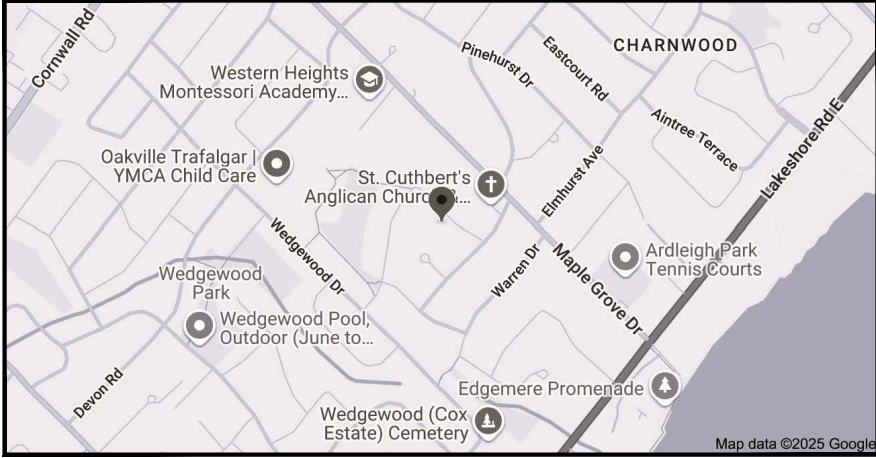


PRIVATE RESIDENCE

NEW CUSTOM SINGLE FAMILY DWELLING

246 ALBION AVENUE, OAKVILLE, ONTARIO L6J 4T5



LOCATION MAP:



EXISTING FRONT ELEVATION (FOR REFERENCE ONLY):



EXISTING REAR ELEVATION (FOR REFERENCE ONLY):



PROPOSED FRONT ELEVATION (FOR REFERENCE ONLY):

ZONING AND PROPERTY STATISTICS

ADDRESS:	246 ALBION AVENUE, OAKVILLE, ONTARIO, L6J 4T5	
ZONING:	RL1-0	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	1393.5 sqm	1524.2 sqm
MIN. LOT WIDTH:	30.5 m	28.1 m

FLOOR AREA RATIO

	BY-LAW:	PROPOSED:
GARAGE	56.0 sqm	**75.1 sqm
MAIN FLOOR		198.7 sqm
SECOND FLOOR		180.9 sqm
TOTAL FLOOR AREA (1ST & 2ND FLR):	29.0% (442.0 sqm)	24.9% (379.7 sqm)

LOT COVERAGE

	BY-LAW	PROPOSED:
BUILDING FOOTPRINT (GARAGE INCLUDED)		18.6% 284.5 sqm
FRONT PORCH		0.6% 8.6 sqm
COVERED REAR TERRACE		1.3% 19.7 sqm
TOTAL MAX. COVERAGE	25% (381.0 sqm)	20.5% 312.8 sqm

SETBACKS

	BY-LAW	PROPOSED:
FRONT YARD TO HOUSE	11.40 m	12.24 m
FRONT YARD TO PLANTER	0.60 m	10.55 m
REAR YARD TO HOUSE	10.50 m	20.55 m
RIGHT YARD TO HOUSE	4.20 m	4.57 m
LEFT YARD TO HOUSE	4.20 m	4.75 m
LEFT YARD TO WALK-OUT	4.20 m	**3.31 m
MAX. DWELLING UNIT DEPTH	20.00 m	17.15 m
MAX. BUILDING HEIGHT	9.00 m	8.13 m
PARKING SPACES	2	2
WIDTH OF WALKWAY	1.8 m	1.8 m

****MINOR VARIANCE REQUIRED**

ISSUED FOR
COMMITTEE OF
ADJUSTMENT ONLY

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
246 ALBION AVENUE
OAKVILLE, ON. L6J 4T5

Sheet Title:
COVER PAGE AND
ZONING STATISTICS

No.	Date:	Issue/Revision
2	MAR 02/26	ISSUED FOR COFA
1	FEB 24/26	ISSUED FOR REVIEW

