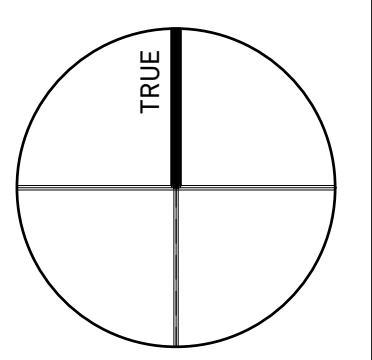


APA RESIDENCE
NEW RESIDENCE

21 PEBBLERIDGE PLACE
OAKVILLE ONTARIO

PROJECT NORTH ENG. STAMP



BCN STAMP

OBC REGISTRATION

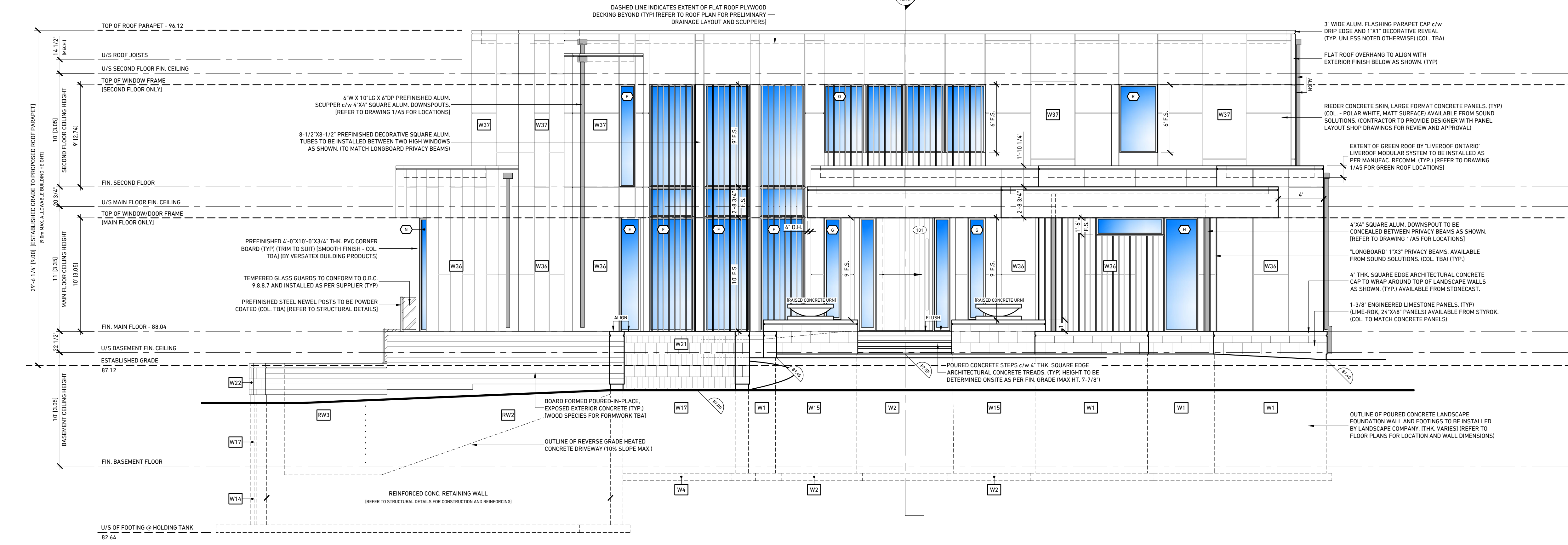
D. SANGER-SMITH, DCLARA THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN OR REVIEW OF A PLAN REGISTERED UNDER SUBSECTION 13.1 OF THE ONTARIO BUILDING CODE I AM REGISTERED, AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION.

