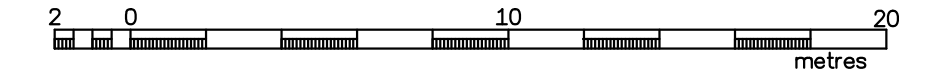


LOT 86
REGISTERED PLAN 716
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200



RUDY MAK SURVEYING LTD.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- 2) THE SURVEY WAS COMPLETED ON THE 15TH DAY OF JULY, 2025.

JULY 22, 2025
DATE

GURJIT MAHANT
ONTARIO LAND SURVEYOR

CAUTION

ONLY A SIGNED EMBOSSED COPY OF THIS PLAN CAN BE CONSIDERED AS AN ORIGINAL PLAN.

BEARING NOTE

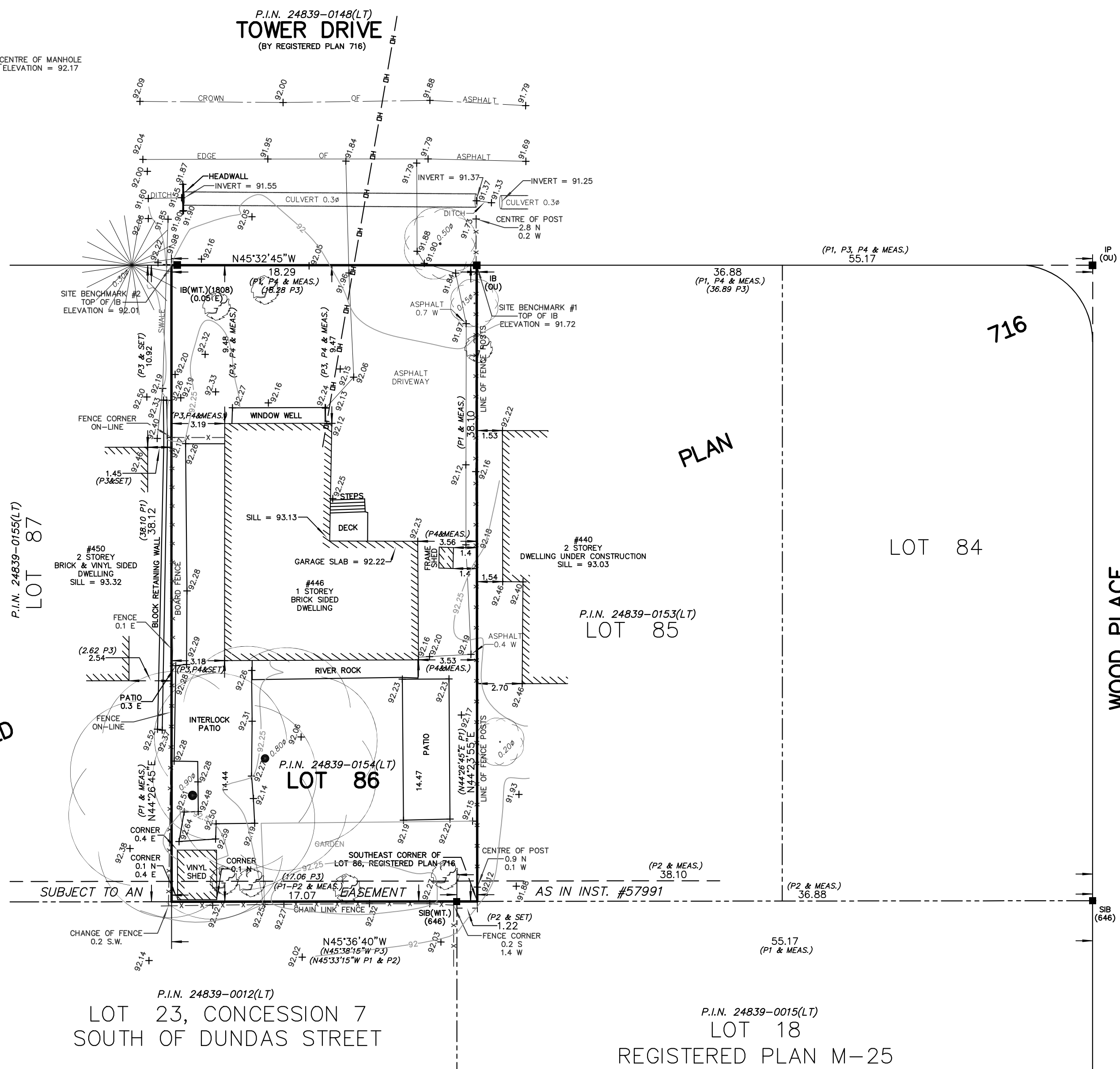
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010 EPOCH).

FOR BEARING COMPARISONS, A ROTATION OF 0°49'45" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON (P1), (P2) & (P3).

LEGEND

- DENOTES FOUND SURVEY MONUMENT
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- IP DENOTES IRON PIPE
- x- DENOTES FENCING
- ⊕ DENOTES MANHOLE
- DH- DENOTES OVERHEAD WIRES
- (646) DENOTES R.G. SEWELL, O.L.S.
- (1808) DENOTES J.H. GELBLOOM, O.L.S.
- (OU) DENOTES ORIGIN UNKNOWN
- (WIT.) DENOTES WITNESS
- (P1) DENOTES REGISTERED PLAN 716
- (P2) DENOTES REGISTERED PLAN M-25
- (P3) DENOTES SURVEYOR'S REAL PROPERTY REPORT BY: J.H. GELBLOOM, O.L.S. DATED: DECEMBER 8, 2021.
- (P4) DENOTES PLAN OF SURVEY BY: H.D. SEWELL, O.L.S. DATED: JUNE 23, 1959.
- DENOTES DECIDUOUS TREE
- ☀ DENOTES CONIFEROUS TREE
- 🌿 DENOTES SHRUB

P.I.N. 24839-0148(LT)
TOWER DRIVE
(BY REGISTERED PLAN 716)



**SURVEYOR'S REAL PROPERTY REPORT
(PART 2) REPORT SUMMARY**

Description of Land
LOT 86, REGISTERED PLAN 716 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON
Registered easements and/or Right-of-Ways
PARCEL IS SUBJECT TO AN EASEMENT AS IN INST. #57991 AS SHOWN ON THE FACE OF THE PLAN AS PER CURRENT TITLE OF P.I.N. 24839-0154(LT).
NO RESEARCH WITH RESPECT TO INDIGENOUS RIGHTS OR INTERESTS CREATED PRIOR TO THE CROWN PATENT HAS BEEN UNDERTAKEN.
NOTE: EASEMENTS AND FURTHER RESTRICTIONS ON ANY OR ALL OF THE PARCEL MAY BE FOUND IN THE ORIGINAL CROWN PATENT, ZONING BY-LAWS, OFFICIAL PLANS, SUBDIVISION AGREEMENTS, DEVELOPMENT AGREEMENTS ETC., AND THIS SURVEY AND PLAN HAS NOT SEARCHED FOR THESE RESTRICTIONS, NOR DO WE ACCEPT ANY LIABILITY WITH RESPECT TO ANY OF THESE ELEMENTS.
Boundary Issues
NONE.
Compliance with Municipal Zoning By-Laws
Not certified by this Report.
Additional Remarks
NOTE LOCATION OF FENCES, EDGE OF ASPHALT, DRIVEWAYS, RETAINING WALL, GARDEN, PATIOS AND ALL STRUCTURES.

THIS REPORT WAS PREPARED FOR ENRI PRIFTI AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

ELEVATION NOTE:
ELEVATIONS ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) USING THE LEICA SMARTNET NETWORK (2010 EPOCH) AND ARE REFERRED TO THE CGVD28:1978 (HTV2.0) DATUM.

BENCHMARK #1
SITE BENCHMARK IS THE TOP OF THE IB LOCATED AT THE NORTHEAST CORNER OF LOT 86, HAVING AN ELEVATION OF 91.72.

BENCHMARK #2
SITE BENCHMARK IS THE TOP OF THE SIB LOCATED AT THE NORTHWEST CORNER OF LOT 86, HAVING AN ELEVATION OF 92.01.

