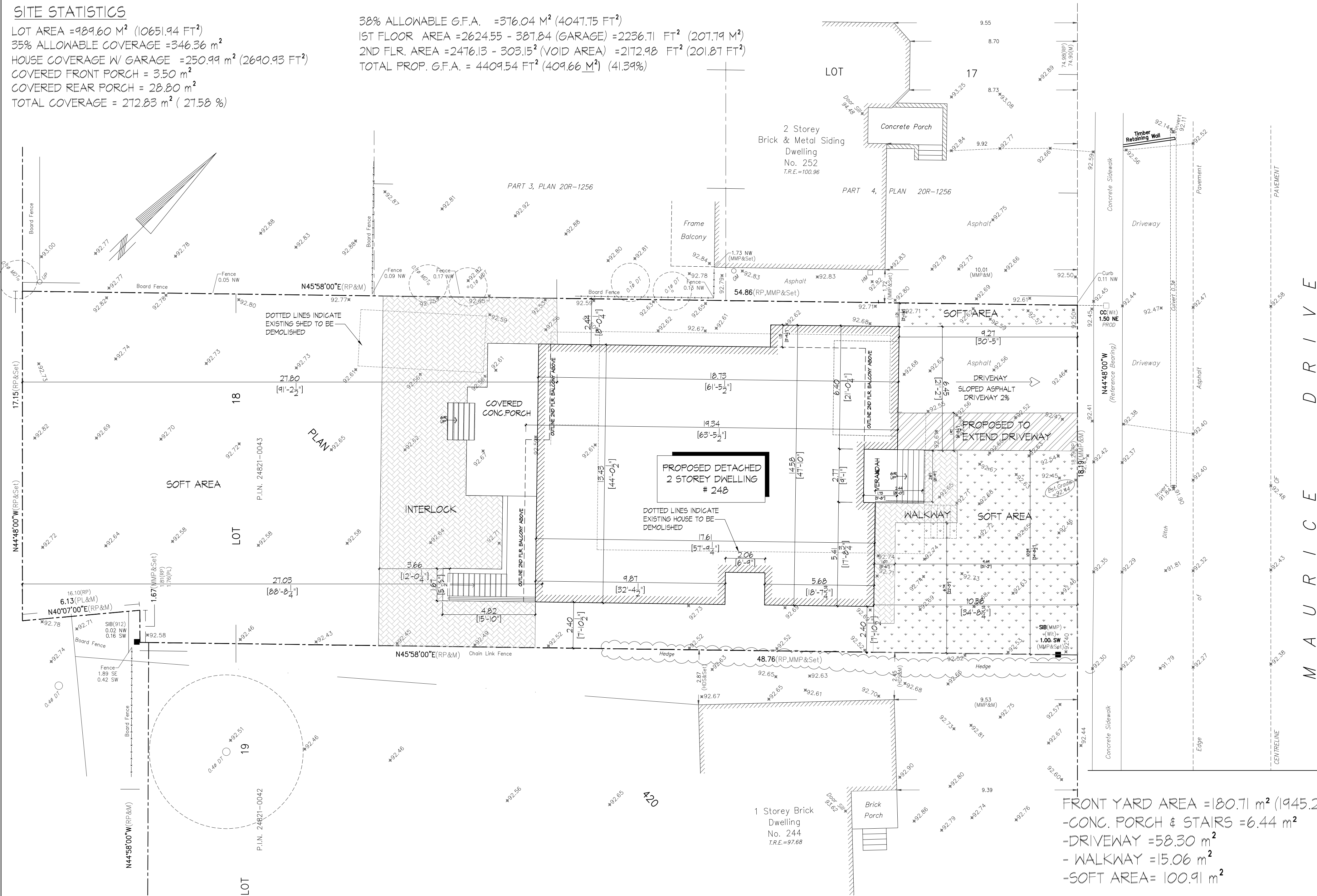


SITE STATISTICS

LOT AREA =989.60 M² (10651.94 FT²)
35% ALLOWABLE COVERAGE =346.36 m²
HOUSE COVERAGE W/ GARAGE =250.99 m² (2690.93 FT²)
COVERED FRONT PORCH = 3.50 m²
COVERED REAR PORCH = 28.80 m²
TOTAL COVERAGE = 272.83 m² (27.58 %)

38% ALLOWABLE G.F.A. =376.04 M² (4047.75 FT²)
1ST FLOOR AREA =2624.55 - 387.84 (GARAGE) =2236.71 FT² (207.79 M²)
2ND FLR. AREA =2476.13 - 303.15² (VOID AREA) =2172.98 FT² (201.87 FT²)
TOTAL PROP. G.F.A. = 4409.54 FT² (409.66 M²) (41.39%)



FRONT YARD AREA =180.71 m² (1945.20 SQ.FT)
-CONC. PORCH & STAIRS =6.44 m²
-DRIVEWAY =58.30 m²
- WALKWAY =15.06 m²
-SOFT AREA= 100.91 m²

EKP DESIGNS INC.