Drawn By:
Checked By:
Scale: N.T.S.
Date: MARCH 2026
Project No. 2025-39

A0

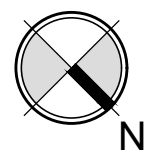
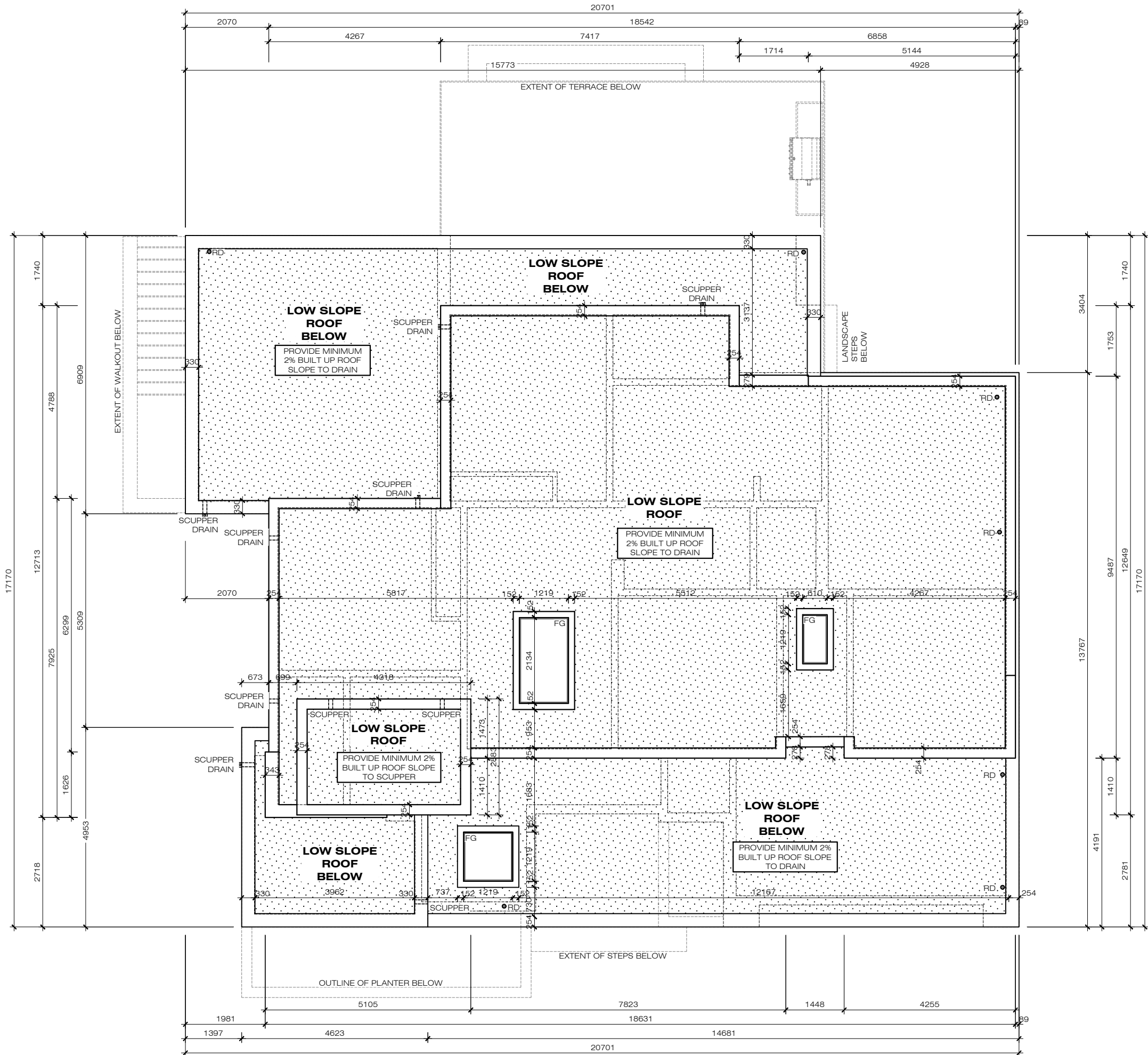
**ISSUED FOR
COMMITTEE OF
ADJUSTMENT ONLY**

Project Name:
**PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING**
246 ALBION AVENUE
OAKVILLE, ON L6J 4T5