TIE DISTANCES NOTE:
ALL TIES SHOWN AS N, S, E AND W PROJECTING

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

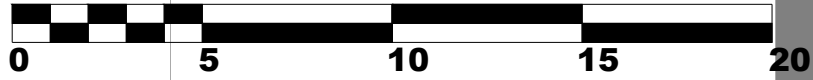
NOTES:
THIS PLAN DELINEATES THE FEATURES AS SHOWN AND VISIBLE, GIVEN THE SITE CONDITIONS. CONSTRUCTION ACTIVITY, FROZEN GROUND, SNOW COVER, ETC. MAY HAVE HIDDEN FEATURES OTHERWISE VISIBLE. THE LOCATION OF UNDERGROUND SERVICES, IF SHOWN, WAS DERIVED FROM PLANS OBTAINED FROM OTHER AGENCIES. RUDY MAK SURVEYING CANNOT BE HELD RESPONSIBLE FOR THE LOCATION AND ACCURACY OF UNDERGROUND SERVICES. THE LOCATION OF ALL SERVICES MUST BE VERIFIED ON SITE. ONLY A SIGNED AND SEALED PAPER COPY OF THIS SURVEY IS AN ORIGINAL COPY. NO DIGITAL VERSION OF THIS PLAN IS TO BE CONSIDERED "ORIGINAL" AND MAY HAVE BEEN ALTERED BY OTHERS.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V 1 0 4 2 1 0

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1026, Section 29(3).

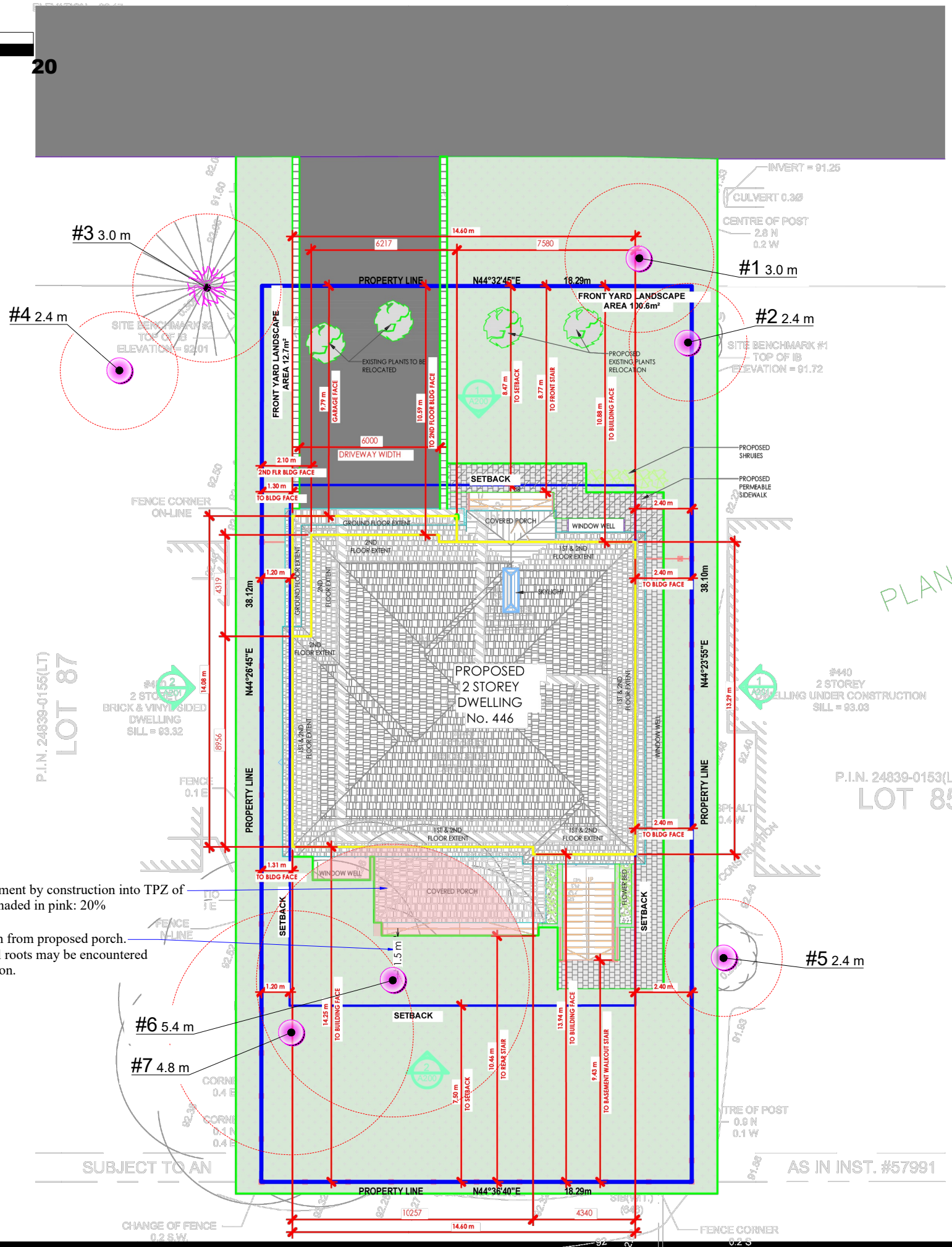
RUDY MAK SURVEYING LTD.
ONTARIO LAND SURVEYORS

732 DUNLOP STREET WEST
BARRIE, ONTARIO L4N 9X1 (705) 722-3845
E-MAIL MAIL@MAKSURVEYING.COM



NOTES:

- This is not a Tree Preservation Plan. This Tree Impact Plan is intended for zoning variance review. More information on tree protection measures and injury mitigation pertaining to the proposed construction can be obtained through a Tree Preservation Plan.
- Any construction work undertaken inside Tree Protection Zones or otherwise in proximity to trees must comply with the Town of Oakville Private and Town Tree By-laws and Urban Forestry requirements.



Encroachment by construction into TPZ of Tree #6 shaded in pink: 20%

Tree #6 is 1.5 m from proposed porch. Large structural roots may be encountered during excavation.

- NOTES:**
- All field data have been recorded by ISA Certified Arborist Connor Wixson (ON-2916A)
 - All tree locations are based on the site plan and/or survey supplied by the client, and field observation by the arborist.
 - This plan shall be used in conjunction with the Tree Protection Action Key (TPAK). Specific information regarding tree species, condition, and protection protocols are listed therein.
 - Refer to the Arborist Report prepared for this project for specific instruction regarding tree protection requirements.

PLAN KEY

- TREE RECOMMENDED FOR REMOVAL
- RETAINED TREE
- CONIFEROUS TREE FOR REMOVAL
- RETAINED CONIFEROUS TREE
- REPLACEMENT TREE
- RETAINED HEDGEROW
- HEDGEROW FOR REMOVAL
- TREE PROTECTION FENCE
- TREE PROTECTION ZONE

PLAN

N

No.	DATE	BY	REVISIONS
1	02/17/2026	CW	Tree Impact Plan
2	02/25/2026	CW	Revisions - new site plan
3	03/02/2026	CW	Revisions - new site plan



TITLE: Tree Impact Plan
446 Tower Drive
Oakville, ON
L6L 4R3

CLIENT: Enri Prifti

DRAWING NO.: 001	SCALE: 1:200
JOB NO.:	SHEET: 1 of 3

Arborist Letter

Tree Impact Plan

Prepared For:

Enri Prifti

Site Address:

446 Tower Drive
Oakville, ON
L6L 4R3

February 17, 2026

Revised: February 25, 2026

March 2, 2026

Prepared by:



Connor Wixson
Consulting Arborist
Davey Resource Group
ISA ON-2916A
(905) 961-8156
Connor.Wixson@Davey.com

©2026 Davey Resource Group. All rights reserved. This document must be used in conjunction with the tree inventory lists, and Tree Preservation Plans with arborist comments (these plans are to be printed on the correct size to ensure scalability). This document must be used in whole and with all pages.

The following Arborist Letter is with respect to the proposed construction at 446 Tower Drive in Oakville and the potential impacts to the trees in proximity to the proposed construction. This Letter is intended for zoning variance review and does not constitute a Tree Preservation Plan or Pre-Construction Arborist Report. The proposed construction includes demolition of the existing house and construction of a new two-storey house, removal of the existing driveway and installation of a new driveway in a different location in the front, and a proposed covered porch and basement walkout at the rear.

The site was inspected on February 17, 2026 by ISA Certified Arborist Connor Wixson (ON-2916A). Tools used to assess the trees included a metric DBH measuring tape, metric measuring tape, and a camera. Trees on and within 6 meters of the subject property were inventoried and assessed for their current condition and proximity to the proposed work. Trees that are 15 cm in diameter or greater on private or neighbouring properties, and City trees of any size, are regulated and require a permit to injure or remove. 7 trees were assessed on site: 3 private trees on the subject property, 2 private trees on adjacent properties, and 2 Town-owned trees. All 7 trees are subject to protection under Oakville's Private and Town Tree Protection By-laws.

