refined by the Local Municipalities, subject to Regional approval, and provided the change does not compromise the overall intent of the Region's growth strategy.

**TABLE 2 INTENSIFICATION AND DENSITY TARGETS**

Target	Municipality				
	Halton Region	Burlington	Oakville	Milton	Halton Hills
<b>Intensification Target</b>					
<i>Housing Units in Built-Up Area<sup>1</sup></i>	<b>53,300</b>	20,500	19,400	9,800	3,600
<b>Community Area Density Targets</b>					
<i>People and Jobs per Hectare in the Designated Greenfield Area<sup>2</sup></i>	<b>62</b>	76	70	59	53
<b>Employment Area Density Targets</b>					
<i>Jobs per Hectare in the Employment Areas<sup>3</sup></i>	<b>26</b>	33	36	19	24

<sup>1</sup> Target for the number of new housing units occurring with the Built-Up Area as shown on Map 1H between 2022 and 2041 and representing 45% of all new units during this period.

<sup>2</sup> Target for the number of people and jobs per hectare in the *Designated Greenfield Area* by 2041, consisting of the lands within the Regional Urban Boundary and outside of the *Built-Up Area* as shown on Map 1H and measured in accordance with Section 227.1 of this Plan.

<sup>3</sup> Target for the number of jobs per hectare in the *Employment Areas* by 2041, as shown on Map 1H and measured in accordance with Section 227.1 of this Plan.

**TABLE 2B STRATEGIC GROWTH AREA TARGETS**

Strategic Growth Area Type	Strategic Growth Area	Minimum Density Target * (Residents and Jobs Combined Per Hectare)	General Target Proportion of Residents & Jobs **	
			Residents	Jobs
<i>UGC / MTSAs on a Priority Transit Corridor</i>	Midtown Oakville / Oakville GO ***	200	~65%	~35%
	Downtown Burlington / Burlington GO ***	200	~65%	~35%
<i>UGCs / MTSAs on a Commuter Rail Corridor</i>	Downtown Milton / Milton GO ***	200	~80%	~20%
<i>MTSAs on a Priority Transit Corridor</i>	Bronte GO ***	150	~40%	~60%
	Appleby GO ***	120	~40%	~60%
<i>MTSAs on a Commuter Rail Corridor</i>	Aldershot GO ***	150	~80%	~20%
	Milton-Trafalgar GO ***	150	TBD****	TBD****
	Georgetown GO ****	TBD	TBD	TBD
	Acton GO ****	TBD	TBD	TBD
<i>Primary Regional Nodes</i>	Uptown Core, Oakville	160	~85%	~15%
	Trafalgar Urban Core, Oakville	160	~85%	~15%
	Hospital District, Oakville	160	~40%	~60%
	Palermo Village, Oakville	160	~85%	~15%
	Neyagawa Urban Core, Oakville	160	~85%	~15%
	Dundas Urban Core, Oakville	160	~85%	~15%
	Milton Education Village Innovation District	130	~55%	~45%

\* For *Urban Growth Centres*, planned to be achieved by 2031; for *Major Transit Station Areas* and *Regional Nodes*, planned to be achieved beyond the 2051 planning horizon of this Plan.

\*\* To be planned for and achieved across the entire Strategic Growth Area over the long-term and in accordance with Section 55.3 of this Plan

\*\*\* Protected Major Transit Station Area

\*\*\*\* Targets to be determined through the *municipal comprehensive review*.

### ***Urban Area and the Regional Urban Structure***

72. The *goal* of the Urban Area and the Regional Urban Structure is to manage growth in a manner that fosters *complete communities*, enhances mobility across *Halton*, addresses climate change, and improves housing affordability, sustainability and economic prosperity.
- 72.1 The *objectives* of the Urban Area are:
- (1) To accommodate growth in accordance with the *Region's* desire to improve and maintain regional unity, retain local community identity, create healthy communities, promote economic prosperity, maintain a high quality, sustainable *natural environment*, and preserve certain landscapes permanently.
  - (2) To support a form of growth that is compact and supportive of transit usage and non-motorized modes of travel, reduces the dependence on the automobile, makes efficient use of space and services, promotes live-work relationships and fosters a strong and competitive economy.
  - (3) To provide a range of identifiable, inter-connected and *complete communities* of various sizes, types and characters, which afford maximum choices for residence, work and leisure.
  - (4) To ensure that growth takes place commensurately both within and outside the *Built Boundary*.
  - (5) To establish a rate and phasing of growth that ensures the logical and orderly progression of development, supports sustainable and cost-effective growth, encourages *complete communities*, and is consistent with the *policies* of this Plan.
  - (6) To identify a Regional Urban Structure that directs growth to *Strategic Growth Areas* and protects *Regional Employment Areas*.
  - (7) To plan and invest for a balance of jobs and housing in communities across the *Region* to reduce the need for long distance commuting and to increase the modal share for transit and *active transportation*.
  - (8) To promote the adaptive re-use of *brownfield* and *greyfield sites*.
  - (9) To facilitate and promote *intensification* and increased densities.
  - (10) To provide for an appropriate range and balance of employment uses including industrial, office and retail and institutional uses to meet long-term needs.
  - (10.1) To direct where employment uses should be located and to protect areas designated for such uses.
  - (11) To provide opportunities for post-secondary education facilities to locate within *Halton*.
76. The range of permitted uses and the creation of new *lots* in the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. All *development*, however, shall be subject to the *policies* of this Plan.



## Housing

84. The *goal* for housing is to supply the people of *Halton* with an adequate mix and variety of housing to satisfy differing physical, social and economic needs.
85. The *objectives* for housing are:
- (1) To establish housing targets by type and appropriate density for the Local Municipalities and the *Region* as a whole.
  - (2) To explore and implement new approaches to reduce residential land and construction costs and to effect an adequate supply of *Affordable Housing*.
  - (3) To coordinate, improve upon, and expedite the *development* approval process so as to reduce the overall cost of housing.
  - (4) To make more efficient use of existing developed lands, housing stock and available services to increase the supply of housing while maintaining the physical character of existing neighbourhoods.
  - (5) To meet housing needs through the provision of *Assisted Housing*, *Affordable Housing* and *Special Needs Housing* in *Halton*.
  - (6) To integrate *Assisted* and *Special Needs Housing* with *Market Housing*.
  - (7) To provide and manage *Assisted Housing* in *Halton* through the Halton Community Housing Corporation.
  - (8) To encourage the Local Municipalities and the building and *development* industry to develop innovative housing designs that stress flexibility in use, mix of compatible land uses, good environmental practices, *universal physical access*, public safety and security needs, cost-efficiency, affordability and energy and natural resource conservation while maintaining sound engineering and planning principles.
  - (9) To encourage the Local Municipalities to maintain the quality of the existing housing stock.
  - (10) To participate in and deliver Provincial and/or Federal housing programs that are beneficial to housing *development* in *Halton*.
  - (11) To coordinate and provide information on housing needs in *Halton* through centres that are accessible in each Local Municipality.
  - (12) To support the use of surplus public and not-for-profit lands, where appropriate, for developing *Assisted Housing* and *Affordable Housing*.
  - (13) To promote residential *intensification* through the *development* or redevelopment of *brownfield* and *greyfield* sites.

**116.1** The boundaries of the Regional Natural Heritage System may be refined, with additions, deletions and/or boundary adjustments, through:

- a) a Sub-watershed Study accepted by the *Region* and undertaken in the context of an *Area-Specific Plan*;
- b) an individual Environmental Impact Assessment accepted by the *Region*, as required by this Plan; or
- c) similar studies based on terms of reference accepted by the *Region*.

Once approved through an approval process under the Planning Act, these refinements are in effect on the date of such approval. The *Region* will maintain mapping showing such refinements and incorporate them as part of the *Region's* statutory review of its Official Plan.

**116.2** Notwithstanding Section 116.1, within the North Oakville East Secondary Plan Area, the Regional Natural Heritage System will be delineated and implemented in accordance with Town of Oakville Official Plan Amendment No. 272.

**116.3** Notwithstanding Section 116.1, within the North Oakville West Secondary Plan Area, the Regional Natural Heritage System will be delineated and implemented in accordance with the decision of the Ontario Municipal Board with respect to Town of Oakville Official Plan Amendment No. 289.

## North Oakville Secondary Plan

### **7.2 COMMUNITY VISION**

#### **7.2.1 PURPOSE**

The community vision and objectives on which the Secondary Plan is based were developed when the North Oakville East lands were designated as “Urban Special Study Area”. They have been modified to reflect the results of the Secondary Plan process and are outlined in the following sections.

The community vision and objectives represent expressions of general intent and are not to be interpreted as direct statements of planning policy, rather they form a basis for the policies contained in the Secondary Plan. In particular, it is not proposed that they be applied directly in the evaluation of any development or redevelopment proposal.

#### **7.2.2 VISION**

North Oakville's development as an urban community shall reflect Oakville's distinct historical roots and small-town heritage and Trafalgar Township's village rural heritage, with nodal development, prestige industry, and green linkages continuing to define Oakville's unique landscape.

North Oakville should also be forward-looking. It should be a model of smart growth and social diversity. It should enhance the Town's reputation for excellence and its capacity to link the past, present and future.

The design of North Oakville East will generally reflect the “Transect”<sup>1</sup>, a system of classification of human habitats from the most rural which is reflected in the natural heritage and open space system, to the most urban conditions, which is reflected in urban core areas. The goal of the transect-based system is to make it possible for North Oakville East to sustain a complete palette of neighbourhoods and employment opportunities.

In keeping with the Transect, North Oakville East is planned as a compact, pedestrian-oriented, urban community containing a broad range of housing opportunities ranging from executive housing on large lots to high rise apartment units.