537 ROGERS ROAD
TORONTO, ONTARIO
M6M-1B4
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL : ekpdesigns@outlook.com

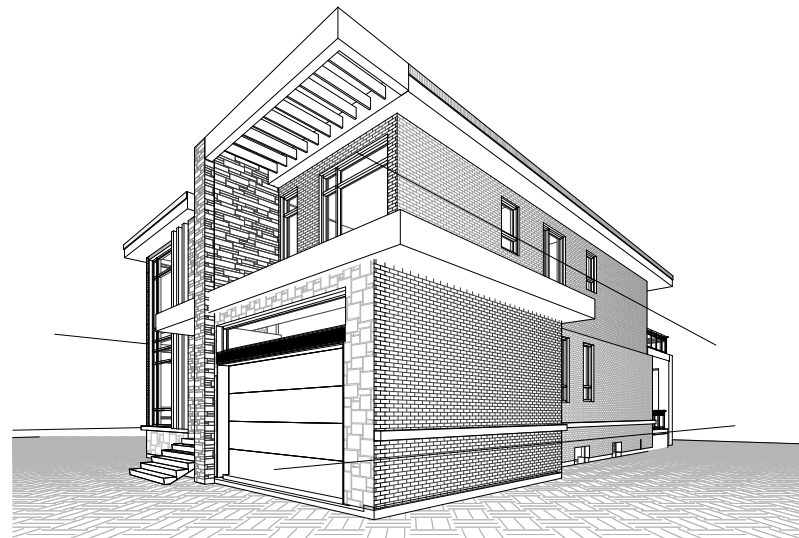
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No.	REVISIONS	DATE

SITE PLAN
SCALE : 3 / 32 " = 1' - 0 "

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
EDDIE PERES
NAME
SIGNATURE
37296
BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. DIVISION C of the Ontario Building Code.
EKP DESIGNS INC.
FIRM NAME
38281
BCIN

PROJECT PROPOSED 2 STOREY DWELLING 248 MAURICE DR. TOWN of OAKVILLE		
DRAWING NAME SITE PLAN		
DESIGNED BY P.R.	DRAWN BY P.R.	APPROVED BY EKP
PROJECT No. 2025-05	DATE FEB. 2025	SCALE AS SHOWN
FILE: 2025	DRAWING NO. AO-1	

[illegible]

248 MAURICE DRIVE

PROPOSAL

Project number	24-124
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Date	Issue Date
------	------------

Drawn by	Author
----------	--------

Checked by	Checker
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A-00

Scale

Scale	1/4" = 1'-0"
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[illegible]

Scale	1/4" = 1'-0"
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U/S OF FINISH CEILING

T/O SECOND FLR.

U/S OF FIN. CELING

T/O FIRST FLR.

B.S.M CEILING

GRADE

Basement

$$\frac{3}{16}'' = 1'-0''$$


3D View 10

[illegible]

248 MAURICE DRIVE

SIDE ELEVATION

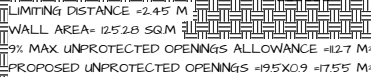
Project number	24-124
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Date	Issue Date
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Drawn by	Author
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A-05

Scale	$3/16" = 1'-0"$
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① SIDE (SOUTH) ELEVATION
3/16" = 1'-0"

248 MAURICE DRIVE

SIDE ELEVATION 1

Project number	24-124
Date	Issue Date
Drawn by	Author
Checked by	Checker

A-07

Scale	3/16" = 1'-0"
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Planning Justification Report
Minor Variance Application for Proposed New Dwelling
248 Maurice Drive, Oakville

Prepared: July 2, 2025

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A. Introduction and Summary of Opinion

The Subject Property is located at 248 Maurice Drive in the Town of Oakville and is currently occupied by a one-storey single detached dwelling with an attached 1-car garage. The Subject Property is designated as “Low Density Residential” under the Livable Oakville Plan and zoned “Residential Low (RL3-0)” under Zoning By-Law 2014-014. The surrounding neighbourhood is characterized by single detached dwellings of variable height, massing and scale that include original 1-storey dwellings with attached and detached garages, as well as 2-storey dwellings constructed with attached garages. This character includes new 2-storey dwellings constructed between existing original 1-storey dwellings.