MAR 4/26 DATE

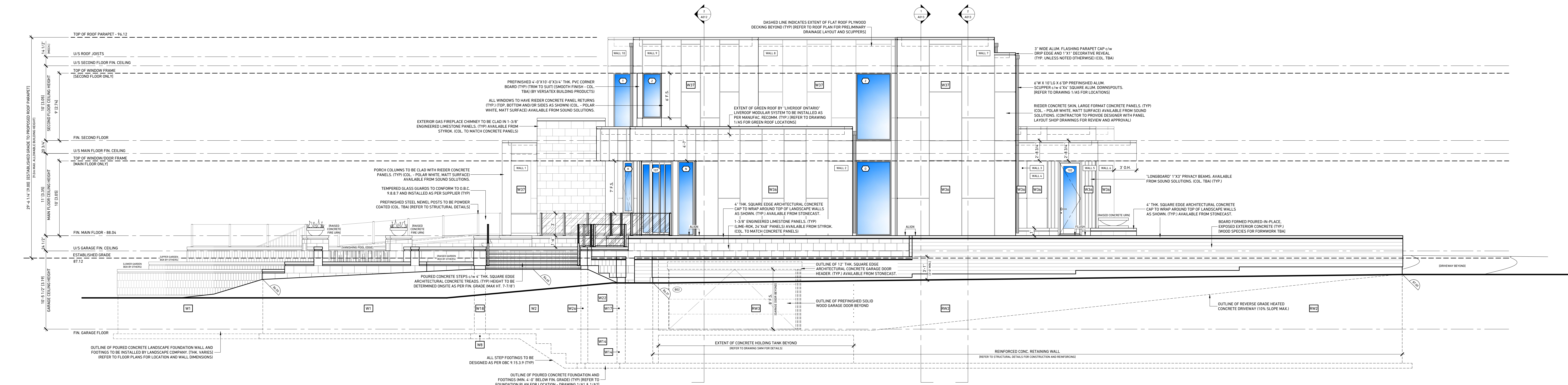
D. Sanger-Smith
STRUCTURED CREATIONS

D. SANGER-SMITH, B.A.R.C.H. BCN 26286

STRUCTURED CREATIONS INC. BCN 25617



1 PROPOSED FRONT (NORTH) ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED SIDE (EAST) ELEVATION
SCALE: 3/16"=1'-0"

GENERAL NOTES

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING ADJACENT STRUCTURES AND SERVICES BY THE WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF STRUCTURED CREATIONS. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED ELECTRICAL PERMITS PERTAINING TO THIS PROJECT. ALL WORK PERFORMING AND APPROVALS OF ELECTRICAL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR TO NOTIFY DESIGNER OF ANY CONFLICTS PERTAINING TO PROPOSED MECHANICAL, DUCTWORK AND STRUCTURE PRIOR TO CONSTRUCTION AND INSTALLATION.

CONTRACTOR TO PROVIDE STRUCTURED CREATIONS INC. WITH WINDOW SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING. CONTRACTOR TO COORDINATE WITH THE WINDOW COMPANY FOR ON-SITE MEASUREMENTS OF FRAMING/CONSTRUCTION CONDITIONS TO CONFIRM ALL NEW AND EXISTING WINDOW SIZES PRIOR TO ORDERING. CONTRACTOR AND WINDOW COMPANY TO VERIFY ALL PROPOSED WINDOW SIZES WITH STANDARD WINDOW COMPANY FRAME SIZES AND INFORM DESIGNER OF ANY COMPLICATIONS DUE TO CUSTOM SIZES AND ASSOCIATED COSTS AS A RESULT PRIOR TO ORDERING.

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NO.	DATE	ISSUE/REVISION	BY
1	29.02.24	RIT DESIGN PRESENTATION	D.S.S.
2	28.04.24	REV 2 ISSUED FOR REVIEW	D.S.S.
3	01.06.24	ISSUED FOR FINAL APPROVAL	D.S.S.
4	07.08.24	REV 1 FOR COA	D.S.S.
5	01.08.24	SUB FOR COA	D.S.S.
6	16.07.24	ISSUED FOR ZONING REV	D.S.S.
7	13.07.25	SUB FOR DEFERRAL COA	D.S.S.
8	03.02.25	SUB FOR DEFERRAL COA	D.S.S.
9	05.03.26	SUB FOR COA	D.S.S.

PROPOSED EXTERIOR ELEVATIONS AND NOTES

DESIGN BY	DRAWN BY	APPROVED BY
D.S.S.	D.S.S.	D.S.S.
SCALE	DATE	PROJECT #
3/16"=1'-0"	MAR 5/26	23-053

DRAWING #

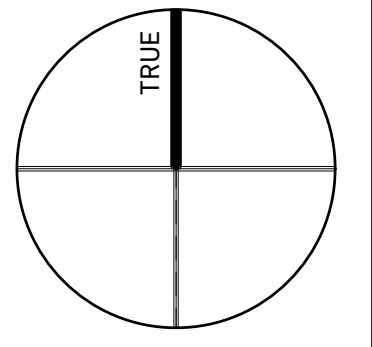
A201

APA RESIDENCE
NEW RESIDENCE

21 PEBBLEIDGE PLACE
OAKVILLE ONTARIO

PROJECT NORTH

ENG. STAMP



BCN STAMP

BCN REGISTRATION

D. SANGER-SMITH, B.A.R.C.H. I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 13.1 OF THE ONTARIO BUILDING CODE. I AM REGISTERED, AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORIES.