No.	Date	Issue/Revision
2	MAR 02/26	ISSUED FOR COFA
1	FEB 24/26	ISSUED FOR REVIEW

Drawn By: _____
Checked By: _____
Scale: 1:100
Date: MARCH 2026
Project No: 2025-39

A4



ROOF PLAN

ISSUED FOR
COMMITTEE OF
ADJUSTMENT ONLY

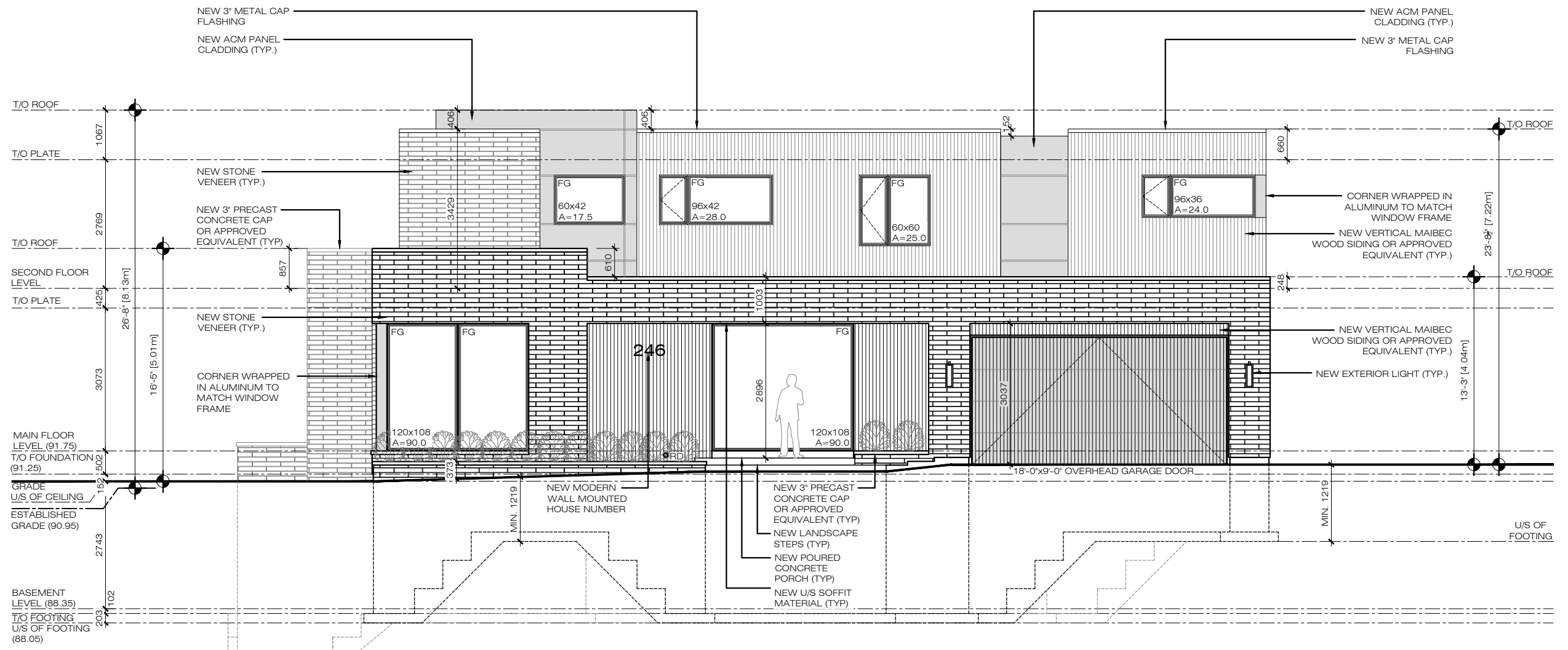
Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
246 ALBION AVENUE
OAKVILLE, ON L6J 4T5

Sheet Title:
FRONT ELEVATION

No.	Date	Issued For
2	MAR 02/26	ISSUED FOR COFA
1	FEB 24/26	ISSUED FOR REVIEW

Drawn By: _____
Checked By: _____
Scale: 1:100
Date: MARCH 2026
Project No: 2025-39

A5



FRONT ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT ONLY

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
246 ALBION AVENUE
OKAVILLE, ON L6J 4T5