Based on the provided site plan and on-site observations by the arborist, we expect that the proposed construction plans would impact 3 trees. The current plans show that construction would encroach on the Tree Protection Zones (TPZs) of Trees #1, 2, and 6. Recommendations for tree preservation, injury, or removal are based on the provided site plan and assume the use of common construction methods. Any proposed tree injuries or removals must be subject to detailed arborist review and Town approval. Tree impact assessments provided below assume that full tree protection and injury mitigation measures up to or exceeding Town of Oakville Urban Forestry standards will be implemented for all regulated trees for the duration of construction. More information on tree protection measures and injury mitigation pertaining to the proposed construction can be obtained through a Tree Protection Plan and Pre-Construction Arborist Report.

- Trees #1 and 2 will sustain injury from removal of the existing asphalt driveway in the TPZs. The impact on Trees #1-2 is expected to be low. Encroachment into the TPZ constitutes an injury and requires a tree permit from the Town of Oakville.
- Tree #6 will sustain injury from excavation for the proposed porch and cellar below and house foundation. Encroachment by the proposed construction into the TPZ of Tree #6 is 20%. The proposed porch will be located about 1.5 meters from Tree #6. Due to the proximity of the proposed porch to the tree, we anticipate that large structural roots belonging to Tree #6 may be encountered during excavation and require pruning. The tree can be retained with injury with careful tree protection and injury mitigation planning in consultation with a Certified Arborist. Encroachment into the TPZ constitutes an injury and requires a tree permit from the Town of Oakville.
- No encroachment by construction is planned in the TPZs of Trees #3, 4, 5, and 7. These trees can be preserved without injury as long as necessary tree protection measures, such as installation of tree protection fencing (hoarding), are implemented.

In conclusion, the proposed construction project at 446 Tower Drive is expected to have no impact on 4 of the subject trees and low-to-medium impact on 3 of the subject trees, which can be retained with injury. This assessment of tree impacts assumes tree protection planning and full implementation of tree protection measures for the duration of the proposed construction. Tree injuries and removals require a permit from Town of Oakville Urban Forestry.

Tree Inventory and Impact Table

Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Crown Width (m)	Deadwood (%)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Impact of Proposed Construction	Notes and Observations
1	White Birch	<i>Betula papyrifera</i>	33	City	3.0	Fair	Fair	Fair	5	5	Y	Low	Injure	Y	Injury by removal of existing driveway	3 stems: 21, 20, 16 cm DBH. Large reduction cuts in crown.
2	Apple	<i>Malus species</i>	22	Private	2.4	Fair	Fair	Fair	5	10	Y	Low	Injure	Y	Injury by removal of existing driveway	
3	Norway Spruce	<i>Picea abies</i>	32	City	3.0	Good	Good	Good	6	0	N	None	Preserve	N		
4	Norway Maple	<i>Acer platanoides</i>	20	Neighbour	2.4	Good	Good	Good	6	0	N	None	Preserve	N		Estimated DBH & location.
5	Pear	<i>Pyrus species</i>	20	Neighbour	2.4	Fair	Fair	Fair	5	20	N	None	Preserve	N		Estimated DBH. Dieback/hard pruning in crown.
6	Basswood	<i>Tilia americana</i>	82	Private	5.4	Fair	Fair	Fair	11	15	Y	Medium	Injure	Y	Injury by excavation for proposed porch and house foundation	Suspected cankers on trunk and in crown.
7	Silver Maple	<i>Acer saccharinum</i>	80	Private	4.8	Fair	Poor	Poor	16	15	N	None	Preserve	N		Large cavity at base. In small planter.

Limitations of the Assignment

It must be understood that Davey Resource Group (DRG) is the assessor of the trees in relation to tree preservation practices and construction impacts on trees. All proposed construction methods discussed in this Arborist Letter are limited to what was provided in the site plans and in discussions with the client. Estimates, measurements, and comments regarding tree impacts were based on the provided site plan and field observations.

This Arborist Letter, and the accompanying Tree Impact Plan, are not a Tree Preservation Plan. More information on tree protection measures and injury mitigation pertaining to the proposed construction can be obtained through a Tree Preservation Plan and Pre-Construction Arborist Report.

This Arborist Letter was compiled from field data collected from the ground. A basic visual assessment of the trees was performed. No aerial or subterranean investigation was conducted. No level of ISA Tree Risk Assessment was performed. More data on risk may be obtained through a basic or advanced ISA Tree Risk Assessment.

Photographs



Figure 1 - Trees #1-2



Figure 2 - Trees #3-4



Figure 3 – Tree #5



Figure 4 – Tree #6



Figure 5 – Trees #6-7

Conditions of Assessment Agreement

This Conditions of Assessment Agreement is made pursuant to and as a provision of Davey Resource Group, a division of The Davey Tree Expert Co. of Canada, Limited (“Davey”), providing tree assessment services as agreed to between the parties, the terms and substance of which are incorporated in and made a part of this Agreement (collectively the “Services”).

Trees are living organisms that are subject to stress and conditions and which inherently impose some degree or level of risk. Unless a tree is removed, the risk cannot be eliminated entirely. Tree conditions may also change over time even if there is no external evidence or manifestation. In that Davey provides the Services at a point in time utilizing applicable standard industry practices, any conclusions and recommendations provided are relevant only to the facts and conditions at the time the Services are performed. Given that Davey cannot predict or otherwise determine subsequent developments, Davey will not be liable for any such developments, acts, or conditions that occur including, but not limited to, decay, deterioration, or damage from any cause, insect infestation, acts of god or nature or otherwise.

Unless otherwise stated in writing, assessments are performed visually from the ground on the above-ground portions of the tree(s). However, the outward appearance of trees may conceal defects. **Therefore, to the extent permitted by law, Davey does not make and expressly disclaims any warranties or representations of any kind, express or implied, with respect to completeness or accuracy of the information contained in the reports or findings resulting from the Services beyond that expressly contracted for by Davey in writing, including, but not limited to, performing diagnosis or identifying hazards or conditions not within the scope of the Services or not readily discoverable using the methods applied pursuant to applicable standard industry practices.** Further, Davey’s liability for any claim, damage or loss caused by or related to the Services shall be limited to the work expressly contracted for.

In performing the Services, Davey may have reviewed publicly available or other third- party records or conducted interviews and has assumed the genuineness of such documents and statements. Davey disclaims any liability for errors, omissions, or inaccuracies resulting from or contained in any information obtained from any third- party or publicly available source.

Except as agreed to between the parties prior to the Services being performed, the reports and recommendations resulting from the Services may not be used by any other party or for any other purpose. The undersigned also agrees, to the extent permitted by law, to protect, indemnify, defend and hold Davey harmless from and against any and all claims, demands, actions, rights and causes of action of every kind and nature, including actions for contribution or indemnity, that may hereafter at any time be asserted against Davey or another party, including, but not limited to, bodily injury or death or property damage arising in any manner from or in any way related to any disclaimers or limitations in this Agreement.

By accepting or using the Services, the customer will be deemed to have agreed to the terms of this Agreement, even if it is not signed.

Acknowledged by:

Name of Customer: _____

Authorized Signature: _____

Date: _____

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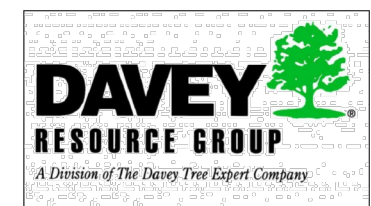
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PLAN KEY

-  TREE RECOMMENDED FOR REMOVAL
-  RETAINED TREE
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-  TREE PROTECTION ZONE

No.	DATE	BY	REVISIONS
1	02/17/2026	CW	Tree Impact Plan
2	02/25/2026	CW	Revisions - new site plan
3	03/02/2026	CW	Revisions - new site plan