MAR 5/26

DATE

D. Sanger-Smith
Signature of D. Sanger-Smith

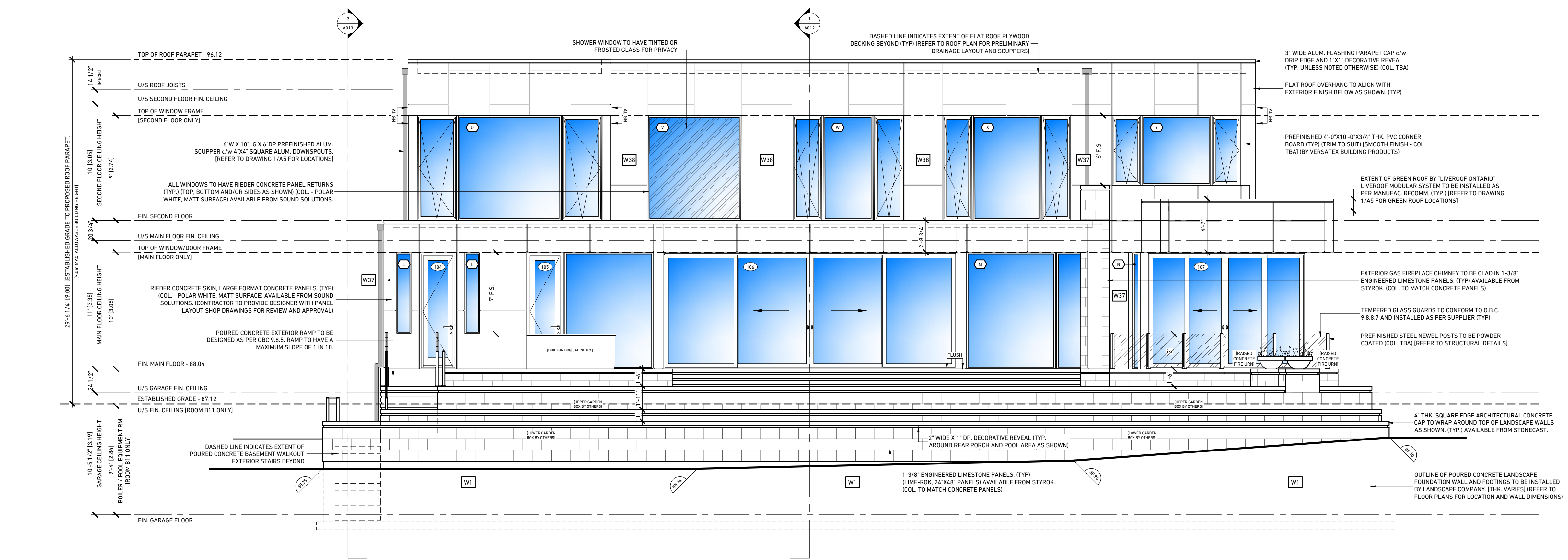
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BCN 26286

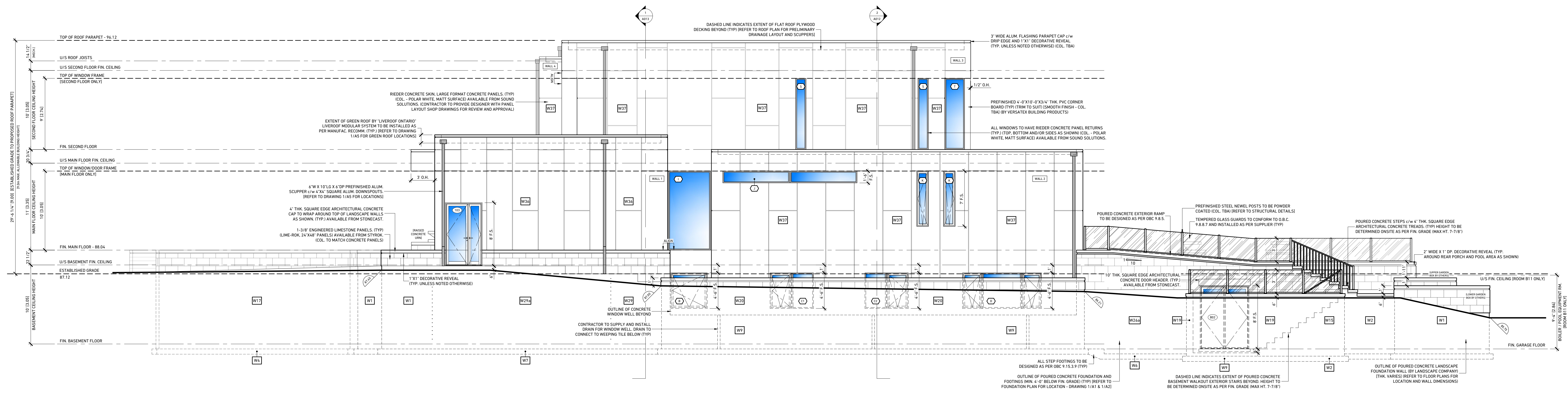
STRUCTURED CREATIONS INC.