Sheet Title:
REAR ELEVATION

No.	Date	Issue/Revision	By
1	FEB 24/26	ISSUED FOR COFA	
2	MAR 02/26	ISSUED FOR COMMITTEE OF ADJUSTMENT ONLY	

Drawn By: _____
Checked By: _____
Scale: 1:100
Date: MARCH 2026
Project No.: 2025-39

A7



REAR ELEVATION

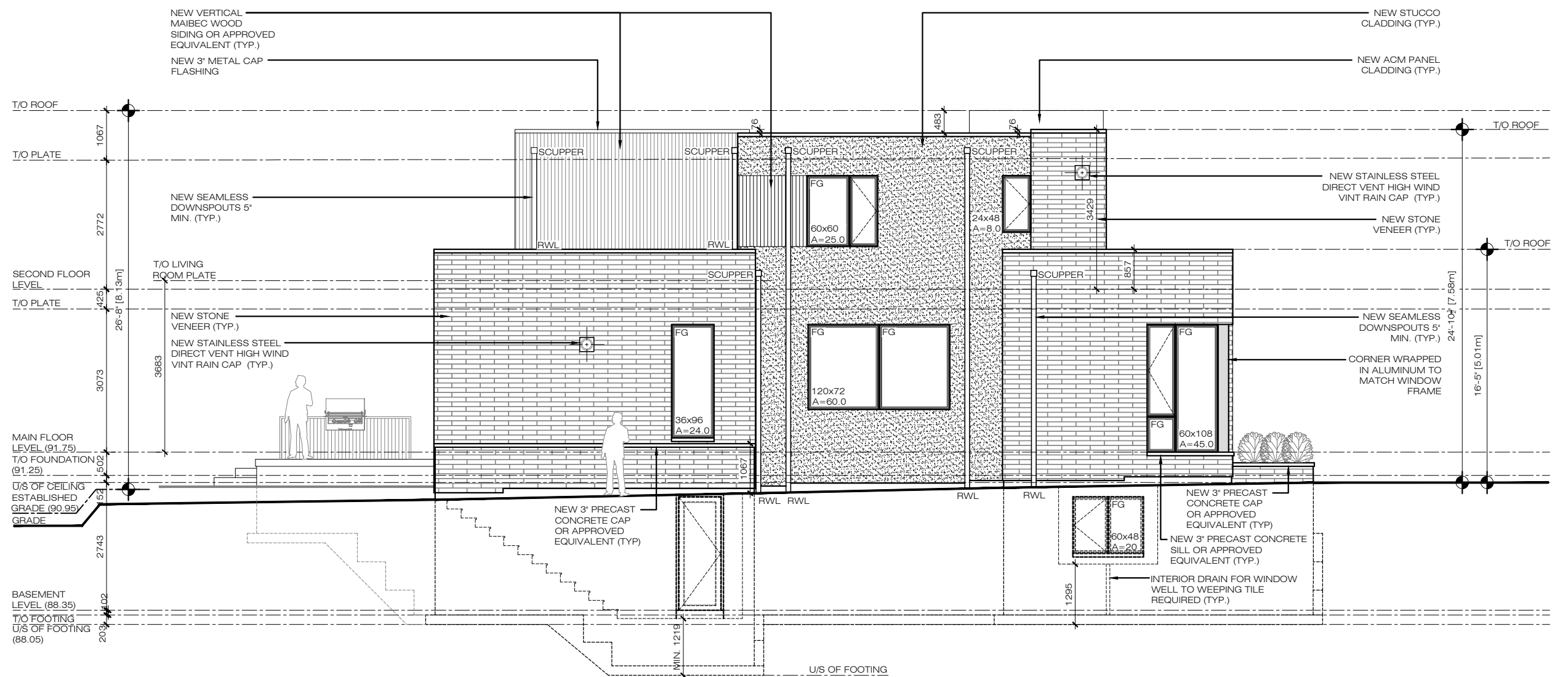
ISSUED FOR
COMMITTEE OF
ADJUSTMENT ONLY

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
246 ALBION AVENUE
OKAVILLE, ON L6J 4T5

No.	Date	Issue/Revision
2	MAR 02/26	ISSUED FOR COFA
1	FEB 24/26	ISSUED FOR REVIEW