The character and pattern of the community will be significantly influenced by a planned natural heritage and open space system. This natural heritage and open space system is designed to protect the natural environment, provide a balance between active and passive recreation needs and contribute to the quality of life in North Oakville and the Town as a whole. A key component of the system will be the provision of an opportunity for residents and employees to use an extensive open space trail system.

The natural heritage and open space system helps to create definable neighbourhoods. These neighbourhoods will be known for their walkable streets and their central nodes, which will include civic uses such as a transit stop and mail services, and may include a few small shops and services. These nodes will be popular neighbourhood meeting

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<sup>1</sup> The Transect was developed by the firm of Duany Plater-Zyberk & Company

places and will generally be located within a five minute walk of the entire neighbourhood.

The community will be well served by an interconnected transit network which will provide residents and employees opportunities for an attractive alternative travel mode within North Oakville, and connections to the rest of the Town, as well as transit facilities which serve the Region and the Greater Golden Horseshoe.

A business park located along Highway 407 provides a range of employment opportunities to residents of Oakville including prestige employment and office development at Trafalgar Road. The jobs available in the North Oakville East Secondary Plan Area, in combination with those jobs in the North Oakville West Secondary Plan Area, help to create a live-work community.

### **7.2.3 GENERAL DEVELOPMENT OBJECTIVES**

The following general development objectives will guide the future urban development of the Planning Area.

#### **7.2.3.1 Environment and Open Space**

- a) To establish as a first priority of the Town, a natural heritage and open space system, within the context of an urban setting, the majority of which is in public ownership.
- b) To create a sustainable natural heritage and open space system which provides a balance between active and passive recreational needs and links to the existing open space system within the Town.
- c) To identify, protect and preserve natural heritage features within the natural heritage component of the natural heritage and open space system and ensure that their use respects their functional role as natural areas within the ecosystem.
- d) To incorporate measures intended to achieve the goals of environmental protection and enhancement including energy conservation, greenhouse gas reduction, and increased utilization of public transit.
- e) To preserve and protect ESA's, ANSI's, provincially significant wetlands and significant woodlands which form the core of the natural heritage component of the natural heritage and open space system, together with required buffers and adjacent lands intended to protect the function of those features and ensure the long term sustainability of the natural heritage component of the system within the urban context.

#### **7.2.3.2 Residential**

- a) To create residential communities which complement the existing built form elements that are intended to remain within the community, and incorporate the best community planning and urban design practices available while protecting, enhancing and integrating the area's natural heritage component of the natural heritage and open space system.

- b) To establish overall development densities that equal or exceed the density established by the Halton Urban Structure Plan and which are commensurate with the type and frequency of transit service planned for the area.
- c) To reflect the land use objectives as set out within the Halton Urban Structure Plan (April 1994).
- d) To minimize travel time, traffic, greenhouse gases, servicing costs and energy costs through a variety of mechanisms, and particularly by providing an efficient land use arrangement and a mix of housing forms and tenures.
- e) To encourage a closer relationship between the workplace and home through land use planning decisions.
- f) To create varied and distinguishable residential neighbourhoods which provide a strong, identifiable sense of place for the residents.
- g) To provide for a variety of residential densities and unit types throughout the planning area, responding to the varied needs of the future population, while directing the highest densities and intensity of use to the Trafalgar Road Corridor in support of a broad range of services including high frequency transit, shopping, personal services and community facilities.

### **7.3 COMMUNITY STRUCTURE**

#### **7.3.1 PURPOSE**

Figure NOE1, the Community Structure Plan, establishes a range of components which define the general arrangement of land use and activity for the Planning Area.

Each component of the Community Structure Plan has its own function which is described in the following sections, together with the ultimate population, housing and employment targets.

### 7.3.3 RESIDENTIAL NEIGHBOURHOODS

Residential neighbourhoods as designated on Figure NOE1 (Community Structure Plan) are comprised of a range of residential densities including significant areas appropriate for ground related housing and live/work opportunities:

- a) Neighbourhood Centre  
Neighbourhood Centres are located in the centre of each neighbourhood, within walking distance of most residents. While predominately residential in character, Neighbourhood Centres will permit a range of uses. These uses will be permitted throughout the area but will be focused at a central activity node for the neighbourhood. Neighbourhood Centres have denser development than other parts of the neighbourhood but are predominantly ground related, and, in addition to residential development, will include a range of convenience and service commercial, civic, institutional and live-work functions in buildings at a scale and with a design appropriate to the area.
- b) General Urban  
General Urban areas, while predominately residential, also provide for live-work functions. Development will be at lower densities than those found in the Neighbourhood Centre.
- c) Sub-urban  
The least dense and most purely residential context is found in areas in a neighbourhood termed "Sub-urban". While live-work functions are permitted, these areas are primarily residential in nature.
- d) High Density Residential  
Neighbourhood 14 on the west side of Sixteen Mile Creek shall include high density residential uses, which may be located adjacent to:
  - i) the valley of the Sixteen Mile Creek;
  - ii) other park or open space areas; or
  - iii) any road or roads within the Neighbourhood.

While the neighbourhood shall be predominantly residential in character, including live-work buildings, a range of non-residential uses shall also be permitted throughout the neighbourhood. These non-residential uses may include:

- i) a range of convenience retail and service commercial uses,
- ii) civic and institutional uses, and
- iii) office uses

in buildings at a scale and with a design appropriate to the area. Both mixed use and single use buildings shall be permitted.

### 7.3.5 NATURAL HERITAGE AND OPEN SPACE SYSTEM

The Natural Heritage and Open Space System for North Oakville East is part of a larger system which is intended to extend through all of North Oakville. It forms a central feature of the North Oakville East Planning Area. It is comprised of two components, a Natural Heritage component and an Open Space component.

- a) The Natural Heritage component of the System is comprised of the following key areas as identified by the policies in the Plan:
  - i) Core Preserve Areas  
The Core Preserve Areas include key natural features or groupings of key natural features, together with required buffers and adjacent lands intended to protect the function of those features and ensure the long term sustainability of the Natural Heritage component of the System within the urban context.
  - ii) Linkage and Optional Linkage Preserve Areas  
Linkage and Optional Linkage Preserve Areas include areas which are designed to link the Core Preserve Areas together to maintain and enhance their environmental sustainability. They follow natural features whenever possible and are intended to be of sufficient size and character, including buffers, to ensure the functionality and sustainability of the Natural Heritage component of the System.
  - iii) High Constraint Stream Corridor Areas  
High Constraint Stream Corridor Areas include certain watercourses and adjacent riparian lands, including buffers measured from the stable top-of-bank or meander belts. These areas are located primarily inside Core and Linkage Preserve Areas, but are also found outside such areas. They must be protected in their existing locations for hydrological and ecological reasons.
  - iv) Medium Constraint Stream Corridor Areas  
Medium Constraint Stream Corridor Areas include certain watercourses and adjacent riparian lands, including buffers measured from the stable top-of-bank or meander belts. These areas are located primarily inside Core and Linkage Preserve Areas, but are also found outside such areas. They must be protected for hydrological and ecological reasons. These watercourses may be deepened and/or relocated in accordance with subsection 7.4.7.1 d).
  - v) Other Hydrological Features  
In addition, to the High and Medium Constraint Stream Corridor Areas, a number of other hydrological features have been identified in North Oakville East. These features are also part of the Natural Heritage component of the Natural Heritage and Open Space System to the extent they are maintained after development occurs.
- b) The Open Space component of the Natural Heritage and Open Space System includes open space areas such as stormwater facilities, cemeteries, public parks and schools. The Open Space component of the System will be designed, where possible, to connect to, and enhance the Natural Heritage component of the System.

## **7.4 SUSTAINABLE DEVELOPMENT STRATEGY**

### **7.4.1 PURPOSE**

In keeping with the objectives of this Secondary Plan, the Town of Oakville is committed to the principle of sustainable development<sup>2</sup> in the development of North Oakville East.

The Sustainable Development Strategy provides policies with respect to the implementation of this principle as it relates to development form, and specifically to the protection, conservation and enhancement of air, water and ecological features and functions, energy and other resources, and heritage resources.

### **7.4.2 DEVELOPMENT FORM**

The North Oakville East Secondary Plan has been based on a conceptual design which maximizes the potential for sustainable development through such features as mixed use development, a modified grid road system which enhances the opportunity to provide transit, and a Natural Heritage and Open Space System.

In addition to the general direction implicit in the Plan, the Town will actively encourage development which is specifically based on the principle of sustainable development, including the development of Town facilities. The Town will also work with other public agencies to encourage them to follow these principles. Such development will be designed to:

- a) reduce the consumption of energy, land and other non-renewable resources;
- b) minimize the waste of materials, water and other limited resources;
- c) create livable, healthy and productive environments; and,
- d) reduce greenhouse gases.

### **7.4.3 AIR/ENERGY EFFICIENCY**

The Town recognizes that air quality in North Oakville East will be significantly influenced by air pollutant emissions from outside the area. However, the Town will work to improve air quality and energy efficiency in North Oakville East:

- a) by directing through the Secondary Plan policies, and their implementation, through the evaluation of development applications, and through the initiation of municipal programs and works, consideration of the following land use and transportation strategies to minimize the amount of vehicular travel and emissions:

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<sup>2</sup> The Bruntland Commission (1983) defined sustainable development as “development that meets the needs of the present without compromising the ability of future generations to meet their own needs.”



- i) concentrate activity centres such as places of worship, recreation centres and schools;
  - ii) encourage mixed-use development;
  - iii) encourage increased density near transit stops/stations and along transit routes commensurate with the type and frequency of transit service planned for that area and/or corridor;
  - iv) provide pedestrian and bicycle facilities;
  - v) ensure an interconnected street network;
  - vi) develop a strategy for the provision of public parking facilities at key locations; and,
  - vii) provide convenient and efficient transit service.
- b) by directing where the Town has jurisdiction, including through its engineering standards, and encouraging where it does not, measures to reduce the "urban heat island effect" including installation of reflective (or high albedo) roofs, installation of green roofs, increasing the reflective nature of pavement and planting of shade trees; and,
- c) by encouraging at the development application stage, the reduction of energy and residential combustion emissions through a range of approaches including the development of R-2000 homes and similar commercial construction standards such as LEED or other published standards, the incorporation of Energy Star appliances, the physical layout of the plan having regard to energy conservation, and buildings powered by renewable energy sources, both passive and active.