The proposal involves demolition of the existing 1-storey single detached dwelling and construction of a new two-storey single detached dwelling with an attached garage. The proposed dwelling has been designed to comply with the minimum front, rear and side yard setbacks, maximum lot coverage and maximum building depth. However, the proposal requires the following minor variances to the prevailing zoning performance standards to facilitate construction of the new dwelling:

1. To permit maximum height of 9.30 metres while 9.0 metres is permitted;
2. To permit maximum floor area ratio of 41.39% while 38% is permitted; and
3. To permit a second floor rear balcony were balconies and uncovered platforms are prohibited above the floor level of the first storey on any lot in the -0 Suffix Zone.

Based on the land use planning analysis provided in this report, it is my opinion that the requested minor variances, individually and cumulatively:

- Maintain the general intent and purpose of the Official Plans of the Region of Halton and Town of Oakville;
- Maintain the general intent and purpose of the Zoning By-Law;
- Are minor; and
- Are desirable for the appropriate development and use of the Subject Property.

B. Background and Context

B.1 The Subject Property

B.1.1 Location, Configuration and Existing Structures

The Subject Property is located at 248 Maurice Drive in the Town of Oakville as illustrated in the Context Plan provided in **Figure 1**. The Subject Property has 18.19 metres (60 feet) of frontage along Maurice Drive and is 989.6 m² (10,651.94 ft²) in area. The Subject Property is currently occupied by a one-storey single detached

dwelling with an attached 1-car garage. An aerial view of the Subject Property and surrounding properties is provided in **Figure 2**. A street view of the existing dwelling from Maurice Drive is provided in **Figure 3**.

The depth and area of the Subject Property is greater than the adjacent properties to the north (252 Maurice Drive) and to the south (244 Maurice Drive), which results in an irregular configuration whereby the north and south side yards of the Subject Property are shared with the side yards of these adjacent properties, as well as the rear yards of 214 Mary Street and 217 Deane Avenue respectively. The rear yard of the Subject Property aligns with the side yard of 218 Mary Street.

The Subject Property is designated as “Low Density Residential” under the Livable Oakville Plan and zoned “Residential Low (RL3-0)” under Zoning By-Law 2014-014.