Drawn By: _____
Checked By: _____
Scale: 1:100
Date: MARCH 2026
Project No: 2025-39

A8



LEFT SIDE ELEVATION

TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

TREE HOARDING NOT TO SCALE	TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
	<10 CM	1.8 M
	11-30 CM	2.4 M
	31-50 CM	3.0 M
	51-60 CM	3.6 M
	61-70 CM	4.2 M
	71-80 CM	4.8 M
81-90 CM	5.4 M	
	91-100+ CM	6.0 M

NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

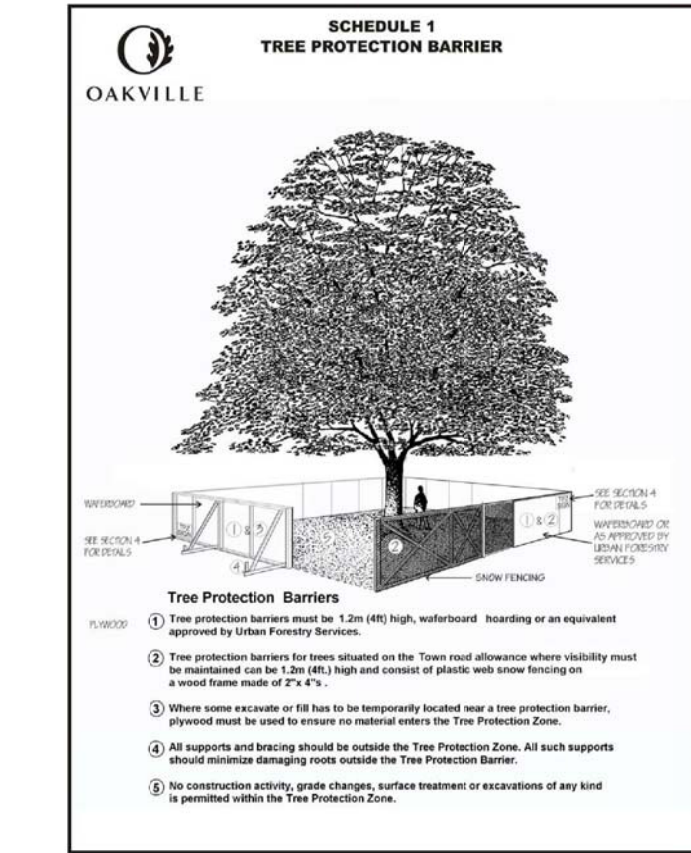
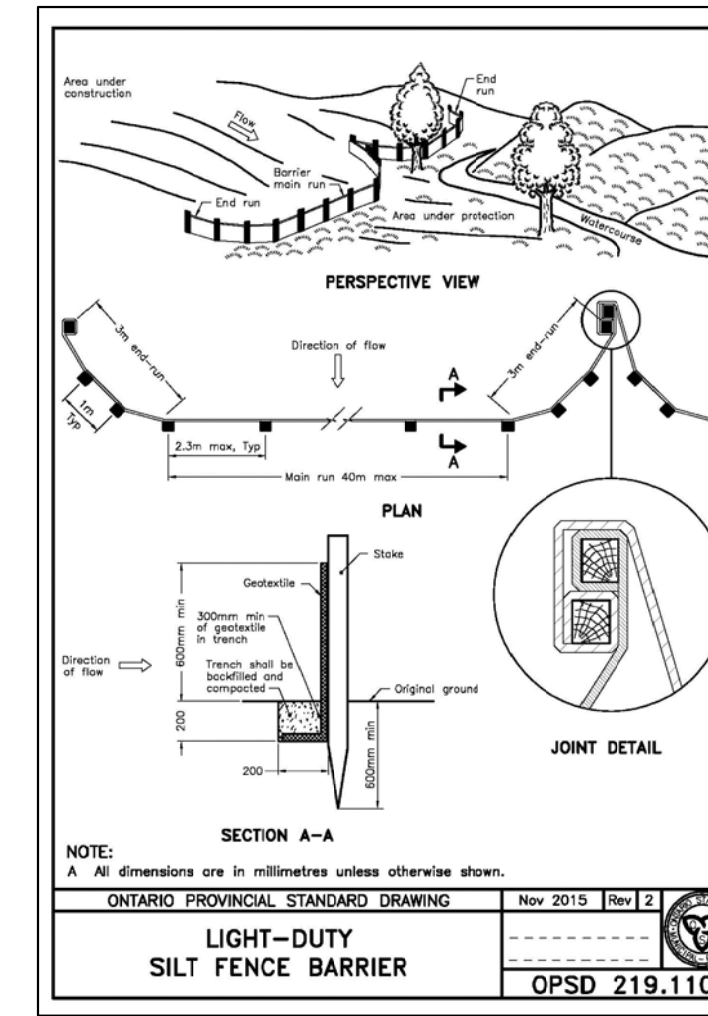
REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
Development Services