#### **7.4.4 APPLICATION REVIEW**

- a) Development which incorporates initiatives to reflect the principle of sustainable development, including three or more matters set out in Section 7.4.4 b)i) and b)ii) or other initiatives, may proceed as soon as servicing can be made available, regardless of the development phase in which it is located, subject to approval by the Town and the Region of Halton.
- b) Such development must comply with the other policies of this Plan and shall also:
- i) implement efficient and effective methods of providing energy through:
    - 1) the incorporation of alternative energy systems including the use of renewable energy resources and/or district energy facilities; and/or,
    - 2) minimizing energy needs and flat-lining the energy profile of the design of the neighbourhood or development.

- ii) increase energy efficiency and minimize environmental impacts in building design through approaches including or similar to some or all of the following:
  - 1) utilizing the standard for residential construction at a minimum of R-2000 and for commercial buildings, similar commercial construction standards such as LEED or other published standards;
  - 2) incorporating opportunities for efficiencies through orientation and the use of passive solar energy and landscaping options;
  - 3) incorporating the potential for future alternative uses and life stages in building design;
  - 4) maximizing opportunities for waste reduction, reuse and recycling in the construction process, building design and community design;
  - 5) maximizing opportunities for stormwater and grey water reuse including the use of permeable materials for the surfaces of parking lots and internal driveways/roads;
  - 6) maximizing opportunities for application of stormwater management at the site level;
  - 7) incorporating water conservation measures in all buildings and landscaping; and,
  - 8) incorporating measures to reduce the "urban heat island effect" including installation of reflective (or high albedo) roofs, installation of green roofs, increasing the reflective nature of pavement and planting of shade trees.

#### **7.4.5 WATER MANAGEMENT**

The management of water resources within the North Oakville East Planning Area shall be undertaken in accordance with the directions established in the North Oakville Creeks Subwatershed Study. No amendments to the Secondary Plan shall be required to implement the recommendations of the Subwatershed Study or for changes to the number or location of stormwater management facilities in accordance with the policies of Section 7.6.2.2 a) of this Plan.

It is an objective of the Town that there be no net increase in phosphorus loadings as a result of development. It is recognized that this objective is achieved by requiring stormwater management ponds in North Oakville East to meet the MOE's Enhanced (Level 1) Guidelines. Provided the MOE's Enhanced (Level 1) Guidelines are met, there is no requirement to further analyze the total phosphorus during development approval.

Further, prior to draft approval of plans of subdivision, Environmental Implementation Reports will be required for each subcatchment area (See Appendix 7.2) in which they are located, in accordance with the policies in Section 7.8.3 a). The Environmental Implementation Reports, in concert with the North Oakville Creeks Subwatershed Study, fulfill the EIS requirements of the Region of Halton Official Plan.

## **7.4.6 NATURAL HERITAGE AND OPEN SPACE SYSTEM**

### **7.4.6.1 Context**

In accordance with objectives of this Secondary Plan, a Natural Heritage and Open Space System is to be established for North Oakville East. The Natural Heritage and Open Space System for North Oakville East is part of a larger system which is intended to extend through all of North Oakville. It forms a central feature of the North Oakville East Planning Area. It is comprised of two components, a Natural Heritage component, and an Open Space component.

### **7.4.6.2 Purpose**

The purpose of the Natural Heritage and Open Space System is the establishment of a system, the majority of which is to be in public ownership, and the focal point of which is a linked natural heritage system enhanced by a range of open space facilities. The System is designed to protect the natural environment, provide a balance between active and passive recreational needs and contribute to overall quality of life in North Oakville and the Town as a whole.

The primary purpose of the Natural Heritage component of the Natural Heritage and Open Space System is to protect, preserve and, where appropriate, enhance the natural environment. The focus of the Natural Heritage component is on the protection of the key ecological features and functions of North Oakville. It will also contribute to the enhancement of air and water resources, and provide for limited, passive recreational needs.

The primary purpose of the Open Space component of the System is to provide for active recreational needs and community facilities. It also should be designed, where possible, to connect to, and enhance the Natural Heritage component of the Natural Heritage and Open Space System, as well as providing for passive recreational needs. Finally, the Open Space component of the System provides facilities which will assist in building social relationships within the North Oakville community.

### **7.4.6.3 Subwatershed Study**

The policies of this Secondary Plan provide the framework for the Natural Heritage component of the System, however, the North Oakville Creeks Subwatershed Study provides the basis for its establishment and technical guidance for its implementation

## **7.4.7 NATURAL HERITAGE COMPONENT OF THE NATURAL HERITAGE AND OPEN SPACE SYSTEM**

### **7.4.7.1 Natural Heritage Designations**

The Natural Heritage component of the Natural Heritage and Open Space System, reflecting an alternative Greenlands System as intended by the Regional Plan, is comprised of lands designated "Natural Heritage System Area" on Figures NOE1, NOE2 and NOE4 and "Core Preserve Area," "Linkage Preserve Area," "Optional Linkage Preserve Area," "High Constraint Stream Corridor Area" and "Medium Constraint Stream Corridor Area" on Figure NOE3. It also includes watercourses and features designated as "Other Hydrological Features" on Figure NOE3, to the extent that they are maintained after development occurs, in accordance with the policies in Section 7.4.8.

The Natural Heritage System Area designation is comprised of the following key areas:

a) Core Preserve Areas

- i) The Core Preserve Area designation on Figure NOE3 includes key natural features or groupings of key natural features, together with required buffers and adjacent lands intended to protect the function of those features and ensure the long term sustainability of the Natural Heritage component of the System within the urban context.
- ii) The Core Preserve Areas were designated based on an evaluation which considered the following criteria:
  - Diversity – Areas with diverse habitats and/or supporting a rich assemblage of species;
  - Size – Sufficient size to protect interior habitat;
  - Contiguity – Designed to create contiguous units;
  - Connectivity – The unit can be linked to other units;
  - Significance – Areas supporting significant species or habitats;
  - Representativeness – Areas which include appropriate representational features associated with areas of natural and scientific interest (ANSI) designations or a candidate ANSI designation, including the Trafalgar Moraine candidate ANSI; and,
  - Overall watershed functionality including hydrologic processes which protect the flow regime of receiving streams.

b) Linkage Preserve Areas and Optional Linkage Preserve Areas

The Linkage Preserve Area and Optional Linkage Preserve Area designations on Figure NOE3 include areas which are designed to link the Core Preserve Areas together to maintain and enhance their environmental sustainability. They follow natural features whenever possible and are intended to be of sufficient size and character to ensure the functionality and sustainability of the Natural Heritage component of the System.

i) The length, width and general location of the Linkage Preserve Areas and Optional Linkage Preserve Areas have been defined based on factors established through the North Oakville Creeks Subwatershed Study including:

- Composition of potential linkage feature;
- Character of the surrounding habitats;
- Presence and size of discontinuities; and,
- Required buffers.

In particular, the configuration of the Linkage Preserve Area which connects to Sixteen Mile Creek adjacent to the future 407 Transitway is based on a width of 70 metres west of the existing woodlot and 100 metres east of the woodlot. The woodlot is delineated as drip line plus 10 metres or wetland plus 30 metres. If the Transitway is reduced in width west of the woodlot there will be no reduction or shifting of the Linkage Preserve Area, and any surplus transitway lands will be added to the north side of the Linkage Preserve Area. East of the woodlot, the northern boundary of the Linkage will remain coincident with the southern boundary of the Transitway so that if at any time prior to an application for development being approved, the southern boundary of the Transitway adjacent to the Linkage moves northward, the Linkage Preserve Area will also move northward. However, all boundaries of this Linkage will remain subject to a 30 metre setback from any Provincially Significant Wetland. The area of any setback for the Provincially Significant Wetland located west of the woodlot, that extends beyond the southern boundary of the Linkage (the extended area), will be offset by a corresponding reduction in the width of the Linkage located west of the woodlot, that is equal in area to the extended area.

ii) The Optional Linkage Preserve Areas have been established based on the potential to relocate adjacent Medium Constraint Streams into the area designated as "Optional Linkage Preserve Area". However, if the adjacent stream is not relocated into the lands designated "Optional Linkage Preserve Area", and remains in place in a manner which satisfies the requirements to serve a linkage function as set out in Subsection 7.4.7.1 d), then the lands in the Optional Linkage Preserve Area designation, without the need for amendment to this Plan, may be developed in accordance with the abutting land use designation. Otherwise the lands in the Optional Linkage Preserve Area designation shall be subject to the policies of the Linkage Preserve Area designation.

c) High Constraint Stream Corridor Areas

High Constraint Stream Corridor Areas as designated on Figure NOE3 include certain watercourses with associated riparian lands, including buffers measured from stable top-of-bank and meander belts. These areas are located primarily inside Core and Linkage Preserve Areas, but are also found outside such areas.

They must be protected in their existing locations for hydrological and ecological reasons in accordance with the directions established in the North Oakville Creeks Subwatershed Study.