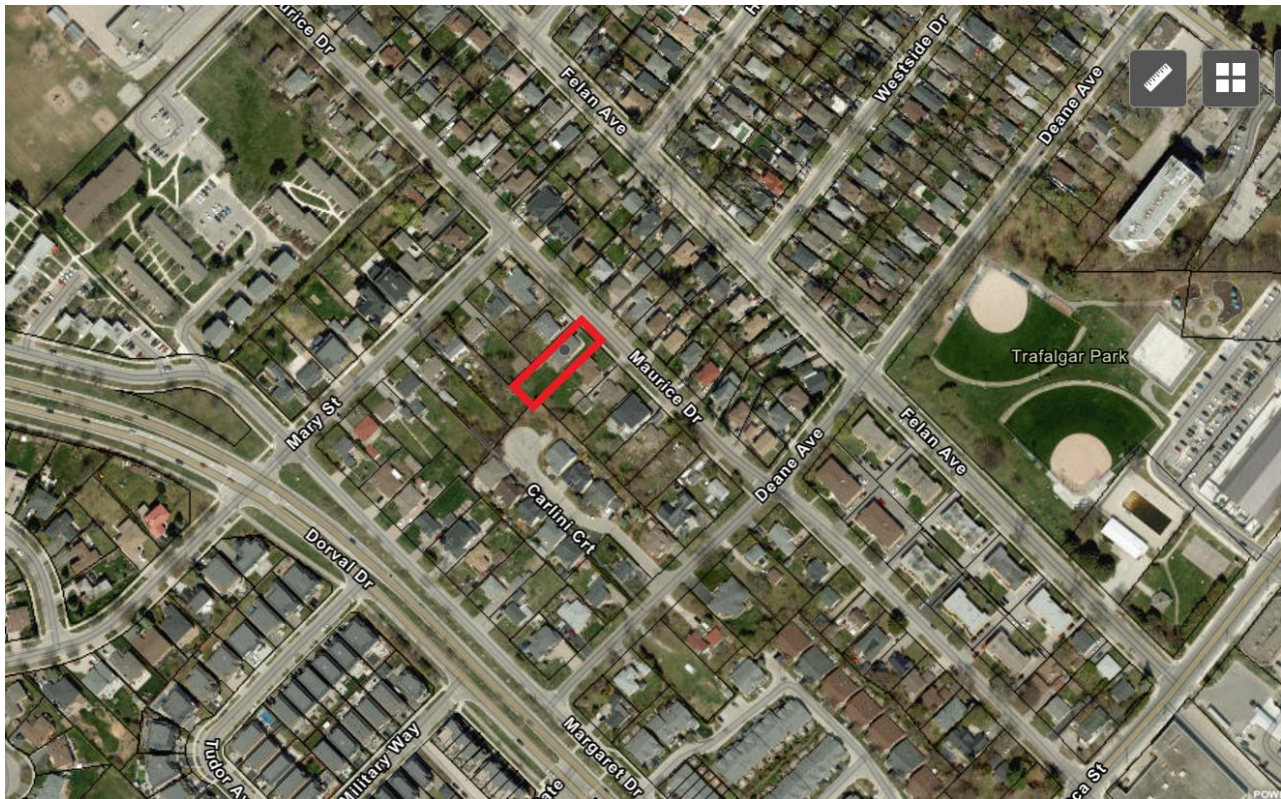


Figure 1 – Context Plan



Figure 2 – Aerial View of Subject Property and Surrounding Area



Figure 3 – Street View of Subject Property and Adjacent Dwellings

B.3 Surrounding Context

The Subject Property is generally located in a residential neighbourhood designated “Low Density Residential” under the Livable Oakville Plan. There is transition to an area designated “Medium Density Residential” north of Mary Street and an area designated “High Density Residential” south of Deane Avenue. On this basis, it is my opinion that the relevant neighbourhood study area are the dwellings on the east and west side of Maurice Drive between Mary Street and Deane Avenue.

B.3.1 Adjacent Properties

- To the north: The adjacent property to the north is known municipally as 252 Maurice Drive. This property is occupied by a 2-storey single detached dwelling with an integrated 2-car garage. A street view of the existing dwelling is included in **Figure 4**. This existing dwelling is considerably larger in height, massing and scale than the existing dwelling on the Subject Property. The ground floor and second floor appear to be very similar in floor area with no reduction in floor area or massing above grade. This property is designated “Low Density Residential” under the Livable Oakville Plan and zoned RL3-0.
- To the south: The adjacent property to the south is known municipally as 244 Maurice Drive. This property is occupied by a 1-storey single detached dwelling with a detached rear yard garage. A street view of the existing dwelling is included in **Figure 5**. This property is designated “Low Density Residential” under the Livable Oakville Plan and zoned RL3-0.
- To the west: The adjacent property to the west is known municipally as 218 Mary Street. This property is occupied by a 2-storey single detached dwelling with a detached rear yard garage. A street view of the existing dwelling is included in **Figure 6**. This property is designated “Low Density Residential” under the Livable Oakville Plan and zoned RL3-0.



Figure 4 – Street View of Adjacent Property to North (252 Maurice Drive)



Figure 5 – Street View of Adjacent Property to South (244 Maurice Drive)