BCN 29617

1 PROPOSED REAR (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED SIDE (WEST) ELEVATION
SCALE: 3/16"=1'-0"



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PROPOSED EXTERIOR ELEVATIONS AND NOTES

DESIGN BY	DRAWN BY	APPROVED BY
D.S.S.	D.S.S.	D.S.S.
SCALE	DATE	PROJECT #
3/16"=1'-0"	MAR 5/26	23-053

DRAWING #

A202

Committee of Adjustment Notice of Decision

under Section 45 of the *Planning Act*, R.S.O. 1990 c. P13

FINAL



File No. A/165/2024

Applicant / Owner	Authorized Agent	Property
F. APA	Jim Levac Glen Schnarr and Associates Inc. 700-10 Kingsbridge Garden Cir Mississauga ON L5R 3K6	21 Pebbleridge Pl PLAN M1248 LOT 10 RP 20R22193 PART 5

Zoning of property: RL1-0, Residential, By-law 2014-014, as amended

The request made under Section 45(1) of the *Planning Act* has been **approved** to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances:

No.	Current	Proposed
1.	Table 6.3.1 (Row 5, Column RL1) The minimum interior side yard shall be 4.2 m.	To reduce the minimum easterly interior side yard to 3.25 m.
2.	Table 6.3.1 (Row 6, Column RL1) The minimum rear yard shall be 10.5 m.	To reduce the minimum rear yard to 8.52 m.
3.	Table 6.3.1 (Row 9, Column RL1) The maximum dwelling depth shall be 20.0 m.	To increase the maximum dwelling depth to 33.77 m.
4.	Table 6.4.1 The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1301.00 m ² or greater shall be 29%.	To increase the maximum residential floor area ratio to 34.25%.
5.	Table 6.4.2 (Row 1, Column 3) The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 33.95%.

The Committee considered all relevant information including the applicant's submission materials and presentation, observations from their site visit, town staff and agency comments, and written submissions from the public in support of the application. The Committee is of the opinion that the variances are considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan and zoning by-law subject to the following conditions:

- That the dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated August 5, 2025;
- The approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction;
- That the applicant receive final approval of a scoped Site Plan application, to the satisfaction of the Director of Planning and Development.

Signed by:


 M. Telawski, Member
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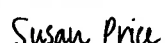
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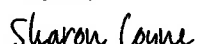
 S. Dickie, Member
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Signed by:

 S. Mikhail, Chair
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Signed by:

 J. Hardcastle, Member
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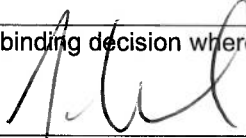
Signed by:

 S. Price, Member
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Signed by:

 S. Coyne, Asst. Secretary-Treasurer
A04583BF00B141C...

Dated at the hearing held on October 29, 2025.

This decision is subject to appeal to the Ontario Land Tribunal (OLT) by filing with the OLT e-file service, or through the Town of Oakville's Committee of Adjustment office, **no later than 4:30 p.m. on November 18, 2025.**

I hereby certify this is a copy of the Committee of Adjustment final and binding decision whereby no appeals were filed.


for S. Coyne, Asst. Secretary-Treasurer

Notes:

1. Further approvals from the Town of Oakville may be required (i.e. building permit, site plan approval, driveway permit, road corridor permit, private tree protection permit, zoning certificate, pool permit, site alteration permit, licence, etc.)



JUSTIFICATION REPORT – 21 PEBBLERIDGE PLACE, OAKVILLE, ON

March 12, 2026

A previous Committee of Adjustment application (File No. A/165/2024) was submitted to the Town in August 2024 and received approval in October 2025. A Building Permit application was subsequently submitted in December 2025. Through the Town's technical review of the permit submission, staff identified several additional minor variances that are required in order for the proposed development to proceed to permit issuance.