TITLE: Tree Impact Plan
446 Tower Drive
Oakville, ON
L6L 4R3

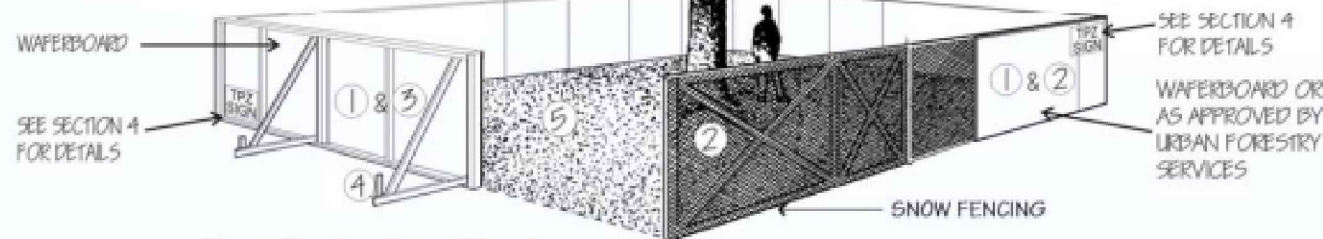
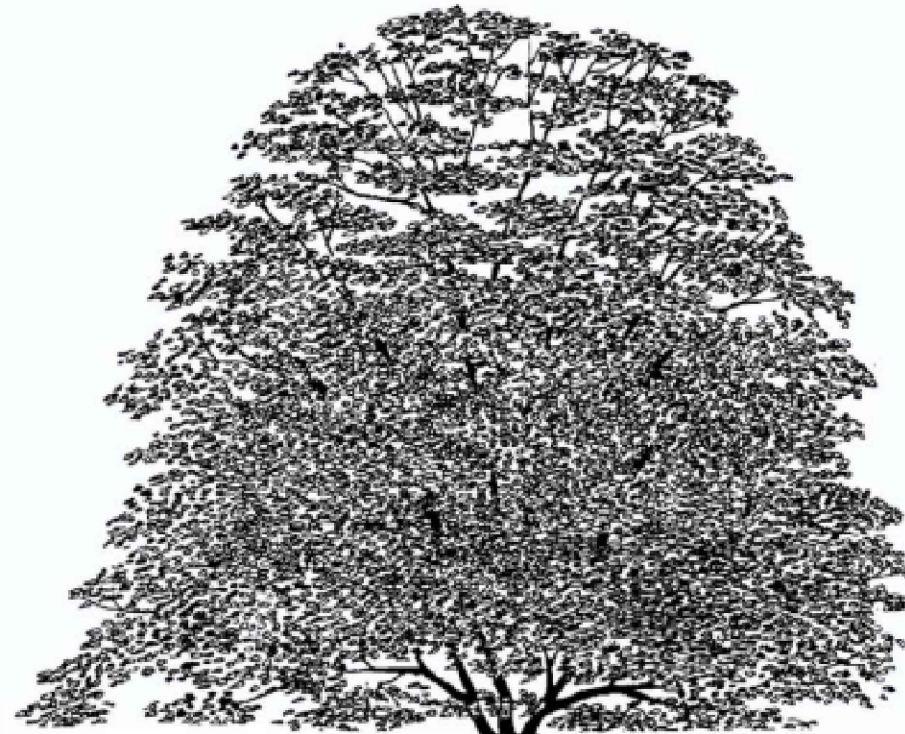
CLIENT:
Enri Prifti

DRAWING NO.: **SCALE:**

JOB NO.: **SHEET:** 2 of 3



SCHEDULE 1 TREE PROTECTION BARRIER



Tree Protection Barriers

- ① Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services.
- ② Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on a wood frame made of 2"x 4"s .
- ③ Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- ④ All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- ⑤ No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

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3	03/02/2026	CW	Revisions - new site plan



TITLE:	Tree Impact Plan 446 Tower Drive Oakville, ON L6L 4R3
CLIENT:	Enri Prifti
DRAWING NO.:	SCALE:
JOB NO.:	SHEET: 3 of 3



446 TOWER DRIVE

PLANNING JUSTIFICATION FAR VARIANCE

FEBRUARY 23, 2026
ENRI PRIFTI
446 TOWER DR, OAKVILLE, ON. L6L 4R3

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PLANNING JUSTIFICATION

Minor Variance – Residential Floor Area Ratio

446 Tower Drive, Oakville
RL3-0 Zone

February 2026

1. Purpose of Application

The applicant seeks relief from Zoning By-law 2014-014 to permit a **Residential Floor Area Ratio (FAR) of 47.07%**, where the maximum permitted FAR in the RL3-0 zone is **41%**.

Requested Variance:

- Permitted FAR: 41%
- Proposed FAR: 47.07%
- **Variance: 6.07 percentage points**
- **Absolute increase: 42.35 m² (455.8 ft²)**
- Per-floor distribution: Approximately 21 m² (226 ft²) per floor across two levels

2. Subject Property

2.1 Property Details

Characteristic	Value
Municipal Address	446 Tower Drive, Oakville, Ontario
Legal Description	Lot 86, Registered Plan 716
PIN	24839-0154(LT)
Lot Area	697.6 m ² (7,508 ft ²)
Lot Frontage	18.29 m (60.0 ft)
Lot Depth	38.10 m (125.0 ft)
Zoning	Residential Low 3 with -0 Suffix (RL3-0)
Official Plan Designation	Low Density Residential

2.2 Neighbourhood Context

Tower Drive is an established residential neighbourhood characterized by predominantly single-detached dwellings. The neighbourhood has experienced gradual residential renewal over recent decades, with original single-storey bungalows (1960s-1970s) being replaced by contemporary two-storey homes.

The proposed development continues this established pattern of orderly neighbourhood evolution, maintaining low-density residential character while meeting contemporary housing standards.

3. Proposed Development and Zoning Compliance

Standard	Required	Proposed	Status
FAR	41% max	47.07%	Variance Requested
Height	9.0 m max	8.90 m	✓ Complies
Lot Coverage	35% max	32.44% (232.6 m ²)	✓ Complies
Front Yard*	8.47 m min/13.97 m max	9.79 m	✓ Complies
Rear Yard*	7.50 m min	13.94 m	✓ Complies
Side Yard (East)*	1.20 m/2.40 m min	2.40 m	✓ Complies
Side Yard (West)*	1.20 m/2.40 m min	1.30 m	✓ Complies
Storeys	2 max	2	✓ Complies
Parking	2 spaces	2 spaces	✓ Complies

***Note:**

- All directional references based on Project North as shown on architectural drawings.
- Front yard minimum/maximum calculated per Section 6.4.3 based on existing legal front yard of 9.47m.
- Open access stairs are setback 8.77 m from the front lot line and comply with the minimum front yard requirement. No encroachment beyond permitted limits is required under Table 4.3 of Zoning By-law 2014-014.

Key Finding: All zoning standards except FAR are satisfied or exceeded. The building envelope (height, coverage, setbacks) remains fully compliant.

4. Residential Floor Area Calculation

4.1 Calculation Methodology

Residential Floor Area has been calculated in accordance with **Section 6.4.1** (Residential Floor Area Ratio) and **Part 3 Definitions** of Zoning By-law 2014-014.

Per the definition and Section 6.4.1 provisions:

- **Basement area is excluded** per Part 3 Definitions (Section 6.4.1 does not specify inclusion)
- **Private garage area is excluded** per Section 6.4.1 (c), as the attached garage has a height less than 6.0 metres measured from finished floor to highest point of structure

Therefore, only above-grade residential living areas (ground floor living space and second floor) are included in the FAR calculation.

4.2 Floor Area Breakdown

Level	Area	Included in FAR
Basement	216.99 m ²	NO
Ground Floor (Residential Living Area)	152.62 m ² (1,643 ft ²)	YES
Garage	42 m ²	NO
Second Floor	175.75 m ² (1,892 ft ²)	YES
Total Residential Floor Area	328.37 m² (3,534.5 ft²)	

FAR Calculation: $328.37 \text{ m}^2 \div 697.6 \text{ m}^2 = 47.07\%$

- Permitted FAR: 41% (286.02 m²)
- Proposed FAR: 47.07% (328.37 m²)
- Variance: 6.07 percentage points (42.35 m² or 455.8 ft²)

4.3 Rationale for Additional Floor Area

The proposed above-grade Residential Floor Area of 328.37 m² exceeds the permitted maximum of 286.02 m² by 42.35 m² (6.07 percentage points). This increase reflects efficient internal organization within a fully compliant building envelope rather than expansion of the building's physical footprint or height.

Ground Floor (152.62 m²)

The ground floor is organized to provide functional and proportionate family living space without excess or non-programmed area. The layout includes:

- Open-concept living, dining, and kitchen space forming the principal gathering area;
- A dedicated main-floor office/study;
- A mudroom adjacent to the garage entry consolidating storage and circulation;
- A powder room and compact hallway system minimizing wasted space.

The floor plate is consistent with standard two-storey detached dwelling design in the RL3-0 context and does not represent overdevelopment of the site.

Second Floor (175.75 m²)

The second floor accommodates a typical four-bedroom configuration with:

- A primary bedroom with ensuite and walk-in closet;
- Three secondary bedrooms proportioned for standard furnishings;
- A shared bathroom;
- Second-floor laundry for functional efficiency.

The area is distributed across programmed rooms rather than oversized suites or excessive circulation space, maintaining proportions consistent with contemporary residential redevelopment in the neighbourhood.

Planning Context

The additional 42.35 m² is achieved through vertical distribution of interior space within a fully compliant zoning envelope. Specifically:

- Building height remains below the 9.0 m maximum;
- Lot coverage remains below the 35% maximum;
- All required setbacks are met or exceeded;
- No expansion of the building footprint occurs.

As such, the variance does not increase height, reduce setbacks, or diminish landscaped open space. The building's external massing and streetscape presence remain consistent with other two-storey dwellings in the area.