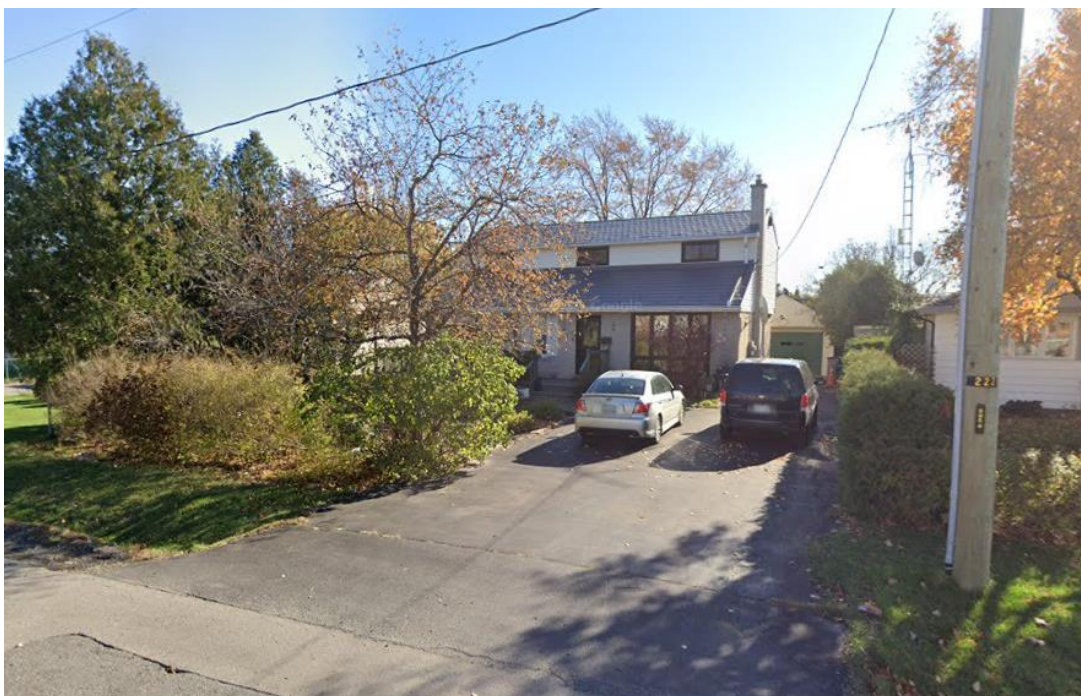


Figure 6 – Street View of Adjacent Property to West (218 Mary Street)

B.3.2 Surrounding Neighbourhood

The surrounding neighbourhood is characterized by single detached dwellings of variable height, massing and scale that include original 1-storey dwellings with attached and detached garages, as well as 2-storey dwellings constructed with attached garages. This character includes new 2-storey dwellings constructed between existing original 1-storey dwellings. Relevant examples of new builds constructed within this neighbourhood include the following:

1. 234 Maurice Drive: This property is located 3 lots south of the Subject Property and is occupied by a new 2-storey dwelling constructed with no reduction in second floor area or massing relative to the ground floor. Photographs of the existing dwelling and its relationship to the adjacent dwellings are included in **Figures 7, 8 and 9**. This dwelling has been constructed with full 2-storey massing up to the north and south side yards shared with the adjacent 1-storey dwellings at 228 Maurice Drive and 240 Maurice Drive. 234 Maurice Drive is also significantly greater in footprint, width, depth, lot coverage and floor area than the adjacent dwellings.
2. 204 Mary Street: This property is located one lot north of the Subject Property and is occupied by a new 2-storey dwelling. A street view of the existing dwelling is included in **Figure 10**. This dwelling received minor variance approval for maximum FSI of 44.32%.
3. 225 Maurice Drive: This property is occupied by a new 2-storey dwelling constructed between two existing 1-storey dwellings, as illustrated in the street view in **Figure 11**. This dwelling received minor variance approval for maximum FSI of 44.04% and maximum lot coverage of 36.37%.



Figure 7 – Existing Dwelling at 234 Maurice Drive



Figure 8 – Existing Dwellings at 234 Maurice Drive and 240 Maurice Drive



Figure 9 – Existing Dwellings at 228 Maurice Drive and 234 Maurice Drive



Figure 10 – Existing Dwelling at 204 Mary Street



Figure 11 – Existing Dwelling at 225 Maurice Drive

C. Development Proposal

The proposal involves demolition of the existing 1-storey single detached dwelling and construction of a new two-storey single detached dwelling with an attached garage.

A pre-consultation meeting was held with Town of Oakville staff on March 26, 2025. Among the comments provided at this meeting were the following:

- The intent of the by-law provisions regulating maximum residential floor area ratio and building height are to ensure that the scale and massing of a dwelling do not appear disproportionately larger compared to surrounding properties;
- It is encouraged that design measures be implemented to mitigate the impact on neighbouring properties, particularly the single storey dwelling directly north of the subject property;
- It is suggested that the proposed dwelling's massing, especially the two-storey element at the front, be broken up to better transition with adjacent properties;
- The building is deemed an overbuild, and the massing gives an overall monolithic appearance that does not seem an appropriate neighbourhood fit;
- Appropriate transition should be created from buildings on either side through step backs along the front façade. This may be achieved by projecting single story elements further out and stepping back the built form on the second story;

- The design of the double story element along the front is discouraged as it increases the verticality and hence the impact of height along the public realm. The focus should be on projecting the porch over the front entrance and pushing back the façade at the second story; and
- The balcony is not supported, and it is recommended that the redesign of this piece be in accordance with the design guidelines outlined in section 3.2.1 Massing, in the Livable by Design Manual Part B.