Variance 1

To permit a maximum window well width of 16.37m, whereas a maximum width of 1.8m is permitted.

Variance 2

To permit a maximum window well encroachment of 0.85m into the minimum westerly interior side yard, whereas a maximum window well encroachment of 0.6m into a minimum yard is permitted.

Along the south elevation of the proposed residence, a 16.37 m wide window well (refer to Diagram 1) has been designed to accommodate a series of larger basement windows serving several rooms within the proposed basement level. The window well projects 0.84 m into the required 4.2 m side yard setback. The applicable zoning by-law permits a window well projection of up to 0.60 m into the required setback, provided the window well does not exceed 1.8 m in width, however, a projection of 0.0m is permitted for window wells greater than this.

Due to the number of windows required along this elevation, as well as the desired window widths to provide adequate natural light to the basement spaces, it was determined that a single continuous window well would provide a more appropriate design solution than a series of smaller individual window wells. A series of smaller wells would have significantly restricted the width of the windows and reduced the amount of natural light entering the basement rooms. The proposed design therefore allows for larger windows and improved daylighting while maintaining a clean and cohesive exterior treatment along this elevation.

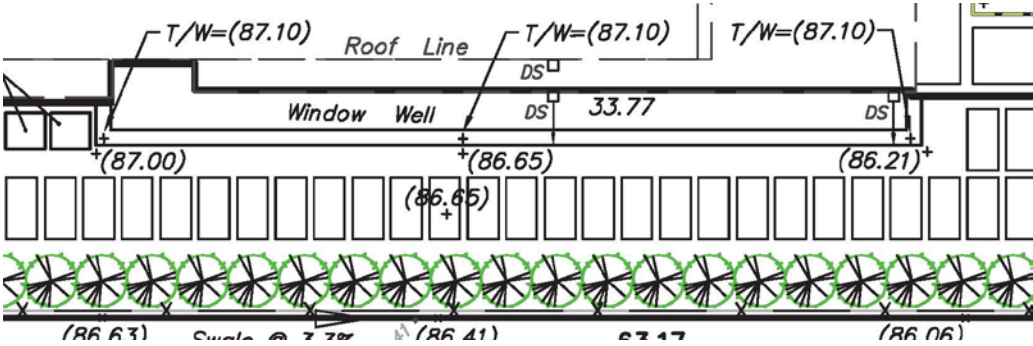


Diagram 1 – Proposed window well



Variance 3

To permit an uncovered access stairs below grade with a maximum encroachment of 1.10m into the minimum westerly interior side yard, whereas a maximum encroachment of 0.0m into a minimum interior side yard is permitted.

As part of the original design, a below grade storage room was accommodated for to house the pool equipment as well as provide storage for outdoor furniture in the off seasons (refer to diagram 2 below). Due to the grade difference from the front to the rear of the property

Due to the grade difference from the front to the rear of the property, the most practical and functional way to access this storage area is through an exterior stair located along the side of the dwelling. This stair provides safe and convenient access while maintaining the storage area below grade and visually unobtrusive within the overall landscape design.

The encroachment is minor in nature and does not impact the overall building footprint or create any additional massing within the setback area.

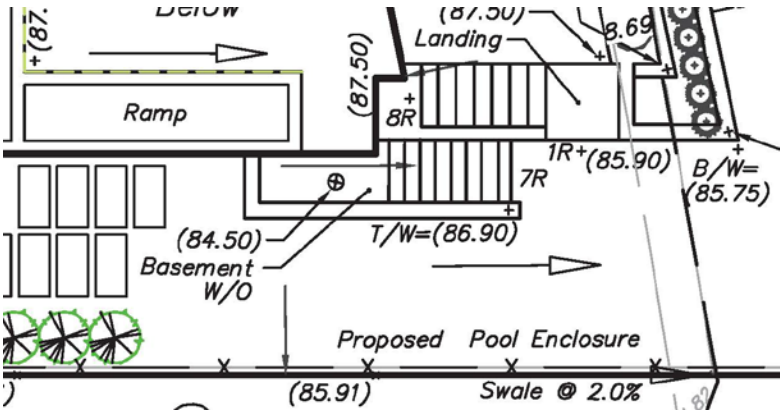


Diagram 2 – Proposed access stairs to below grade outdoor storage room



Variance 4

To increase the maximum front yard to 25.34m whereas a maximum of 16.0m is permitted.