- d) Medium Constraint Stream Corridor Areas  
Medium Constraint Stream Corridor Areas, as designated on Figure NOE3, include certain watercourses and adjacent riparian lands, including buffers measured from the stable top-of-bank or meander belts. These areas are located primarily inside Core and Linkage Preserve Areas, but are also found outside such areas. They must be protected for hydrological and ecological reasons. These watercourses may be deepened and/or relocated and consolidated with other watercourses provided that the watercourse feature, as well as the function of the watercourse, is maintained in accordance with the directions established in the North Oakville Creeks Subwatershed Study and Federal, Provincial and Conservation Authority regulations, and natural channel design is used. Where a Medium Constraint Stream Corridor Area is relocated, the land use designation of the abutting lands on Figure NOE2, not the Natural Heritage System Area designation, shall apply to the lands from which the stream is moved. Further, where a Medium Constraint Stream adjacent to an "Optional Linkage Preserve Area" is not being relocated into the "Optional Linkage Preserve Area", then that Medium Constraint Stream shall serve a linkage function similar to a Linkage Preserve Area, in addition to its role as a Medium Constraint Stream. This would include maintaining a minimum linkage width as established in the North Oakville Creeks Subwatershed Study along the Medium Constraint Stream. No modifications may be made to the location of such a stream unless that linkage function can be maintained.

#### **7.4.7.2 Boundaries**

The boundaries of the Core and Linkage Preserve Area, and High Constraint Stream Corridor Area designations shall be maintained generally in accordance with the designations on Figure NOE3 and the North Oakville Creeks Subwatershed Study.

As part of the detailed planning process, minor modifications to the boundaries of these designations may be considered to reflect differences in scale and levels of detail, or to better integrate natural and urban land uses to achieve a more compact, efficient urban form. However, such minor modifications will not negatively impact the Natural Heritage component of the Natural Heritage and Open Space System as determined by the Town, in consultation with the Region of Halton and Conservation Halton, nor shall such minor modifications result in any significant decrease in the size of the Natural Heritage component of the System.

The location and boundaries of the Medium Constraint Stream Corridor Area designations on Figure NOE3 shall be determined in accordance with the directions established in the North Oakville Creeks Subwatershed Study and Federal, Provincial and Conservation Authority regulations during the preparation of the Environmental Implementation Reports (EIR) required by Section 7.8.3 of this Plan. In addition, Reach

MUN-3, as identified on Figure 6.3.13 of the North Oakville Creeks Subwatershed Study, may be reexamined as part of the relevant EIR to confirm its classification. If all or part of MUN-3 is recommended for reclassification from a Medium Constraint Stream Corridor to a Low Constraint Stream Corridor and the basis for this reclassification is accepted by the Town and Conservation Halton, the change will not require an amendment to the Secondary Plan.

Stream Corridor Components: Appendix 7.4 illustrates the required components of Stream Corridors and provides direction on how they are measured.

### 7.4.7.3 Permitted Uses, Buildings and Structures

- a) The only permitted uses in the Natural Heritage System Area designation shall be legally existing uses, buildings and structures, and fish, wildlife and conservation management. Development or land disturbances shall generally be prohibited.
  - b) The only exceptions to the provisions of Section 7.4.7.3 a) shall be the uses in Subsection c), subject to the satisfaction of the Town, in consultation with the Region of Halton and Conservation Halton, provided that, prior to approving the location/construction of such uses a study shall be undertaken, except where an Environmental Assessment is required:
    - i) identifying potential negative impacts on the functions and features of the applicable designation during the construction and post-construction phases; and,
    - ii) demonstrating that alternative methods and measures for minimizing impacts have been considered and appropriate methods and measures will be applied.
  - c) The potential permitted uses include:
    - i) Development or land disturbance in accordance with the directions of the North Oakville Creeks Subwatershed Study and any related Environmental Implementation Report, and Federal, Provincial and Conservation Authority regulations:
      - for required flood and stream bank erosion control;
      - for fish, wildlife and conservation management;
      - to accommodate a stormwater outfall; or
      - in Medium Constraint Stream Corridor Areas, to relocate or deepen channels in accordance with Section 7.4.7.1 d);
- provided that any required reconstruction of a watercourse is completed in a way that utilizes bio-engineering principles and practices, and

maintains, and where possible, improves the form, characteristics and functions of the watercourse.

ii) Roads and related utilities which shall:

- use non-standard cross sections designed to minimize any impacts on the natural environment;
- only be permitted to cross the designation in the general area of the road designations shown on Figures NOE2 and NOE4 or as defined through an Environmental Assessment; and,
- be designed to minimize grading in accordance with the directions established in the North Oakville Creeks Subwatershed Study.

Provided that such corridors shall:

- be required as transit routes or utility corridors;
- be located outside natural features to the maximum extent possible, and where the applicable designation is narrowest and along the edges of applicable designations, wherever possible;
- provide for the safe movement of species in accordance with the directions established in the North Oakville Creeks Subwatershed Study in the design and construction of any road or utility;
- be kept to the minimum width possible; and,
- be designed to keep any related structures or parts of structures outside the High Constraint Stream Corridor Area designated on Figure NOE3 to the maximum extent possible or as defined through an Environmental Assessment.

iii) Expansion to existing Water and Wastewater services which are located on sites with existing facilities subject to any required Environmental Assessment;

iv) Trails, interpretative displays or signage or other similar passive recreation uses consistent with the purpose of the applicable designation and provided that:

- for lands in the Linkage Preserve Area designation on Figure NOE3, such uses shall generally be located in the Linkage Preserve Area, but adjacent to the boundary of the linkage;
- trails shall be permitted within the setback from the edge of the



Sixteen Mile Creek Valley, and may be permitted within the Valley subject to the review of their impact on any environmentally sensitive features;

- trails in stream corridors other than the Sixteen Mile Creek shall be permitted adjacent to the valley in the buffer; and,
  - trails in the Natural Heritage System Area designation be designed and located to minimize any impact on the natural environment.
- v) Stormwater management facilities established in accordance with the directions in the North Oakville Creeks Subwatershed Study provided that the final number, size and configuration of such facilities will be determined through any related Environmental Implementation Report or Functional Servicing Study and provided that generally such facilities shall, with respect to the designations on Figure NOE3:
- be limited in Core Preserve Areas to only four stormwater management facilities located as shown conceptually on Figure NOE3 ;
  - be limited where located in or adjacent to High and Medium Constraint Stream Corridor Areas which are not located within Linkage Preserve or Optional Linkage Preserve Areas as designated conceptually on Figure NOE3, to areas:
    - outside the 100 year floodline;
    - outside the meanderbelt allowance which is the meanderbelt plus the factor of safety;
    - outside the erosion/access allowance measured from the meander belt or stable top-of-bank, except that some overlap of the access required for the stormwater management facility and the erosion/access allowance may be permitted in accordance with the directions established in the North Oakville Creeks Subwatershed Study, and to the satisfaction of the Town and Conservation Halton;
    - outside the confined valley; and,
- provided that there is no loss of flood storage or conveyance;
- be limited where located in or adjacent to High and Medium Constraint Stream Corridors which are located within Linkage Preserve or Optional Linkage Preserve Areas as designated conceptually on Figure NOE3, to the stormwater management facilities as shown conceptually on Figure NOE3, to areas
    - outside the 100 year floodline;
    - outside the meanderbelt allowance which is the meanderbelt plus the factor of safety;

- outside the erosion/access allowance measured from the meander belt or stable top-of-bank, except that some overlap of the access required for the stormwater management facility and the erosion access allowance may be permitted in accordance with the directions established in the North Oakville Creeks Subwatershed Study, and to the satisfaction of the Town and Conservation Halton;
- outside the confined valley; and,

there is no loss of flood storage or conveyance; and,

provided that the encroachment into such Linkage Preserve or Optional Linkage Preserve Areas shall be limited to a width which is no greater than 50% of the width of the Linkage Preserve Area or Optional Linkage Preserve Area; and further,

provided that storm water management facilities shown conceptually on Figure NOE 3 which are located in the Linkage Preserve Area or Optional Linkage Preserve Area associated with Reach MOC-W1, MOC-W2 and MOC-W3 as identified of Figure 6.3.13 of the North Oakville Creeks Subwatershed Study shall only be permitted when provisions have been made which are satisfactory to the Town and Conservation Halton for the establishment of wooded nodes within the Linkage Preserve Area or Optional Linkage Preserve Area.

In addition, the stormwater management facilities shall be designed to:

- be naturalized and unfenced, except where the facility abuts private property it may be fenced;
  - be as small as necessary; and,
  - have minimum access for maintenance.
- vi) Grading in the Natural Heritage component of the Natural Heritage and Open Space System for facilities outside of, but adjacent to, the Natural Heritage component of the System, such as lots, roads and public facilities, shall be permitted in accordance with the directions established in the North Oakville Creeks Subwatershed Study or appropriate Environmental Assessment.
- vii) A 6 metre wide private driveway across the Linkage Preserve Area joining the north area and south area of the Core Preserve Area which is north of Burnhamthorpe Road and west of Trafalgar Road, in a location and with a design determined by the relevant Environmental Implementation Report, and site plan approval, and to the satisfaction of the Town, the Region and Conservation Halton.
- viii) The adaptive re-use of heritage buildings for institutional uses, including an art gallery and art school, in the Linkage Preserve Area associated with Reach JC-7, as identified on Figure 6.3.13 of the North Oakville Creeks Subwatershed Study is permitted. The extension of such buildings or the construction of new buildings and structures may also be permitted, subject to Conservation Halton's regulations and the preparation of an Environmental Implementation Report to the satisfaction of the Town and Conservation Halton, which addresses how the impact to the linkage will be minimized.

#### 7.4.10 NATURAL HERITAGE AND OPEN SPACE SYSTEM SECUREMENT

- a) The following designations on Figure NOE3 comprise the Natural Heritage component of the Natural Heritage and Open Space System. These designations do not imply that the lands will be purchased by the Town or a public agency or that they are free or open to the public:
  - i) Core Preserve Area;
  - ii) Linkage Preserve Area and Optional Linkage Preserve Area;
  - iii) High Constraint Stream Corridor Area; and,
  - iv) Medium Constraint Stream Corridor.