A revised proposal was prepared based on the feedback and comments provided at the pre-consultation meeting. The proposed site plan is included in **Figure 12**. Perspective views of the front of the dwelling are included in **Figure 13, 14 and 15**. **Figures 16 through 19** include the proposed building elevations while **Figures 20, 21 and 22** include the proposed floor plans.

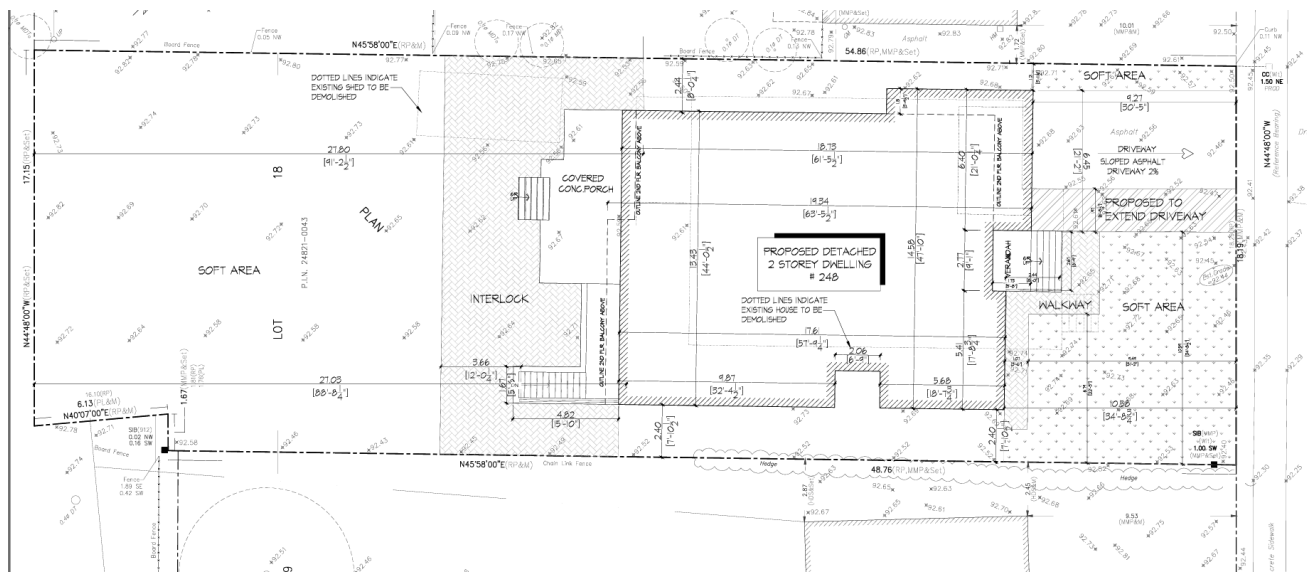


Figure 12 – Proposed Site Plan



Figure 13 – Front Perspective View



Figure 14 – Front Perspective View (SW Corner of Property)



Figure 15 – Front Perspective View (SE Corner of Property)