The requested adjustment therefore represents refinement of interior floor area within permitted physical parameters rather than an intensification of built form.

5. Site Planning Analysis

Despite the increased floor area, the development achieves appropriate site planning performance consistent with zoning standards:

Reduced Lot Coverage: - Lot Coverage: 32.44% (232.6 m²) – Leaves approximately 11.6 m² of unused building footprint capacity below the maximum permitted.- Minimizes impervious building footprint - Demonstrates efficient vertical development (two-storey) rather than horizontal sprawl. The calculated lot coverage of 32.44% includes the existing detached accessory shed (6.94 m²).

Enhanced Landscaping: - Site area of 67.6% (471.58 m²) available for landscaping, driveway, and amenity space - Front yard landscaping: 62.51% (113.30 m²) with

enhanced plantings and maintained mature vegetation where feasible - Substantial rear yard (13.94m depth) providing significant private outdoor amenity space for family activities, gardening, and recreation.

Enhanced Setbacks: - **Front Yard: 9.79m** vs. 8.47m minimum required provides substantial setback from street and enhanced front yard landscaping area - **Rear Yard: 13.94m** vs. 7.50m minimum required ensuring exceptional separation from rear property - **East Side Yard: 2.40m** and **West Side Yard: 1.30m** – meets requirements.

**Note: All directional references based on Project North as shown on architectural drawings.*

Stormwater Management: - Permeable driveway surfaces (permeable pavers or porous asphalt) enhancing on-site stormwater infiltration - Based on grading shown in survey drawing prepared by Rudy Mak Surveying Ltd. (July 22, 2025), positive drainage away from all property lines - Reduced lot coverage (32.44% vs 35% maximum) providing additional pervious area for infiltration and groundwater recharge - Lot grading certificate will be provided at completion confirming drainage compliance.

6. Compatibility Analysis

6.1 Technical Impact Assessment

Shadow Impact:

Building height of 8.90m (100mm below the 9.0m maximum) ensures shadow patterns do not exceed those of a fully compliant dwelling. Given the compliant building height and substantial rear yard depth (13.94m), shadow impact remains typical of two-storey residential development within the RL3-0 zone.

- **East Property:** Shadow impact occurs in late afternoon when sun is low in western sky, casting shadows eastward; enhanced 2.40m east setback provides a separation, minimizing shadow extent on eastern property; impact typical for two storey residential development.
- **West Property:** Shadow impact occurs in early morning when sun is low in eastern sky, casting shadows westward; 1.30m west setback meets minimum requirement; shadows are longest when sun is lowest (early morning), with diminishing impact as sun rises; mid-day and afternoon solar access on western property unaffected.
- **South Property (Rear):** Primary shadow impact occurs during mid-day when sun is highest in southern sky, casting shadows northward; substantial 13.94m south/rear setback (nearly double the 7.50m minimum) ensures even mid-day shadows fall well within subject property's own rear yard with minimal to no

shadow reaching southern neighbouring property; solar access maintained consistent with two-storey residential development.

- **North Property (Front - Tower Drive):** No shadow impact on properties across Tower Drive as sun travels from east to west across southern sky; 9.79m front yard setback provides substantial separation from the street.

**Note: All directional references based on Project North as shown on architectural drawings (Drawing A100).*

Privacy and Overlook:

Second-floor window placement designed to avoid direct sightlines into adjacent properties' primary private amenity areas:

- **East Elevation:** No glazing provided
- **West Elevation:** Windows serve bathroom and laundry room; 1.30m setback meets minimum requirement; window placement designed to avoid direct sightlines; oblique viewing angles reduce privacy concerns.
- **North and South Elevation:** At 9.79m front and 13.94m rear setbacks provide substantial separation distances protecting privacy

The enhanced separation distances strategically window location protects neighboring properties' privacy expectations.

Visual Massing:

Despite a FAR of 47.07%, the building presents comparable visual massing to surrounding two-storey dwellings due to:

- **Height compliance:** 8.90m is consistent with typical two-storey construction (8.0-9.0m range).
- **Reduced lot coverage:** 32.44% leaves substantial open space around building, preventing perception of overcrowding on lot.
- **Architectural articulation:** Multiple roof planes (gabled and hip elements); varied ridge heights; facade depth variation creating shadow lines and three-dimensional composition.
- **Material transitions:** Brick/stucco base, contemporary precast stone accents, creating visual interest and breaking up perceived mass.
- **Building proportions:** Width-to-height ratio typical for two-storey residential; balanced proportions preventing monolithic appearance

The additional floor area (42.35 m² above by-law compliance) is accommodated through efficient interior layouts distributed across two floors, not through increased

building footprint (which remains well below maximum coverage) or increased height (which remains below maximum).

Drainage and Grading:

Based on grading shown in survey drawing prepared by Rudy Mak Surveying Ltd. (July 22, 2025):

- Positive drainage away from all property lines.
- No ponding or adverse drainage toward neighbouring properties.
- Enhanced stormwater infiltration through permeable driveway surfaces and reduced lot coverage.
- Lot grading certificate will be provided at completion.

Traffic and Parking:

- No change in traffic generation: one dwelling unit replaced with one dwelling unit.
- Parking compliant: 2 spaces required and provided in attached garage.
- No on-street parking demand.
- Driveway design complies with municipal standards for width, grade, and sight lines.

7. Four Tests under Section 45(1) of the Planning Act

7.1 The Variance is Minor

The requested variance is minor in both quantitative and qualitative terms.

Numerical Context

The proposed Residential Floor Area Ratio of 47.07% exceeds the permitted 41% by 6.07 percentage points, representing an additional 42.35 m² (455.8 ft²) of above-grade floor area.

This additional area is distributed across two storeys, equating to approximately 21 m² per level, and does not introduce additional storeys, programmatic intensity, or building expansion beyond the permitted envelope.

Physical Form Compliance

All primary development standards that regulate perceived building mass remain fully compliant:

- Height: 8.90 m (below the 9.0 m maximum)
- Lot Coverage: 32.44% (below the 35% maximum)

- Setbacks:
 - Front: 9.79 m (minimum 8.47 m)
 - Rear: 13.94 m (minimum 7.50 m)
 - East: 2.40 m (minimum required)
 - West: 1.30 m (minimum 1.20 m)
- Storeys: 2 (maximum permitted)

The building footprint, height, and spatial separation from adjacent properties remain unchanged from what is permitted as-of-right.

Impact Assessment

Technical review confirms no measurable adverse impacts:

- Shadowing remains consistent with typical two-storey development and is mitigated by compliant height and substantial rear yard depth.
- Privacy is preserved through compliant setbacks and conventional residential window placement.
- Landscaped open space remains substantial (67.6% of lot area).
- Drainage and grading maintain positive flow away from adjacent properties.
- No increase in traffic or parking demand is created.

Minor in Planning Terms

The variance does not result in:

- Increased building height,
- Expanded lot coverage,
- Reduced setbacks,
- Encroachment into adjacent yards, or
- Intensification beyond a single-detached dwelling form.

The additional floor area is internalized within a compliant envelope and does not materially alter the building's external massing or streetscape presence.

Conclusion

The requested variance represents a modest internal adjustment of floor area rather than an expansion of built form. Given full compliance with height, coverage, and

setback regulations and the absence of adverse impacts, the variance is minor in nature and satisfies the first test under Section 45(1) of the Planning Act.

7.2 The Variance is Desirable

The proposed dwelling represents appropriate and desirable development within the RL3-0 zone.

Neighbourhood Context

Tower Drive has experienced gradual reinvestment over time, with original single-storey dwellings being replaced by contemporary two-storey homes. The proposal continues this established pattern of residential renewal while maintaining low-density character and conformity with height, setback, and coverage standards.

The variance does not introduce additional storeys, reduced setbacks, or expanded site coverage beyond what is permitted by the zoning envelope.

Functional Residential Design

The modest increase in above-grade floor area (42.35 m²) supports efficient internal organization rather than expansion of building envelope.

The ground floor is arranged as an open-concept living, dining, and kitchen area with direct access to the rear yard, minimizing circulation space and maximizing usable living area. A dedicated main-floor office provides functional flexibility.

The second floor contains four bedrooms, including a primary suite, with appropriately distributed bathrooms and second-floor laundry to improve household efficiency.

The additional floor area supports reasonable room proportions without increasing height, footprint, or massing beyond permitted limits.

Site Planning and Built Form

Despite the requested FAR variance, the proposal:

- Maintains building height below the 9.0 m maximum.
- Maintains lot coverage below the 35% maximum.
- Meets or exceeds all setback requirements.
- Preserves substantial landscaped open space (67.6% of the lot area)..

The development therefore maintains appropriate spatial separation, site performance, and compatibility with surrounding properties.