This policy is also applicable to the Other Hydrological Features designated on Figure NOE3 which are also part of the Natural Heritage component of the System.

The public portions of the Open Space component of the Natural Heritage and

Open Space System will generally be acquired in accordance with the provisions of the Planning Act and Section 7.7.4.5 of this Plan with respect to parkland acquisition.

- b) Notwithstanding the foregoing, the Town recognizes that public securement of the lands in the Natural Heritage component of the Natural Heritage and Open Space System will provide opportunities for enhanced management of the lands in the System. The Town will investigate all options for the securement of land in the Natural Heritage component of the Natural Heritage and Open Space System.
- c) Lands in the Natural Heritage component of the Natural Heritage and Open Space System, while recognized as part of the parkland hierarchy, shall not be acceptable as parkland dedication under the Planning Act unless:
  - i) the lands can be used without impact on environmental quality or function for some passive open space/recreational use such as a trail use or interpretative display in conjunction with adjacent active parkland which is located outside the Natural Heritage component of the Natural Heritage and Open Space System; and,
  - ii) the Town is satisfied that sufficient land has been dedicated, or cash-in-lieu has been provided, to satisfy the Town's requirements for active parkland for the development.

## **7.5 COMMUNITY DESIGN STRATEGY**

### **7.5.1 PURPOSE**

This section outlines general design policies for North Oakville East, as well as specific policies for the Neighbourhoods as designated on Schedule NOE1, and the Trafalgar Urban Core Area, Neyagawa Urban Core Area, the Dundas St. Urban Core Area, Employment Districts, and existing development.

### **7.5.2 MASTER PLAN**

- a) The North Oakville East Master Plan in Appendix 7.3 to the Official Plan is intended to illustrate graphically the design of the North Oakville East Planning Area and how the policies and Figures of the North Oakville East Secondary Plan are to be implemented. The spacing, function and design of intersections of Local Roads with Major Arterial/Transit Corridors (i.e. Regional arterials) shown on Appendix 7.3 have not been approved by the Region, and such intersections shown on Appendix 7.3 and on any subsequent area design plan, plan of subdivision, or other development plan, are subject to Regional approval.
- b) Prior to the commencement of the development of any:
  - i) neighbourhood in accordance with the neighbourhood boundaries established on Figure NOE1 and, where applicable, the portion of the Dundas Urban Core that abuts the neighbourhood;
  - ii) sub-area within the Trafalgar Urban Core Area identified on Figure NOE1, except that lands in any sub-area on one side of Trafalgar Road may proceed independently of the lands in that sub-area on the other side of Trafalgar Road;
  - iii) part of the Neyagawa Urban Core Area; or
  - iv) sub-area within the Employment Area or the Transitional Area identified by the Town, in consultation with all affected landowners, based on boundaries created by Arterial, Avenue or Connector roads or natural features, provided that a sub-area may include adjacent Employment and Transitional Areas.

The Town shall determine, after consultation with all affected landowners in the specific area, whether proposed plans of subdivision or other development plans for the affected lands are generally consistent with the Master Plan in Appendix 7.3. Where such plans are determined to be generally consistent with the Master Plan, development may be permitted to proceed without the preparation of an area design plan.

- c) The Town shall require the preparation of an area design plan to the satisfaction of the Town, prior to draft plan approval or approval of other development plans in a specific area identified in subsection b), where:

- i) proposed plans of subdivision or other development plans for the area are not generally consistent with the Master Plan in Appendix 7.3;
  - ii) the Town after consultation with all affected landowners, determines that an area design plan is required to address coordination issues between landowner plans;
  - iii) the Town, after consultation with all affected landowners, determines that an area design plan is required to address coordination issues between areas identified in 7.5.2 b) i) to iv); or
  - iv) any significant development is proposed in the Transitional Area designation.
- d) The area to be addressed by the area design plan will include, as applicable, one or more of the areas identified in subsection b).
- e) The area design plan will be designed to demonstrate conformity with the policies and Figures of the Secondary Plan and will provide details including:
  - i) the size and location of schools, neighbourhood parks, village squares and urban squares;
  - ii) the location, size and general configuration of stormwater management ponds;
  - iii) the detailed road pattern;
  - iv) the specific boundaries of neighbourhood land use categories and other designations;
  - v) the density and distribution of housing types;
  - vi) how the proposal addresses the Town's Implementation Strategy;
  - vii) the location, alignment and boundaries of Medium Constraint Streams;
  - viii) co-ordination with land uses and road patterns for lands outside, but adjacent to the lands which are the subject of the area design plan; and
  - ix) the requirements for Transitional Areas as set out in Section 7.6.9.3 a).
- f) Such area design plans shall be prepared in accordance with terms of reference approved by the Town and the applicant(s), by a consultant approved by the Town and the applicant(s), and retained by, and at the cost of, the applicant(s).
- g) In the preparation of the terms of reference, the Development Review provisions of Section 7.8 of this Plan will be used as a guide.
- h) A proposed plan of subdivision or other development plan shall be considered to

be inconsistent with the Master Plan, as referenced in subsection c) i), if it does not conform to the General Design Directions in Section 7.5.4, or results in coordination issues between areas identified in subsection b. The following will generally not be considered to be inconsistent with the Master Plan, provided that the Town determines that the plan of subdivision or other development plan conforms with the policies and Figures of the Secondary Plan:

- i) modifications to, or relocations of portions of the road pattern;
  - ii) modifications to Medium or Low Constraint Stream Corridors or Hydrologic Features "A" and "B";
  - iii) relocation of public facilities including parks, schools and stormwater ponds; or
  - iv) reconfiguration of the neighbourhood land use categories generally in accordance with the neighbourhood land use category requirements of Table 1. However, any reconfiguration of neighbourhood land use categories proposed by a plan of subdivision or other development plan that necessitates significant changes to the distribution of neighbourhood land use categories on other land ownerships, in order to maintain general conformity with Table 1, will require the preparation of an area design plan.
- i) The approval of an area design plan by the Town shall not require an amendment to this Plan.

### **7.5.3 DESIGN GUIDELINES**

Urban Design and Open Space Guidelines, which will include guidelines with respect to matters set out in Section 7.5 as well as heritage resources, will be prepared by the Town as part of the North Oakville East Implementation Strategy prior to the approval of any development applications. All development applications will be evaluated by the Town to ensure that they are consistent with the Urban Design and Open Space Guidelines.

### **7.5.4 GENERAL DESIGN DIRECTIONS**

- a) All development, particularly in the Urban Core Areas, Neighbourhood Centre and General Urban Areas, shall be designed to be compact, pedestrian and transit friendly in form. Mixed use development will be encouraged.
- b) A hierarchy of civic, institutional and commercial uses shall be established in locations which form part of mixed use areas (rather than isolated in single-use complexes) which allow them to serve as focal points for the Planning Area as a whole, neighbourhoods and sub-neighbourhoods. In particular, the ordinary activities of daily living shall occur within walking distance of most dwelling units.
- c) Development shall be based on a modified grid road system with interconnected networks of roads designed to disperse and reduce the length of vehicular trips

and support the early integration and sustained viability of transit service. For local roads not shown on Figure NOE4, the modified grid road system will respond to topography and the Natural Heritage System component of the Natural Heritage and Open Space System. Cul-de-sacs will generally be permitted only when warranted by natural site conditions

- d) The Natural Heritage component of the Natural Heritage and Open Space System forms a central feature of the Planning Area and the development form should reflect this fact. In addition, an associated comprehensive, interconnected system of trails will be developed which will generally reflect the major trail system on Figure NOE4.
- e) Public safety, views and accessibility, both physically and visually, to the Natural Heritage component of the Natural Heritage and Open Space System, as well as to parks, schools and other natural and civic features, will be important consideration in community design. This will be accomplished through a range of different approaches including, but not limited to, the use of single loaded roads, crescent roads, combining public open space with other public or institutional facilities (e.g. school/park campuses, easements, stormwater ponds adjacent to the Natural Heritage component of the System) and the location of high density residential and employment buildings. With respect to the Natural Heritage component of the Natural Heritage and Open Space System, priority will be given to maintaining views and accessibility at key trail access points where Arterial, Avenue and Connector roads are adjacent to the System. Where there is no significant Natural Heritage edge exposed at Arterial, Avenue or Connector roads, Neighbourhood Parks, Village Squares or local roads will be encouraged to provide access and visibility.

With respect to other public facilities particularly schools and parks, of the total linear perimeter distance around such uses in the order of 50% of the perimeter will be bounded by a combination of roads and open space which will allow public access or, at a minimum private open space which will allow significant views of the feature or facility. Where only road frontage is provided the frontage shall be in the order of 40% of the perimeter of the features and facilities.

- f) Parks, neighbourhood activity nodes, and other civic areas will serve as central "meeting places" for residents, particularly within neighbourhoods and sub-neighbourhoods
- g) Building densities and land uses designed to support the use of transit and the level of transit service proposed for specific areas shall be located within walking distances of transit stops and lines.
- h) The incorporation of cultural heritage resources into the community, including their use and adaptive reuse, shall be encouraged.
- i) The location of *active transportation* facilities should conform with Schedule D, Active Transportation Plan, to the Livable Oakville Plan, recognizing that the alignments are diagrammatic. An official plan amendment will not be required for changes to the alignments of *active transportation* facilities provided that the general intent and purpose of Schedule D to the Livable Oakville Plan is

maintained. In the event of a conflict between Schedules D to the Livable Oakville Plan and the North Oakville East Secondary Plan, the North Oakville East Secondary Plan shall prevail.

## **7.5.5 STREETScape**

The streetscape consists of streets and public frontages. The streets provide the traffic and parking capacity. The public frontages provide for pedestrian circulation and contribute to the character of the streetscape. The design of the streetscape is defined by the type of sidewalk, curbing, planters and street trees. The policies of Section 7.7.2 of this Plan provide detailed direction with respect to the design of typical streets, while the Urban Design and Open Space Guidelines will address directions for public frontages and other design treatments.