The approval of the water system on private property is the responsibility of the Local Municipality. Regarders, the Applicant must ensure that the Region of Halton's standards and specifications are met. The Water and Wastewater Lateral Design Manual may be obtained on Halton.ca or by calling 311 at water quality. Tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

To re-use existing water service providing it meets Current Standards (otherwise, use approved 25mm Copper Type K water service)
The existing water service must be inspected at the property line by the Regional Inspector.



SITE, GRADING & SERVICING PLAN

LOT 24 REGISTERED PLAN 525 TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200
J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2025

ITEM DESCRIPTION	PERMITTED METERS	ACTUAL OR PROPOSED METERS
OAKVILLE BY-LAW	204-014	
ZONING DESIGNATION	RL1-O	
LOT AREA (MINIMUM)	1593.50 SQ.M.	1523.30 SQ.M.
LOT FRONTAGE (MINIMUM)	30.50	30.50
LOT COVERAGE (MAXIMUM)	360.82 SQ.M.	332.80 SQ.M.
LOT COVERAGE % (MAXIMUM)	25.00%	20.93%
RFA MAXIMUM	441.76 SQ.M.	379.70 SQ.M.
FRONT YARD SETBACK (MAXIMUM)	20.00%	24.30%
FRONT YARD SETBACK (MINIMUM)	9.00	10.52
SIDE YARD SETBACK (MINIMUM)	4.20 & 4.20	4.57 & 3.91*
REAR YARD SETBACK (MINIMUM)	10.50	16.73
OVERALL HEIGHT	9.00	8.13

*SUBJECT TO COMMITTEE OF ADJUSTMENTS FILE NO.