Efficient Use of Serviced Land

The proposal represents reinvestment within an existing serviced residential lot. The redevelopment replaces an aging dwelling with a new single-detached home without increasing density, infrastructure demand, or land use intensity.

Conclusion

The requested variance is desirable as it enables functional and proportionate residential design within a compliant building envelope, maintains neighbourhood compatibility, and supports appropriate reinvestment consistent with the intent of the RL3-0 zone.

7.3 General Intent and Purpose of the Zoning By-law is Maintained

The general intent of the RL3-0 zone and the associated Floor Area Ratio regulation is to control building mass, maintain neighbourhood scale, protect amenity values, and ensure development remains proportionate to lot size.

The proposed development maintains these objectives.

Building Mass Control

Building mass within the RL3-0 zone is regulated collectively through height, lot coverage, setbacks, number of storeys, and FAR.

The proposed dwelling:

- Complies with the maximum height (8.90 m vs. 9.0 m permitted);
- Complies with maximum lot coverage (32.44% vs. 35% max.);
- Meets or exceeds all setback requirements;
- Maintains the permitted two-storey form.

The requested FAR variance does not increase building height, footprint, or encroachment into setbacks. The additional floor area is accommodated within a compliant building envelope and does not materially alter perceived massing from adjacent properties or the public realm.

Prevention of Overbuilding

Overbuilding is prevented in the RL3-0 zone through coordinated regulation of footprint, height, and separation distances.

The proposal maintains appropriate spatial separation from all lot lines and preserves substantial landscaped open space. As the variance does not reduce setbacks, increase height, or expand footprint, the property cannot be characterized as overbuilt.

Neighbourhood Scale and Character

The dwelling remains a two-storey single-detached form consistent with the built form anticipated in the RL3-0 zone. Height, proportions, and setbacks maintain the established rhythm of development along Tower Drive.

The FAR variance does not introduce a scale or intensity beyond what is physically permitted by the zoning envelope.

Protection of Amenity

Amenity values are maintained through compliant height, appropriate setbacks, and preservation of open space. There is no reduction in light, air, privacy, or usable outdoor area resulting from the requested variance.

Conclusion

The general intent and purpose of the Zoning By-law is maintained because the proposal:

1. Retains full compliance with height, lot coverage, storey, and setback standards;
2. Does not increase building envelope or reduce spatial separation;
3. Preserves neighbourhood scale and amenity;
4. Accommodates modest additional floor area within a controlled and compatible built form.

7.4 General Intent and Purpose of the Official Plan is Maintained

The property is designated **Low Density Residential** in the Livable Oakville Official Plan (as amended to April 22, 2025).

Applicable Official Plan Framework:

- Livable Oakville Plan (Town of Oakville Official Plan)
- Part D – Land Use Designations and Policies, Section 11 – Residential
- Section 11.2 – Low Density Residential
- Section 11.1.9 – Development Criteria in Stable Residential Communities
- Part C – Making Oakville Livable, Section 6.9 – Built Form

Key Policies and Conformity Analysis:

Section 11 – Residential Objectives:

The Official Plan establishes objectives for Residential Areas including:

*“a) maintain, protect and enhance the character of existing Residential Areas;
e) encourage the conservation and rehabilitation of older housing in order to maintain the stability and character of the existing stable residential communities”*

Conformity: The proposal maintains low-density residential character and represents appropriate reinvestment through replacement of an aging dwelling with a new single-detached home that remains compatible in scale, height, and built form.

Policy 11.2.1 – Low Density Residential Permitted Uses:

“The Low Density Residential land use designation may permit a range of low density housing types including detached dwellings, semi-detached dwellings and duplexes.”

Conformity: The proposal maintains a single-detached dwelling. There is no change to land use designation, dwelling type, or number of dwelling units.

Policy 11.2.2 – Low Density Residential Density:

“A density of up to 29 dwelling units per site hectare may be permitted in areas designated Residential Low Density.”

Conformity: The subject property has a lot area of 0.0698 hectares. The proposal maintains one dwelling unit, equivalent to approximately 14.3 units per hectare, well below the maximum 29 units per hectare permitted.

The requested FAR variance does not increase residential density.

Policy 11.1.9 – Development Criteria in Stable Residential Communities:

Policy 11.1.9 establishes compatibility criteria for development within stable residential communities.

Policy 11.1.9(a) – Built Form Compatibility:

“The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.”

Conformity:

- **Scale and Height:** Two-storey form with height below the 9.0 m maximum permitted under zoning.

- **Massing:** Controlled through compliance with height, lot coverage, and setbacks.
- **Architectural Character and Materials:** Contemporary residential design with articulated façade and varied roof planes consistent with recent redevelopment along Tower Drive.

The requested FAR variance does not increase the permitted building envelope or introduce additional height or footprint.

Policy 11.1.9(b) – Setbacks, Orientation, and Separation Distances:

“Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.”

Conformity:

- All required setbacks are met or exceeded.
- Building orientation remains consistent with established street-facing pattern.
- Spatial separation from adjacent properties is maintained through compliant side and rear yard setbacks.

Policy 11.1.9(h) – Minimizing Impacts:

“Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.”

Conformity:

- Grading and drainage will direct surface water away from adjacent properties in accordance with standard residential practice.
- Garage and service elements are integrated within the dwelling.
- Access is provided via an existing driveway connection to Tower Drive.
- Privacy is maintained through compliant setbacks and typical residential window placement.
- Given compliant height and setbacks, no material adverse shadow impacts are anticipated beyond what is typical for two-storey residential development.

Part C, Section 6.9 – Built Form Policies:

Policy 6.9.2 – Compatibility with Context:

“Building design and placement should be compatible with the existing and planned surrounding context and undertaken in a creative and innovative manner.”

Conformity: The proposed two-storey dwelling maintains compatible height, scale, and setback relationships. The FAR variance does not alter building placement or introduce increased intensity beyond that permitted by the zoning envelope.

Policy 6.9.9 – Building Heights and Form Compatibility:

“New development shall ensure that proposed building heights and form are compatible with adjacent existing development by employing an appropriate transition of height and form from new to existing development, which may include setbacks, façade step backs or terracing in order to reduce adverse impacts on adjacent properties and/or the public realm.”

Conformity: The building height remains below the 9.0 m maximum and consistent with surrounding two-storey dwellings. Setbacks and building proportions ensure appropriate transition and separation from adjacent properties.

Conclusion – Official Plan Intent:

The general intent and purpose of the Official Plan is maintained because the proposal:

1. Maintains the Low Density Residential designation and single-detached use;
2. Remains well within permitted residential density;
3. Ensures compatibility through compliant height, massing, and setbacks;
4. Protects neighbourhood character and amenity; and
5. Represents appropriate residential reinvestment within a stable residential community.

8. Conclusion

The requested Floor Area Ratio variance of 6.07 percentage points (47.07% vs. 41% permitted) represents a modest and contextually appropriate adjustment that:

Satisfies All Four Tests of Section 45(1) of the Planning Act:

1. The variance is minor:

The numerical exceedance (6.07 percentage points, 42.35 m² or 455.8 ft²) does not translate to increased building height, footprint, or encroachment into required setbacks. All primary physical form controls are satisfied (height 8.90 m below maximum; lot coverage below 35%; setbacks met or exceeded). The additional floor area is accommodated within a compliant building envelope and does not materially alter perceived massing.

2. The variance is desirable:

The proposal facilitates functional and efficient residential space within a two-storey form consistent with the neighbourhood. The dwelling maintains appropriate site planning, preserves landscaped open space, and supports continued reinvestment within an established residential area.

3. The general intent and purpose of the Zoning By-law is maintained:

Building mass remains controlled through compliance with height, lot coverage, setbacks, and storey limitations. The property cannot be characterized as overbuilt, and neighbourhood scale and amenity are preserved.

4. The general intent and purpose of the Official Plan is maintained:

The Low-Density Residential designation is preserved, residential density remains well within permitted limits, and compatibility criteria under Policy 11.1.9 are satisfied through appropriate height, massing, and separation distances.

Key Supporting Evidence:

- Compliance with primary physical form controls (height, lot coverage, setbacks)
- Maintenance of single-detached land use and low-density character
- Preservation of landscaped open space and spatial separation
- No material adverse impacts on adjacent properties

For these reasons, the requested variance represents appropriate development within the RL3-0 zone and approval is respectfully requested.

Prepared by: Enri Priffti
Date: February 21, 2026
Contact: enripriffti@outlook.com | 416-270-5818

Appendices

The following materials form part of this Planning Justification and support the Minor Variance application:

Note: All drawings are prepared to scale unless otherwise noted and reflect the proposed development subject to this Minor Variance application.