Figure 16 – Proposed Front Elevation



Figure 17 – Proposed Rear Elevation



Figure 18 – Proposed North Side Elevation

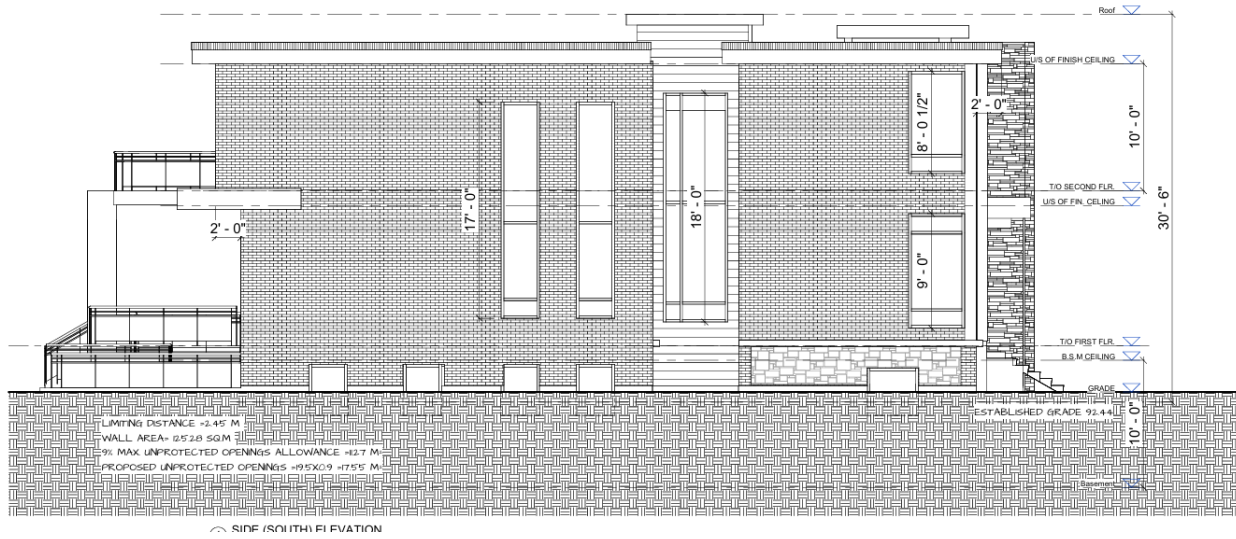