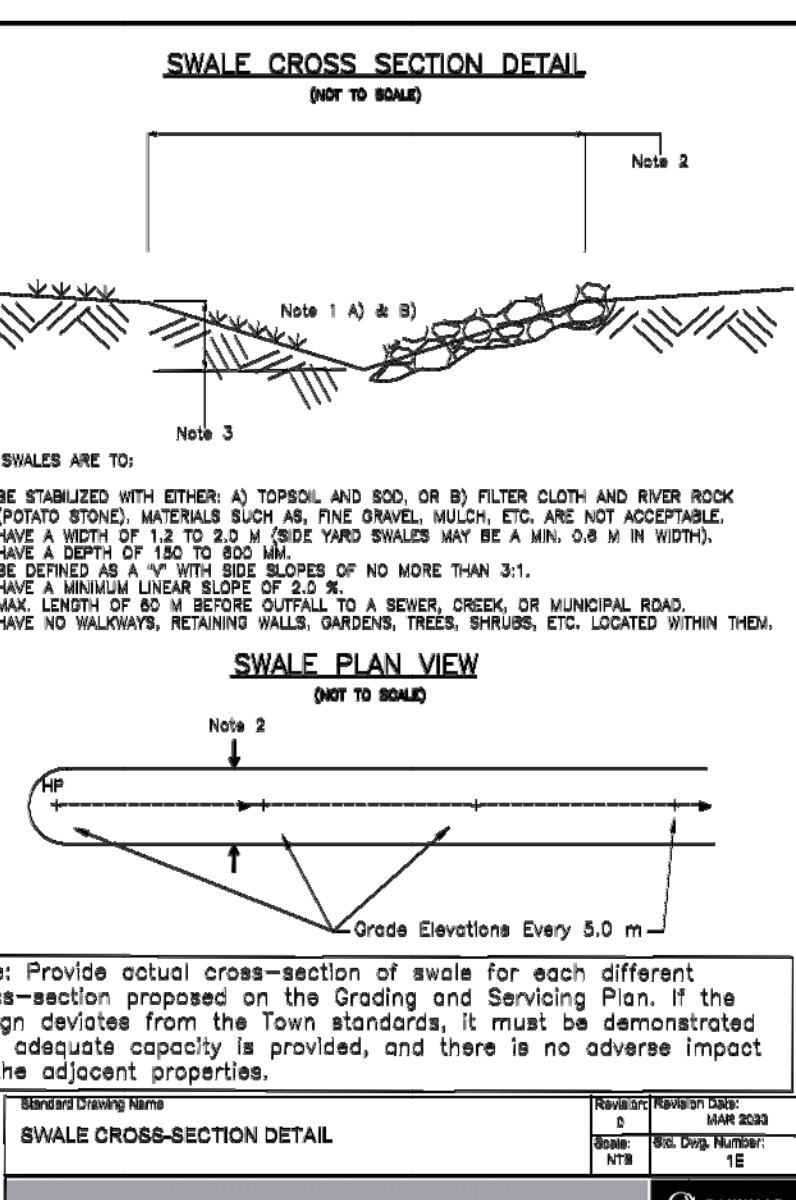
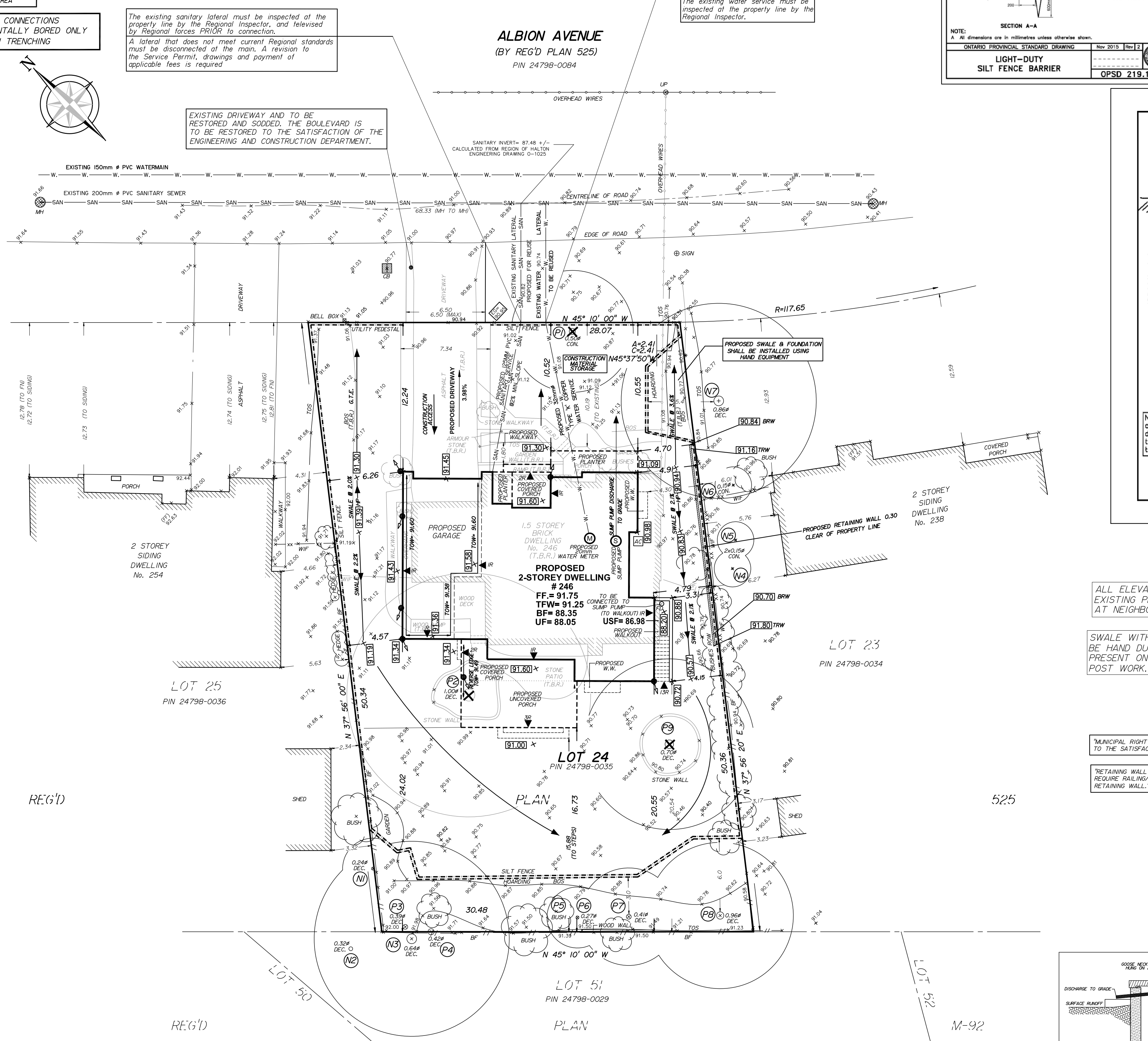
STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE ARE NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LOTS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.