The Urban Design and Open Space Guidelines will establish five types of streets with respect to typical design treatment. Variations may be considered by the Town based on circumstances such as topography, proposed abutting land use, relationship to the Natural Heritage and Open Space System and achievement of other design objectives:

### **7.5.5.1 Arterial/Transit Corridors**

Arterial/Transit Corridors as designated on Figure NOE4 are high capacity roads which serve as major gateways into the community, including both the Town as a whole, and North Oakville East. A balance must be achieved between their transportation function, including accommodation for transit, and their ability to provide access to flanking land uses, and to act as socially vibrant public space. To assist in achieving this balance, these streets will have the highest form of design treatment, including wide sidewalks, special tree and feature planting, paving, lighting and signage design.

### **7.5.5.4 Local Streets**

Local streets play a dual role as neighbourhood socialization spaces, as well as supporting transportation needs. The design requirements, while less substantial than for connector roads, must support the dual role of the local streets.

### **7.5.5.6 Pedestrian/Cyclist Orientation**

Pedestrian/cyclist comfort and safety shall be considered in the streetscape design for roads under the control of the Town of Oakville. In commercial and mixed use areas, the design will provide for an enhanced streetscape and sidewalk environment for pedestrians. The Town will also work with the Region to encourage a similar approach.



#### 7.5.5.9 Sidewalks

- a) Sidewalks shall generally be provided on both sides of all streets with the exception of:
  - i) residential streets with less than ten dwelling units or cul-de-sacs, where sidewalks shall be required on only one side of the street;
  - ii) lanes, where no sidewalks shall be required;
  - iii) character roads, where a rural cross-section is being maintained, where sidewalks may not be required, provided that pedestrian and bicycle circulation is accommodated on a separate trail system; and,
  - iv) a road flanking the Natural Heritage and Open Space System, where a sidewalk shall be provided on the developed side only, subject to the availability of a trail facility on the other side of the street.
  
- b) In addition to the exceptions above, consideration may be given to permitting only one sidewalk for some Local Roads. Such roads would be permitted only where the Town is satisfied through the submission of a pedestrian circulation plan that only one sidewalk is necessary and provided that the road would:
  - i) have a maximum ROW of 16 metres; and,
  - ii) be located in the Neighbourhood Area designation in a Sub-urban land use category
  - iii) not provide direct access to a school, Neighbourhood Park, or Village Square.

The geographical extent of the pedestrian circulation plan shall be broad enough to demonstrate how the above conditions are met as well as the relationship to the transit system, community facilities and shopping areas.

#### 7.5.5.14 Block Size

The length of the block makes a significant difference in creating a pedestrian-friendly environment. Blocks should be short and regular in length to make walking efficient and allow for variation in routes. Where it is impossible or undesirable to provide short blocks, wide public mid-block pathways should be provided to shorten walking distances.

### 7.5.6 BUILDING LOCATION

- a) Buildings, structures and landscaping shall be designed to provide visual interest to pedestrians, as well as a "sense of enclosure" to the street. Generally, heights of buildings shall also be related to road widths to create a more comfortable pedestrian environment, so that the wider the road width, the higher the building height.
- b) Buildings on corner lots at the intersections of Arterials, Avenues and Connector streets shall be sited and massed toward the intersection.
- c) The rear and side building elevations of all buildings on corner lots shall be designed to take advantage of their extra visibility.
- d) In residential areas, garages shall be designed so that they are not the dominant feature in the streetscape. In particular, attached garages shall not:
  - i) project beyond the façade of the dwelling or the façade (front face) of any porch; or
  - ii) contain garage doors that occupy more than 50% of the frontage of a lot unless the Town is satisfied through the submission of detailed plans by the applicant that the garage doors can be appropriately integrated with the streetscape.
- e) Higher-density housing shall be located close to Arterial Roads, Avenues, Connectors and transit stops, within Neighbourhood Centres and the Urban Core Areas.

## 7.5.7 PARKING AREAS

### 7.5.7.1 Off-Street Parking

Off-street parking areas shall be designed to reduce their visual impact on both the adjoining streetscape and on people using the facility by:

- a) Screening of the parking lot at the street and adjacent to residential development through the use of features such as low fences, walls and landscaping and in a manner which reflects the safe community design policies of Section 7.5.10;
- b) Locating the parking lot, within commercial or mixed use developments, to the side or rear of the main building and permitting no or only minimal parking in front of the main building. However, in sub-area 2 of the Trafalgar Urban Core, within the Dundas Urban Core Area at Neyagawa and within the Neyagawa Urban Core, where large retail stores are proposed, design alternatives designed to contribute to the creation of a vibrant and active streetscape, may include, among other possible alternatives, locating large retail stores in the interior or at the rear of commercial or mixed use development blocks with smaller stores and building oriented to surrounding Arterial, Avenue or Connector Roads to create a strong street presence. Alternatively, the frontage of the large retail store facing the Arterial, Avenue or Connector Road should be lined with smaller stores or multiple building entrances. Parking areas will be integrated with development associated with large retail stores, in a manner designed to contribute to the objective of a vibrant and active streetscape.
- c) The use of landscaping or decorative paving to reduce the visual expanse of large parking areas;
- d) Joint access to parking lots on adjoining properties where feasible; and,
- e) Provision of pedestrian walkways adjacent to stores, between building clusters, and to provide pedestrian access to transit stops, public sidewalks and other developments. These walkways may need to cross parking lots to provide the required access.

### 7.5.7.2 Parking Options

In addition, options to replace at-grade parking areas will be encouraged including:

- a) On-street parking  
On-street parking should be permitted wherever possible to increase animation, reduce vehicle speeds and serve as a protective buffer between pedestrians and moving vehicles. To encourage the provision of such parking, appropriate engineering design standards for roadways, including laybys, shall be developed and reduced off-street parking requirements will be established for specific areas where appropriate, particularly along transit routes and in the Urban Core designations.
- b) Municipal parking  
The Town shall work with landowners in mixed use areas to establish municipal parking at strategic nodes.

### **7.5.9 LANDSCAPE DESIGN**

The applicable policies of Part C, Section 10.3, Urban Forests of the Official Plan shall apply and the Town shall establish specific landscaping requirements in the Urban Design and Open Space Guidelines to ensure:

- a) the creation of a human scale within new development;
- b) the enhancement of pedestrian comfort;
- c) the provision of features which contribute to the definition of public open space, framing of views and focal points, direction of pedestrian movement and demarcation of areas with different functions; and,
- d) landscape design that promotes the use of native species and enhancement of ecological stability and integrity.

### **7.5.10 SAFE COMMUNITY DESIGN**

The Town shall work with Halton Region Police to promote safety and security and accessibility in public places through urban design including design and the siting of buildings and structures that:

- a) encourages continuous occupancy of public spaces by ensuring the proximity of spaces, activities and institutions which provide public presence at various times and by the sharing of facilities;
- b) provides for opportunities for visual overlook and ease of public access to adjacent streets, parks and other public areas;
- c) results in clear, unobstructed views of parks, school grounds, and open spaces from adjacent streets;
- d) ensures appropriate lighting, visibility and opportunities for informal surveillance are provided for walkways, parking lots, parking garages and open space areas;
- e) results in the selection and siting of landscape elements in a manner which maintains views for safety and surveillance;
- f) encourages the provision of views into, out of and through publicly accessible interior spaces;
- g) precludes entrapment or the perception of entrapment through properly identified exits and signage; and,
- h) results in accessibility for the disabled and elderly.

### 7.5.11 COMMUNITY LINKAGES

North Oakville East will be connected to other parts of the Town whenever possible through road, transit, pedestrian and bicycle links, to ensure that the community functions in an integrated manner. In particular:

- a) the design of Dundas Street and abutting uses should allow it to become a point of transition rather than the current "division" or "barrier" effect of the street. Design should be used to encourage visual and physical links between the north and south sides of the street;
- b) the intersections of Trafalgar Road and Dundas St. and Neyagawa Blvd and Dundas St. should be marked by the siting and design of prominent buildings, strategic building placement and other gateway features. Minor gateways should be established at other intersections with Dundas St;
- d) Trafalgar Road provides a major physical north/south link through the Town from a transportation perspective. The design of the road itself and the Trafalgar Core Area development should strengthen this link and ensure a strong relationship to the Uptown Core, as well as the Midtown Core, and Downtown areas.

### 7.5.12 NEIGHBOURHOODS

Figure NOE1 identifies the neighbourhood structure for North Oakville East. Each neighbourhood will have distinctive characteristics, but with the following common features:

- a) Each neighbourhood will include at its centre, approximately a five minute walk from most areas of the neighbourhood, a neighbourhood activity node which would include a transit stop and other public facilities which serve the neighbourhood such as central mail boxes or mail pickup facilities. In addition, convenience commercial facilities or similar uses will be encouraged to locate at the neighbourhood activity node.
- b) Neighbourhoods shall be primarily residential in character, but will include mixed use development including commercial, institutional, live-work and civic facilities;
- c) Within neighbourhoods, a range of lot sizes, building types, architectural styles and price levels shall be provided to accommodate diverse ages and incomes;
- d) The Town shall work with the School Boards to try to ensure that elementary schools are located to allow as many children within a neighbourhood as possible to walk or bicycle to them; and,
- e) A range of open space including parks, squares and playgrounds shall be distributed through a neighbourhood in locations which are easily accessible and which can act as "meeting places" for residents.