Appendix A – Site Plan

- Drawing A100 – Site Plan
Prepared by: Enri Prifti
Dated: February 2026

Appendix B – Floor Plans

- Drawing A300 – Basement and First Floor Plan
Drawing A301 – Second Floor and Roof Plan
Prepared by: Enri Prifti
Dated: February 2026

Appendix C – Building Elevations

- Drawing A200 – North and South Elevations
Drawing A201 – East and West Elevations
Prepared by: Enri Prifti
Dated: February 2026

Appendix D – Survey Plan

- Drawing C105 – Survey Plan
Prepared by: Rudy Mak Surveying Ltd.
Dated: July 22, 2025

END OF PLANNING JUSTIFICATION



446 TOWER DRIVE

SUPPLEMENTARY PLANNING MEMORANDUM

MARCH 16, 2026
ENRI PRIFTI
446 TOWER DR, OAKVILLE, ON. L6L 4R3

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SUPPLEMENTARY PLANNING MEMORANDUM

Minor Variance Application No. A/059/2026 — 446 Tower Drive, Oakville

Application No.	A/059/2026
Subject Property	446 Tower Drive, Oakville, ON L6L 4R3
Legal Description	Lot 86, Registered Plan 716, Town of Oakville
Zoning	Residential Low 3 with -0 Suffix (RL3-0)
Official Plan	Low Density Residential
Applicant / Owner	Enri Prifti
Variance Requested	FAR of 47.07% vs. 41.00% permitted (6.07 pp / 42.35 m ²)
Hearing Date	April 15, 2026
Memo Date	March 16, 2026

1. Purpose of this Memorandum

This Supplementary Planning Memorandum is submitted in support of Minor Variance Application No. A/059/2026 at 446 Tower Drive, Oakville. It is intended to supplement the Planning Justification FAR Variance dated February 23, 2026 (the “Primary Justification (PJ)”) by providing additional analysis on four matters, structured to correspond directly with Sections 7.1 through 7.4 of the Primary Justification:

- **Section 7.1 — The Variance is Minor:** supplementary analysis on the quantum of variance in the context of prior decisions on Tower Drive.
- **Section 7.2 — The Variance is Desirable:** site-specific planning considerations supporting the proposed floor area as a reasonable and functional form of residential development on this lot.
- **Section 7.3 — General Intent and Purpose of the Zoning By-law:** the purpose of the FAR regulation and why that intent is maintained despite the numerical exceedance.
- **Section 7.4 — General Intent and Purpose of the Official Plan:** environmental compatibility and tree preservation consistent with the Official Plan's urban forestry objectives.

This memorandum should be read together with the Primary Justification, the architectural drawings prepared by Enri Prifti (February 2026), the Arborist Letter and Tree Impact Plan prepared by Davey Resource Group (March 2026), and the Neighbour Letters of Non-

Objection from 450 and 456 Tower Drive (March 2026). Where this memorandum supplements or clarifies statements made in the Primary Justification, the description in this memorandum shall be taken as the accurate and current record. Supporting documents referenced in this memorandum are listed at Appendices E through G.

2. The Variance is Minor — Supplementary Analysis (PJ Section 7.1)

2.1 Pattern of Residential Renewal on Tower Drive

Tower Drive is an established residential street in southwest Oakville characterized by the systematic replacement of original single-storey bungalows (1960s–1970s construction) with contemporary two-storey detached dwellings. This pattern of residential renewal is visible along the street and is consistent with the broader RL3-0 zone experience across Oakville's established neighbourhoods.

The immediately adjacent property at 440 Tower Drive is currently under construction as a new two-storey dwelling, as noted on the survey drawing. This confirms that the subject property is not an isolated or precedent setting case of residential renewal on this street it is part of an established and ongoing neighbourhood pattern.

Significantly, two prior Committee of Adjustment decisions on Tower Drive approved residential FAR variances above 41% in the RL3-0 zone under Zoning By-law 2014-014, providing relevant local context for the present application. First, at 440 Tower Drive (CAV A/133/2021; Committee of Adjustment decision dated September 7, 2021), the Committee approved a FAR of 50.99% on a lot area of 696.0 m², which is virtually identical to the subject property. That decision was appealed by the Town to the Ontario Land Tribunal, which on February 22, 2022 approved a settled FAR of 45.99% for the property (OLT-21-001408), finding that the variance maintained the general intent and purpose of the Official Plan and Zoning By-law, was desirable for the appropriate development of the land, and was minor in nature. Second, at 447 Tower Drive (CAV A/076/2022; approved May 17, 2022), the Committee approved a FAR variance to 46.53% in lieu of the 41% maximum permitted by the By-law, with Town planning staff in support. That file is recorded as closed with no appeal.

The requested variance of 47.07% at 446 Tower Drive falls squarely within the range established by these prior decisions above the OLT-endorsed 45.99% at 440 Tower Drive by 1.08 percentage points, and above the staff-supported 46.53% at 447 Tower Drive by 0.54 percentage points. Critically, the proposed design at 446 Tower Drive incorporates massing mitigation elements consistent with those endorsed by the Tribunal at 440 Tower Drive, including varied roof planes, façade articulation, material transitions, and restrained lot coverage of 32.44% against the 35% maximum. These prior Tower Drive decisions support the conclusion that the requested variance can reasonably be regarded as minor in this local context.

2.2 Modest Quantum of Variance

The requested variance of 6.07 percentage points (42.35 m² / 455.8 ft²) constitutes a modest increase above the permitted floor area ratio. In absolute terms, the additional floor area is approximately equivalent to one standard bedroom and bathroom. When distributed across the two storeys of the dwelling, it represents approximately 21 m² per floor. In practical terms, this additional area supports a functional four-bedroom layout, including a primary

ensuite, dedicated bathrooms for the secondary bedrooms, and second-floor laundry, without affecting the building footprint, overall height, setbacks, or number of storeys. The variance does not affect the building footprint, overall height, setbacks, or number of storeys.

Importantly, the relief sought relates only to floor area ratio. It does not facilitate a taller building, a larger footprint, or reduced yard conditions. The dwelling remains compliant with the zoning standards governing height, lot coverage, setbacks, and storeys. In this context, the requested relief can reasonably be regarded as minor.

2.3 Absence of Neighbourhood Opposition

The application has received written support from neighbouring property owners, including Richard and Yvonne Barber of 450 Tower Drive (the immediately adjacent west neighbour, sharing the 1.30m west side yard setback) and Stefani Babiak of 456 Tower Drive. Both letters confirm the neighbours have reviewed the proposed development and the requested FAR variance specifically and have no objection. As of the date of this memorandum, no written objections have been received from any adjacent or nearby property owner.

The rear yard of the subject property abuts a public school property. There is no private residential neighbour at the rear, eliminating a common source of objection in residential variance applications.

3. The Variance is Desirable — Supplementary Analysis (PJ Section 7.2)

3.1 Lot Geometry Constraints

The subject property has a lot area of 697.6 m² with a frontage of 18.29 metres and a depth of 38.10 metres. While the lot area falls within the 650.00–742.99 m² bracket, the lot's relatively narrow frontage (18.29m) is a material constraint on the achievable ground floor footprint.

The ground floor plan must accommodate: a double-car garage (required for two parking spaces), a front entry and mudroom, an open-concept living, dining, and kitchen area, a main-floor office, a powder room, stair access and living room. After satisfying the minimum front yard setback (8.47m), rear yard setback (7.50m), and side yard setbacks (minimum 1.20m and 2.40m), the buildable envelope on the ground floor is constrained. The proposed ground floor residential living area of 152.62 m² reflects this constraint it is not the result of oversizing individual rooms.

3.2 Functional Four-Bedroom Program

The second floor accommodates a primary bedroom with a dedicated ensuite and walk-in closet, three secondary bedrooms each with a dedicated bathroom, and second-floor laundry. It is noted that the Planning Justification dated February 23, 2026 described the second floor as including a shared bathroom this memorandum corrects that description. The architectural drawings confirm that the primary bedroom has its own ensuite and each of the three secondary bedrooms has its own dedicated bathroom. This program reflects a contemporary family home designed to current residential standards in the RL3-0 context, where the neighbourhood has been experiencing systematic replacement of single-storey bungalows with new two-storey family dwellings.

The second-floor area of 175.75 m² is distributed across a primary bedroom with ensuite and walk-in closet, three secondary bedrooms each with a dedicated bathroom, and second-floor laundry. Each bathroom and ensuite requires appropriate dimensional clearances, plumbing, and ventilation to remain functional and code compliant. The proposed floor area is not excessive; it reflects a reasonable spatial allocation for the programmed rooms. Reducing this area to comply with the 41% FAR maximum would require a reduction of approximately 42 m² across two floors approximately 21 m² per floor. At that scale, the reduction would necessitate either eliminating a bedroom and its dedicated bathroom entirely, reducing bathrooms below functional minimum dimensions, and/or reconfiguring the ground floor in a manner inconsistent with the constrained footprint of this narrow lot. Such reductions would materially compromise the functionality and proportionality of the proposed dwelling in the RL3-0 context.