LEGEND

CLF	Chain Link Fence	INV.	Invert Elevation
BF	Board Fence	EG	Established Grade
TFW	Top of Foundation Wall	PE	Proposed Elevation
MH	Maintenance Hole	FF	Finished Floor
UP	Utility Pole	T.O.S.	Top of Slope
DEC.	Deciduous Tree	B.O.S.	Bottom of Slope
CON.	Coniferous Tree	CSP	Cast-in-place Steel Pipe
#	Downspout	WV	Water Valve
TOC	Top of Curb	HO	Hoarding
Ent	Entrance	92.50	Existing Elevation
HP	High Point	↑	Rain Water Leader
TRW	Top of Retaining Wall	↑	Embankment
BRW	Bottom of Retaining Wall	TTT	Tree to be Removed
3	Arborist's Tree Number	X	Tree to be Removed

ALL ELEVATIONS TO MATCH THE EXISTING PROPERTY LINE GRADES AT NEIGHBORING PROPERTY LINE.

SWALE WITHIN TPZ REQUIRED TO BE HAND DUG WITH AN ARBORIST PRESENT ON SITE. SUBMIT REPORT POST WORK.

"MUNICIPAL RIGHT OF WAY TO BE RESTORED TO THE SATISFACTION OF TOWN OF OAKVILLE."

"RETAINING WALL GREATER THAN 0.6 m IN HEIGHT REQUIRE RAILING/FENCE TO BE PLACED ON THE RETAINING WALL."

ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS

NOTE: EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

NOTE: ALL NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE: DOWNSPOUTS SHALL DISCHARGE TO GRADE VIA CONCRETE SPLASHPADS, DIRECTED AWAY FROM THE BUILDING AND ADJACENT PROPERTIES.

NOTE: ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

NOTE: Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

NOTE: Contractor to use existing services.

NOTE: If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE: THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE GRADE, COMPLETE WITH BACKFLOW PREVENTER.

NOTE: Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-1025

NOTE: The contractor must verify inverts.

(C) UTILITIES CONNECTION

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
- STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES, DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-- NUISANCE OR OTHERWISE INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC. MUST BE SECURED/FITTED WITH SILTATION CONTROL DEVICES. THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

246 ALBION AVENUE OAKVILLE, ONTARIO

PINE GLEN GENERAL CONTRACTOR
2345 WYECROFT ROAD
OAKVILLE, ONTARIO

No.	Date	Description	By
1	NOVEMBER 12, 2025	SITE PLAN	R.A.
2	JANUARY 22, 2026	REVISE BUILDING ELEVATION	R.A.
3	MARCH 2, 2026	TOWN COMMENTS	R.H.

REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD.
DATED : JULY 2, 2025

BENCHMARK Elevations are Referred to the Town of Oakville Benchmark No. 31 having an Elevation of 96.5847 m.

SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 246 ALBION AVENUE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER OBC 9.14.6.(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont., L6K 3W4
office@jhsurveying.ca
Phone:(905) 338-8210

MARCH 6, 2026
DATE

Projects: 25-103
Drawn By: R.A.
Checked By: A.M.
Party Chief: M.A.