## Zoning By-law 2009-189

### 2.1 Zones *(2012-001), (2013-065)*

This By-law establishes the following *zones* and places all lands subject to this By-law in one or more of the following *zones*:

<b>Table 2.1.1: Zones in the North Oakville Zoning By-law</b>		
<b>Zone</b>	<b>Symbol</b>	<b>Uses / Standards (non-operative)</b>
Trafalgar Urban Core	TUC	5.1 and 7.1
Dundas Urban Core	DUC	5.1 and 7.2
Neyagawa Urban Core Area	NUC	5.1 and 7.3
Palermo Village North Urban Core	PUC	5.1 and 7.4
Neighbourhood Centre	NC	5.1 and 7.5
General Urban	GU	5.1 and 7.6
Sub-urban	S	5.1 and 7.7
High Density Residential	HDR	5.1 and 7.8
Light Employment	LE	5.1 and 7.9
General Employment	GE	5.1 and 7.10
Service Area - Employment	SA	5.1 and 7.11
Institutional	I	5.1 and 7.12
Future Development <i>(2022-007)</i>	FD	5.1 and 7.13
Natural Heritage System	NHS	5.1 and 7.14
Cemetery	CE	5.1 and 7.15
Park	P	5.1 and 7.12
Stormwater Management Facility	SMF	5.1 and 7.12
Automotive Service	AS	5.1 and 7.17

## Future Development Zone

### 7.13 Future Development (FD) Zone Regulations *(2012-001)* *(2022-007)*

#### 7.13.1 Permitted Uses

- i. The uses as permitted in Section 4.3.1.
- ii. Infrastructure for which an Environmental Assessment has been completed or which are required as a condition of approval under the Planning Act, subject to the following provisions:
  - a. Notwithstanding any other provision of this By-law, any *building* or *structure* for the purpose of providing or sheltering infrastructure shall not be subject to Section 7.13.2;
  - b. Any *building* or *structure* used for a *general office use*, *public works yard*, or *warehouse* shall not be permitted.
- iii. The *use* of legally existing *buildings* and *structures* by new *accessory uses*.

#### 7.13.2 Permitted Expansion of Legal Buildings and Structures

The existing *lot coverage* on the day of the passage of this by-law, for all existing *buildings* or *structures* and existing *accessory buildings* or *structures*, may be increased by a maximum of 10% subject to regulations of this section and section 5.

#### 7.13.3 Maximum Height

10 metres except for *agricultural buildings*

#### 7.13.4 Minimum Yards

*Front Yard* and *Flankage* - 9 m  
*Side Yard* - 2.4 m  
*Rear Yard* - 7.5 m

*(Performance zones relocated by 2012-001 and 2013-065)*

## General Urban Zone

### 7.6 General Urban (GU) Zone Regulations

#### 7.6.1 Uses Permitted

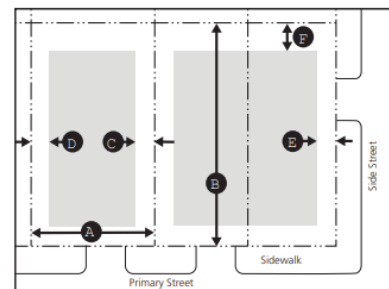
See Section 6.

7.6.2 Building Types Permitted and Related Standard						
Building Type	Minimum Lot Frontage <b>A</b>	Minimum Lot Depth <b>B</b>	Minimum Interior Side Yard Setback One Side <b>C</b>	Min. Interior Side Yard Setback Opposite Side <b>D</b>	Minimum Flankage Setback	Minimum Rear Yard Setback
<i>A single detached dwelling street access attached private garage</i>	8.5 m	22 m	1.2 m	0.6 m	2 m	7 m <sup>1</sup>
<i>A single detached dwelling street access detached private garage or parking pad</i>	8.5 m	22 m	3 m	0.6 m	<b>E</b> 2 m	<b>F</b> 7 m <sup>1</sup>
<i>A single detached dwelling attached rear private garage accessed from the front or side</i>	9 m	26 m	3 m	0.6 m	2 m	0.3 m
<i>A single-detached dwelling with lane access</i>	8 m	17 m	1.2 m	0.6 m	2 m	0.75 m
<i>Semi-detached dwelling unit street access attached private garage</i>	5.5 m / unit	22 m	0.9 m	0.0 m	2 m	7 m
<i>Semi-detached dwelling unit street access detached private garage or attached rear private garage accessed from front or side</i>	5.5 m / unit	26 m	3 m	0.0 m	2 m	0.3 m



7.6.2 Building Types Permitted and Related Standard						
Building Type	Minimum Lot Frontage <b>A</b>	Minimum Lot Depth <b>B</b>	Minimum Interior Side Yard Setback One Side <b>C</b>	Min. Interior Side Yard Setback Opposite Side <b>D</b>	Minimum Flankage Setback <b>E</b>	Minimum Rear Yard Setback <b>F</b>
<i>Semi-detached dwelling unit with lane access</i>	5.5 m / unit	17 m	0.9 m	0.0 m	2 m	0.75 m
<i>Triplex or duplex</i>	7 m	23 m	1.5 m	1.5 m	2 m	0.75 m
<i>Townhouse dwelling unit street access private garage</i>	4.9 m / unit	23 m	Interior Unit 0.0 m Exterior Unit 1.2 m	Interior Unit 0.0 m Exterior Unit 1.2 m	2 m	6 m
<i>Townhouse dwelling unit with lane access</i>	5.5 m / unit	17 m	Interior Unit 0.0 m Exterior Unit 1.2 m	Interior Unit 0.0 m Exterior Unit 1.2 m	2 m	0.75 m
<i>townhouse dwelling unit back to back</i>	5.5 m / unit	12 m	Interior Unit 0.0 m Exterior Unit 1.2 m	Interior Unit 0.0 m Exterior Unit 1.2 m	2 m	0.0 m

<sup>1</sup> The minimum rear yard setback may be reduced to 3.0 m for a one storey addition for a maximum of 45% of the dwelling width measured at the rear of the main building. The one storey addition shall have a maximum vertical distance of 4.0 m measured between the finished floor level of the first storey and the highest point of the roof of the one storey addition. (2022-007)



The grey represents potential building area. The internal dashed line represents the maximum yard.

### 7.6.3 Front Yard Types Permitted - Minimum Setback

*Common Yard* - 2.5 m  
*Porch Yard* - 2.5 m  
*Inset Porch Yard* - 2.5 m

### 7.6.4 Permitted Yard Encroachments

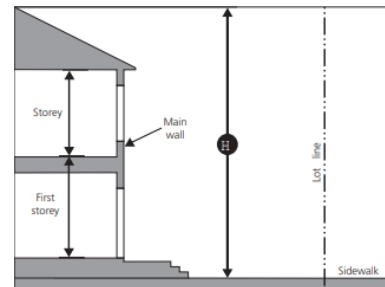
See Section 4.21

### 7.6.5 Maximum Height

Ⓜ 3 storeys

### 7.6.6 Parking

See Section 5



Height is measured to the tallest point of a building.

7.6.7 Accessory Buildings and Structures	
See the following sections with respect to standards for:	
<i>Accessory buildings and structures other than private garages and walkways</i>	See Section 4.14
<i>Detached private garages accessed by a driveway from a street</i>	See Section 4.15
<i>Detached private garages accessed by a lane</i>	See Section 4.16
<i>Attached private garages accessed by a lane</i>	See Section 4.17
<i>Attached private garages accessed by a street</i>	See Section 4.18
<i>Standards for parking pads</i>	See Section 4.19
<i>Enclosed and roofed walkways</i>	See Section 4.20

### 7.6.8 Minimum Landscape Area

Minimum *landscape area* - 10 %

### 7.6.9 Performance Zone Categories – General Urban (GU) Zone

#### 7.6.9.1 General Urban Performance (GU-1) Zone 1

The regulations of the *GU Zone* shall apply in the General Urban Performance (GU-1) *Zone 1*, however, in addition an elementary *public school* shall be a permitted use subject to the regulations of the Institutional (I) *Zone*.

#### 7.6.9.2 General Urban Performance (GU-2) Zone 2

The permitted *uses, buildings* and regulations of the *GU Zone* shall apply in the General Urban Performance (GU-2) *Zone 2*, however, notwithstanding the provisions of Section 5.1.3, Location of *Park-*

*ing Spaces*, the required *parking spaces* for any *use* may be located on the *lot* on which the *use* is located, and/or on one half of the *street* abutting the *lot* where the on-street parking is permitted.

### 7.6.9.3 General Urban Performance (GU-3) Zone 3

The permitted *uses, buildings* and regulations of the *GU Zone* shall apply in the General Urban Performance (GU-3) *Zone 3*, however, notwithstanding the provisions of Sections 4.15.2 and 4.16.3, *Maximum Height for Private Garages*, the maximum *height* if the *lot frontage* is 9 metres or more, for a roof, other than a flat roof, shall be 9 metres.

## Natural Heritage System Zone

### 7.14 Natural Heritage System (NHS) Zone Regulations

(2012-001)

#### 7.14.1 Permitted Uses

- i. The *uses* as permitted in Section 4.3.1;
- ii. *Infrastructure* located within one of:
  - a. A *public street*; or,
  - b. A future *public street* for which an Environmental Assessment has been completed or a Planning Act approval has been received.
- iii. The *use* of legally existing *buildings* and *structures* by new *accessory uses*.

#### 7.14.2 Building Types Permitted

Legally existing *buildings* and *structures*.

#### 7.14.3 Parking Standards

See Section 5

#### 7.14.4 Performance Zone Categories – Natural Heritage System (NHS) Zone

##### 7.14.4.1 Natural Heritage System Performance (NHS-1) Zone 1

In addition to the *uses* permitted in the Natural Heritage System (NHS) *Zone* in Section 6, *stormwater management facilities* and *accessory uses, accessory buildings* and *accessory structures* shall be permitted in the Natural Heritage Performance (NHS-1) *Zone 1*.

##### 7.14.4.2 Natural Heritage System Performance (NHS-2) Zone 2

In addition to the *uses* permitted in the Natural Heritage System (NHS) *Zone* in Section 6, a private *driveway* with a maximum width of 6 m shall be permitted in the Natural Heritage Performance (NHS-2) *Zone 2*.