3.3 Conclusion on Desirability

The proposed development is desirable for the appropriate development of the land because it enables a functional, proportionate family dwelling consistent with the established and emerging character of Tower Drive, within a fully compliant building envelope, on a lot whose geometry constrains the achievable ground floor area. The variance is not requested to create an oversized dwelling, but reflects a reasonable response to the lot's constrained frontage and the objective of providing a functional family dwelling within a compliant building envelope in the RL3-0 zone that has been undergoing systematic residential renewal.

4. General Intent and Purpose of the Zoning By-law is Maintained — Supplementary Analysis (PJ Section 7.3)

4.1 Why the FAR Regulation Exists

The Residential Floor Area Ratio regulation in the RL3-0 zone was introduced through Zoning By-law 2014-014 as a supplementary mass control mechanism. Prior to its introduction, residential building mass in established low-density neighbourhoods was regulated exclusively through height limits, lot coverage maximums, and setback requirements. In planning terms, a dwelling may satisfy those controls and still appear visually oversized relative to its lot particularly through the use of efficient interior layouts, reduced circulation space, and high floor-to-ceiling ratios that maximize usable area within a compliant envelope.

The FAR regulation functions as an additional mass-control mechanism by regulating the relationship between residential floor area and lot area. Its intent is to prevent dwellings that, even while complying with height, coverage, and setbacks, create an impression of overdevelopment through disproportionate interior bulk relative to the lot.

4.2 Why the Intent is Satisfied in this Case

The intent of the FAR regulation is satisfied here because the conditions it was designed to prevent are not present. The proposed dwelling does not create an impression of overdevelopment or disproportionate bulk. This is demonstrated by the following:

- **Footprint Restraint:** Lot coverage is 32.44% against a maximum of 35.00%. The building footprint occupies meaningfully less than the maximum permitted area, leaving substantial open space around all four sides of the dwelling. A dwelling that fully utilized the permitted footprint while also maximizing FAR would present the type of mass that the regulation targets. This proposal does the opposite it restrains footprint in favour of efficient vertical organization.
- **Height Restraint:** Building height is 8.90 metres against a maximum of 9.0 metres. The height is at the lower end of what is typical for two-storey residential construction in the RL3-0 zone. The perceived vertical massing of the dwelling is not exaggerated.
- **Setback Compliance:** All required setbacks are met or exceeded. The front yard (9.79m vs. 8.47m minimum), rear yard (13.94m vs. 7.50m minimum), and east side yard (2.40m) all exceed minimum requirements. The west side yard (1.30m) meets the minimum. These separation distances ensure the dwelling does not encroach on adjacent properties or the public realm.
- **Internal Efficiency:** The additional 42.35 m² of floor area above the permitted FAR is achieved through efficient interior layout reducing oversized corridors, eliminating wasted circulation space, and distributing programmed rooms proportionately across two floors. It does not reflect an increase in building volume, expanded footprint, or additional height.

The FAR regulation is not undermined by efficient interior design in circumstances where the dwelling remains compliant with the principal built-form controls. It is intended to prevent buildings whose interior volume creates an external presence inconsistent with neighbourhood scale. The proposed dwelling's external presence — including its height, footprint, and spatial relationship to adjacent properties — is consistent with the RL3-0 zone and with the existing and emerging pattern of two-storey residential development on Tower Drive. The general intent and purpose of the FAR regulation is therefore maintained.

5. General Intent and Purpose of the Official Plan is Maintained — Supplementary Analysis (PJ Section 7.4)

5.1 Environmental Compatibility — Tree Impacts

Tree impacts associated with the proposed development have been assessed by Davey Resource Group (Arborist Letter dated March 3, 2026, and Tree Impact Plan dated March 2, 2026, prepared by Connor Wixson, ON-2916A). The assessment confirms that all seven trees on and adjacent to the subject property can be retained.

Three trees will sustain low-to-medium injury from construction activity: Trees #1 and #2 from removal of the existing asphalt driveway, and Tree #6 (an 82 cm DBH Basswood, private ownership) from excavation for the proposed porch and foundation, with a 20% TPZ encroachment. The arborist confirms Tree #6 can be retained with injury through careful tree protection and injury mitigation planning in consultation with a Certified Arborist.

Tree permits will be obtained from Town of Oakville Urban Forestry for Trees #1, #2, and #6 prior to demolition or construction commencement. A full Tree Preservation Plan and Pre-

Construction Arborist Report will be prepared and submitted prior to building permit issuance in accordance with Town requirements.

These findings are consistent with the Town's urban forestry objectives under Section 10.13 of the Livable Oakville Official Plan, as all seven trees are proposed to be retained, subject to mitigation measures, arborist oversight, and required permits for injury.

6. Conclusion

This Supplementary Planning Memorandum provides additional analysis in support of Minor Variance Application A/059/2026, structured to correspond directly with the four tests under Section 45(1) of the Planning Act as addressed in the Primary Planning Justification dated February 23, 2026. Together with the Primary Justification and the accompanying technical and support documents, it is respectfully submitted that the application satisfies all four tests:

1. **The Variance is Minor (PJ Section 7.1):** The 6.07 percentage point exceedance does not translate to increased height, footprint, or encroachment. All primary physical form controls are fully satisfied. Prior OLT and CoA decisions on Tower Drive provide relevant local context supporting the conclusion that FAR variances in this range can be regarded as minor for this lot size and zone.
2. **The Variance is Desirable (PJ Section 7.2):** The variance enables a functional, proportionate family dwelling on a narrow serviced lot. The lot's constrained frontage and the proposed four-bedroom program with dedicated bathrooms support the requested floor area as a reasonable and functional design response.
3. **General Intent of the Zoning By-law is Maintained (PJ Section 7.3):** The FAR regulation's intent to prevent disproportionate interior bulk relative to lot size is satisfied through restrained footprint, compliant height, and full setback compliance. The building does not present as overbuilt.
4. **General Intent of the Official Plan is Maintained (PJ Section 7.4):** The Low Density Residential designation is preserved, residential density remains well within permitted limits, compatibility criteria under Policy 11.1.9 are satisfied, and all seven trees on and adjacent to the site are retained in accordance with Section 10.13 of the Livable Oakville Official Plan.

Approval of the requested variance is respectfully requested.

Prepared by: Enri Priffi

Applicant and Property Owner

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Application No.: A/059/2026

Date: March 16, 2026

APPENDICES

The following materials are submitted as supplementary documents in support of Minor Variance Application No. A/059/2026 at 446 Tower Drive, Oakville, and continue from Appendices A through D of the Planning Justification FAR Variance dated February 23, 2026. Note: All drawings are prepared to scale unless otherwise noted and reflect the proposed development subject to this Minor Variance application.

Appendix E — Arborist Letter and Tree Impact Plan

- Arborist Letter (6 pages) — Davey Resource Group
- Tree Impact Plan (3 sheets) — Davey Resource Group

Prepared by: Connor Wixson (ON-2916A), Davey Resource Group, a Division of Davey Tree Expert Co. of Canada, Limited. Dated: March 2–3, 2026

Appendix F — Neighbour Letters of Non-Objection

- Letter of Non-Objection — Richard and Yvonne Barber, 450 Tower Drive, Oakville (immediately adjacent west neighbour)
- Letter of Non-Objection — Stefani Babiak, 456 Tower Drive, Oakville

Both letters confirm that the neighbouring owners have reviewed the proposed development and the requested Floor Area Ratio variance and have no objection to the application. Dated March 8 and March 10, 2026 respectively.

Appendix G — Precedent Decisions

G-1. **Committee of Adjustment Decision, CAV A/133/2021** — 440 Tower Drive, Oakville. FAR variance approved to 50.99% on a 696.0 m² RL3-0 lot. Decision dated September 7, 2021. Subsequently appealed by the Town of Oakville.

G-2. **Ontario Land Tribunal Decision, OLT-21-001408** — 440 Tower Drive, Oakville. FAR variance approved at 45.99% (320.13 m²) on settlement. Issued February 22, 2022. The Tribunal found the variance maintained the general intent and purpose of the Official Plan and Zoning By-law, was desirable for the appropriate development of the land, and was minor in nature.

G-3. **Committee of Adjustment Database Record, CAV A/076/2022** — 447 Tower Drive, Oakville. FAR variance approved to 46.53% where 41% is permitted. Hearing date May 17, 2022. Town planning staff supported the application. Decision recorded as closed with no appeal filed. Source: Town of Oakville Committee of Adjustment planning database.

END OF SUPPLEMENTARY PLANNING MEMORANDUM