The existing lot is pie-shaped and located along the inside curve of the roadway. As a result, the front property line follows the curvature of the road and does not allow the proposed dwelling to align parallel with the street in a typical manner. The proposed south corner of the home has a setback of 19.75 m, reflecting the angled orientation of the building on the lot.

The positioning of the proposed dwelling was influenced by several site-specific design considerations. Due to the narrow frontage of the property, incorporating a larger attached garage in a conventional orientation would not conform to the zoning by-law requirements and would also create an undesirable architectural condition with the garage dominating the front elevation. To address this constraint, the design incorporates a reverse-grade driveway leading to a garage integrated into the lower level of the home.

In order to achieve the required ramp length for safe vehicle access, while also maintaining a well-proportioned and balanced front elevation, the dwelling was positioned as illustrated in Diagram 3. This placement allows the building mass to be appropriately distributed across the lot and prevents the front façade from becoming overly narrow or compressed.

Additionally, the proposed location aligns the dwelling more consistently with the newer residential development located to the west, helping to maintain a cohesive streetscape condition.

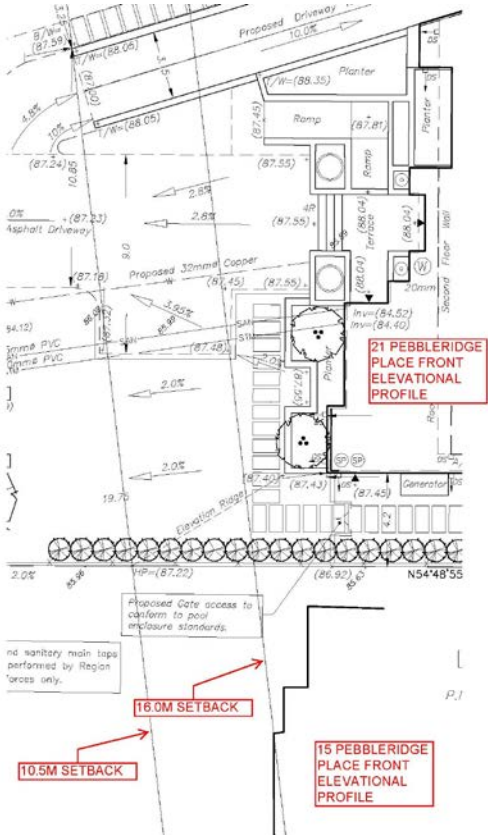


Diagram 3 – Lot frontage for 15 and 21 Pebbleridge Place

It should also be noted that the design presented with this application is consistent with the design previously reviewed and approved by the Committee of Adjustment under Application File No. A/165/2024. The current application relates only to additional technical variances identified through the Town's building permit review.

In conclusion, the requested variances are considered minor in nature and arise primarily from the unique physical characteristics of the property, including the pie-shaped lot configuration, the curvature of the roadway, and the significant grade change across the site.

The proposed variances allow the dwelling and associated site features to function appropriately while maintaining a balanced architectural design and improving the usability of the interior and exterior spaces. The requested relief represents a practical design solution that responds to the constraints of the lot without creating adverse impacts on surrounding properties.

The variances maintain the general intent and purpose of the Zoning By-law, as the overall spatial relationships and setbacks remain appropriate. The proposal also maintains the intent of the Official Plan, as the development represents compatible residential development that integrates appropriately within the surrounding neighbourhood context.

The requested variances are technical in nature and arise largely from site conditions and design constraints rather than from any attempt to increase building mass or density on the property. Based on the above, it is respectfully submitted that the application meets the four tests under Section 45(1) of the Planning Act, and approval of the requested variances is therefore requested.

Regards,

Darren Sanger-Smith, B.Arch,
Principle
Structured Creations Inc

VARIANCE LIST – 21 PEBBLERIDGE PLACE, OAKVILLE, ON**March 12, 2026**

The following list of variances are determined by Building Permit application 2025 131751 000 00 BDP.

1. To permit a maximum window well width of 16.37m, whereas a maximum width of 1.8m is permitted
2. To permit a maximum window well encroachment of 0.85m into the minimum westerly interior side yard, whereas a maximum window well encroachment of 0.6m into a minimum yard is permitted.
3. To permit an uncovered access stairs below grade with a maximum encroachment of 1.10m into the minimum westerly interior side yard, whereas a maximum encroachment of 0.0m into a minimum interior side yard is permitted.
4. To increase the maximum front yard of 25.34m whereas a maximum of 16.0m is permitted.