#### OMB Appeals

7.14.1(ii) Appeal seeks additional permitted locations for infrastructure. Section is otherwise in effect.

PL100041  
(2009-189 original passage)

### 7.14.4.3 Natural Heritage System Performance (NHS-3) Zone 3

In addition to the *uses* permitted in the Natural Heritage System (NHS) Zone in Section 6, the legally existing *buildings* and *structures* in the Natural Heritage Performance (NHS-3) Zone 3 may be used, in addition to any legally existing *uses*, for institutional *uses* including an *art gallery* and *art school*.

## 4.21 Encroachments Permitted in Required Yards

Every *yard* shall be open and unobstructed from the ground to the sky by any *structures*, except for:

- i. lawful fences, signs, and retaining, noise and ornamental walls;
- ii. *driveways* and walks; and,
- iii. the encroachments listed in Table 4.21 which are permitted in association with either the main *building*, or an *accessory buildings* or *structures*, subject to compliance with the regulations listed in the columns of the Table 4.21.

**Table 4.21 - Permitted Encroachments into Required Yards**

	<b>Structure</b>	<b>Yard in which Structure is Permitted</b>	<b>Maximum projection into required yard</b>	<b>Minimum Distance from Lot Line<sup>1</sup></b>
(a)	Sills, belt courses, cornices, coves, pilasters, eaves, gutters, awnings, canopies or other non-structural architectural features	All	0.6m	n/a
(b)	Fire Escapes	<i>Rear &amp; Side</i>	1.5m	0.6m from the <i>lot line</i>
(c)	Exterior stairways	<i>Rear &amp; Side</i>	1.5m	0.6m from the <i>lot line</i>
(d)	<i>Balconies</i>	<i>All</i>	1.5m	1.5m unless overtop a <i>porch</i> in which case the <i>setbacks</i> shall be the same <i>setbacks</i> as the <i>setback</i> for a <i>porch</i> under sub-section (e)

**Table 4.21 - Permitted Encroachments into Required Yards**

<b>Structure</b>	<b>Yard in which Structure is Permitted</b>	<b>Maximum projection into required yard</b>	<b>Minimum Distance from Lot Line<sup>1</sup></b>
(e) <i>Uncovered platforms 0.6 m or greater in height measured from surrounding grade and porches, including a balcony on top of a porch including vertical supports and a roof above and landings. However, any exterior stair required to provide access to an uncovered platform or porch shall be permitted to encroach into any required yard.</i>	<i>Front</i>	1.5m	1m from the <i>front lot line</i> with exception of any exterior stair which may encroach to within 0.5m of the <i>front lot line</i> .
	<i>Rear</i>	2.5m	0.6m from the <i>rear lot line</i>
	<i>Interior Side</i>	n/a	0.6m from the <i>interior side lot line</i> except: i. where the platform is designed to allow drainage to occur underneath in which case the min. <i>setback</i> shall be 0m; and, ii. for <i>townhouse</i> and <i>semi detached</i> units in which case it may be 0m from an interior common wall
	<i>Flankage</i>	n/a	1m from the <i>flankage</i> with the exception of any exterior stair which may encroach to within 0.5m of the <i>flankage</i>
(f) Chimneys and gas fireplace projections and chases (with a maximum width of 1.8m)	<i>Front &amp; Flankage</i>	0.6m	1m from the <i>front lot line</i> and <i>flankage</i>
	<i>All other yards</i>	0.6m	0.6m from the <i>lot line</i>
(g) Bay, Box out and Bow Windows with or without foundations with a maximum width of 3m which may be a maximum of three storeys in height and which may include a door.	<i>Front &amp; Flankage</i>	0.6m	1m from the <i>front lot line</i> and <i>flankage</i>
	<i>All other yards</i>	0.6m	0.6m from the <i>lot line</i>
(h) Uncovered stairs below grade accessing a main building	<i>Rear</i>	1.5m	0.6m from the <i>lot line</i>
	<i>Side</i>	0m	1.5m
(i) <i>Uncovered platforms less than 0.6m in height measured from surrounding grade</i>	<i>Front</i>	1.5m	1m from the <i>front lot line</i> and <i>flankage</i>
	<i>Interior Side</i>	n/a	0.6m from the <i>interior side lot line</i> except: i. where the platform is designed to allow drainage to occur underneath in which case the minimum <i>setback</i> shall be 0m; and, ii. for <i>townhouse</i> and <i>semi detached</i> units in which case it may be over 0m from an interior common wall
	<i>All other yards</i>	n/a	0.6m from the <i>lot line</i>
(j) Unenclosed barrier free ramps	All	n/a	0.6m from the <i>lot line</i> unless the ramp is designed to allow drainage to occur underneath in which case the minimum <i>setback</i> shall be 0m

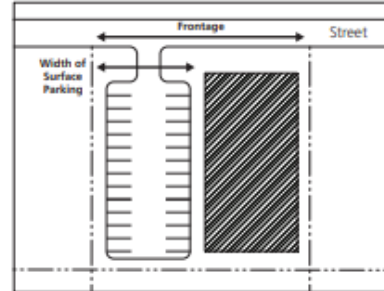
Minimum distance from lot line does not apply where minimum building setback is 0 metres.

## Parking and Loading Regulations

### 5.1.6 Surface Parking Area Location

Where *surface parking areas* are permitted on lots which abut Trafalgar Road, the maximum *lot frontage* or *flankage* on Trafalgar Road occupied by *surface parking area* shall be:

<i>Office building</i>	50%
<i>Mixed use and apartment buildings</i>	20%
<i>Commercial buildings</i>	20%
<i>Parking garage</i>	5%
<i>Institutional building</i>	5%
<i>Hotel</i>	5%
<i>Commercial/Residential buildings</i>	5%



*Surface Parking Frontage.*

This shall be measured as the maximum percentage of *lot frontage* or *flankage* occupied by *surface parking area* where no *building edge* is located within 6 metres of the Trafalgar Road *lot frontage* or *flankage*. The only exception shall be where the By-law permits a greater *front yard* or *flankage setback*, in which case that setback shall apply.

### 5.1.7 Hardscape Surface Treatment (2022-007)

All *parking spaces*, *tandem parking spaces*, *parking pad*, *loading dock*, aisles and *driveways* in any Zone other than a Natural Heritage Zone shall be surface treated with asphalt, concrete, interlocking brick, similar hardscaped surface, or other material sufficient to provide stability, prevent erosion, be usable in all seasons, and allow infiltration of surface water.

**Table 5.1A - Parking Requirements For Residential Uses**

(4)	<i>Apartment - More than 4 storeys</i>	Up to 1.25 <i>parking spaces</i> per <i>dwelling unit</i> , plus 0.2 <i>parking spaces</i> per <i>dwelling unit</i> for visitors. Additional <i>parking spaces</i> shall not be permitted. In the Trafalgar Urban Core Zone, no <i>parking spaces</i> shall be permitted in a <i>surface parking area</i> , with the exception of visitor <i>parking spaces</i> which may be located underground, in a <i>parking garage</i> or in a <i>surface parking area</i> .
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**Table 5.1B - Parking Requirements For Non-Residential Uses**

(4)	<i>Café</i>	No <i>parking spaces</i> shall be required and a maximum of 1 <i>parking space</i> per 20 square metres of <i>leasable floor area</i> shall be permitted.  In the Trafalgar, Dundas, Neyagawa and Palermo Village North Urban Core Zones, no additional <i>parking spaces</i> above the minimum shall be permitted, unless such parking is located in a <i>parking garage</i> or <i>on-street</i> .
(5)	<i>Club</i>	1 <i>parking space</i> per 30 square metres of <i>leasable floor area</i> minimum; and,  1 <i>parking space</i> per 20 square metres of <i>leasable floor area</i> maximum.  In the Trafalgar Urban Core Zone, no additional <i>parking spaces</i> above the minimum shall be permitted, unless such parking is located in a <i>parking garage</i> .
(6)	<i>Commercial fitness centre; or, Place of amusement</i>	1 <i>parking space</i> per 30 square metres of <i>leasable floor area</i> minimum; and,  1 <i>parking space</i> per 20 square metres of <i>leasable floor area</i> maximum.  In the Trafalgar Urban Core Zone, no additional <i>parking spaces</i> above the minimum shall be permitted, unless such parking is located in a <i>parking garage</i> .
(7)	<i>Commercial residential -combined</i> (mixed use)	The applicable regulations for <i>non-residential uses</i> apply to the non-residential <i>floor area</i> , while the applicable residential regulations apply to the <i>dwelling units</i> .
(8)	<i>Commercial residential -connected</i> (live-work)	Residential Component: 1 <i>parking space</i> minimum and 2 <i>parking spaces</i> maximum per <i>dwelling unit</i> which may be provided in tandem; and,  Commercial Component: i) up to 90 square metres - 2 <i>parking spaces</i> ii) over 90 square metres - the applicable regulations for <i>non-residential uses</i> apply to the non-residential <i>floor area</i>
(9)	<i>Commercial school</i>	1 <i>parking space</i> per 30 square metres of <i>leasable floor area</i> minimum; and,  1 <i>parking space</i> per 20 square metres of <i>leasable floor area</i> maximum.  In the Trafalgar Urban Core Zone, no additional <i>parking spaces</i> above the minimum shall be permitted, unless such parking is located in a <i>parking garage</i> .
(10)	<i>Commercial self storage</i>	1 <i>parking space</i> per 650 square metres of <i>leasable floor area</i> minimum.

## Section 3.0

## Definitions

“**stormwater management facility**” means an end-of-pipe, managed detention or retention basin, which may include a permanent pool, designed to temporarily store and treat collected stormwater runoff and release it at a controlled rate or direct it for an intended *reuse*. (2012-001)