Figure 19 – Proposed South Side Elevation

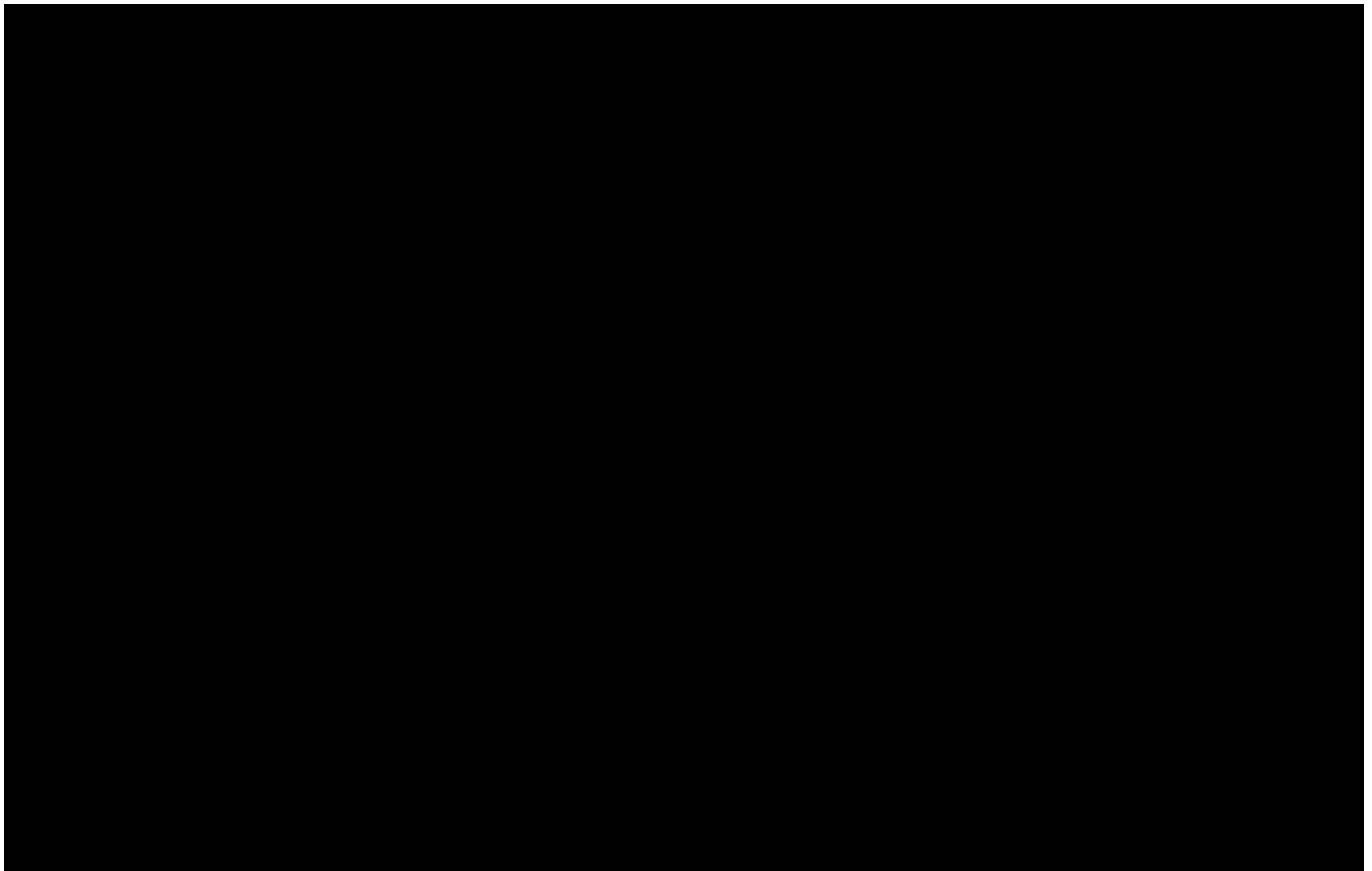


Figure 20 – Basement Floor Plan

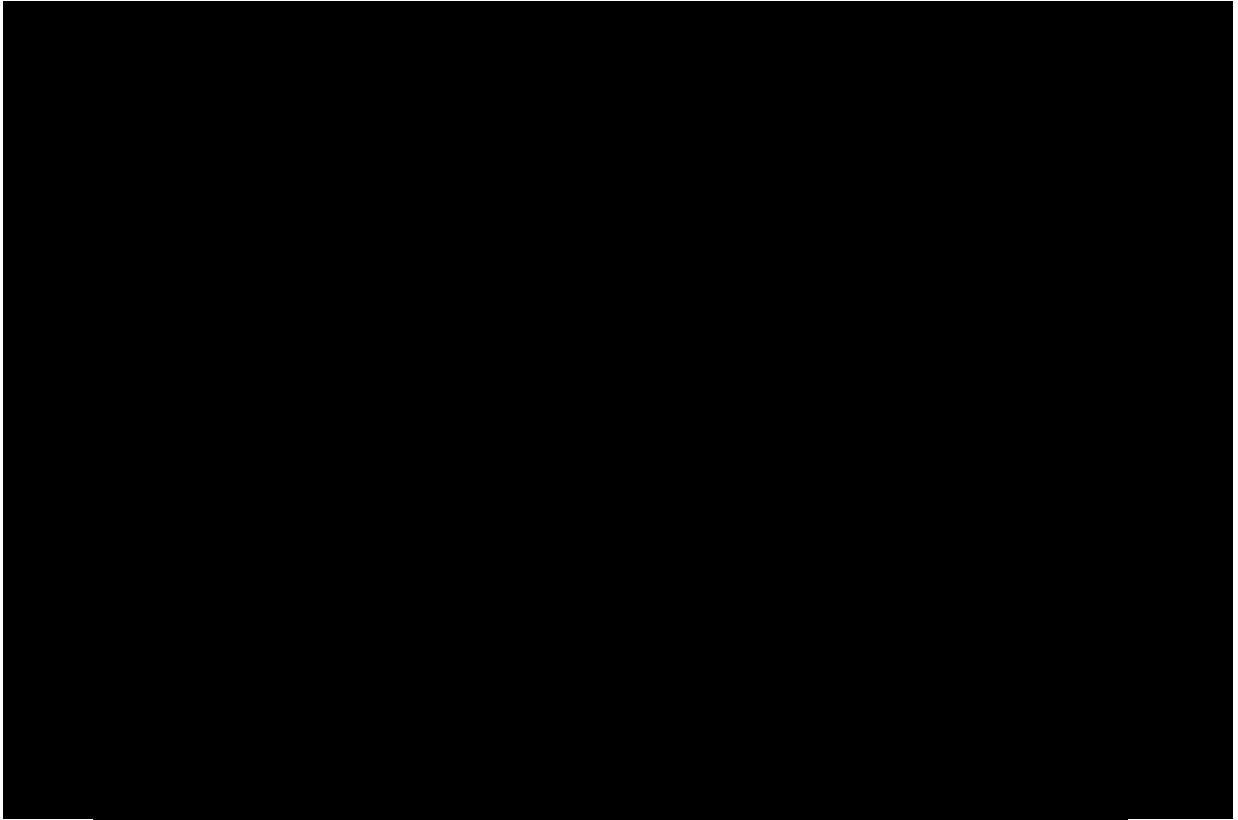


Figure 21 – Ground Floor Plan

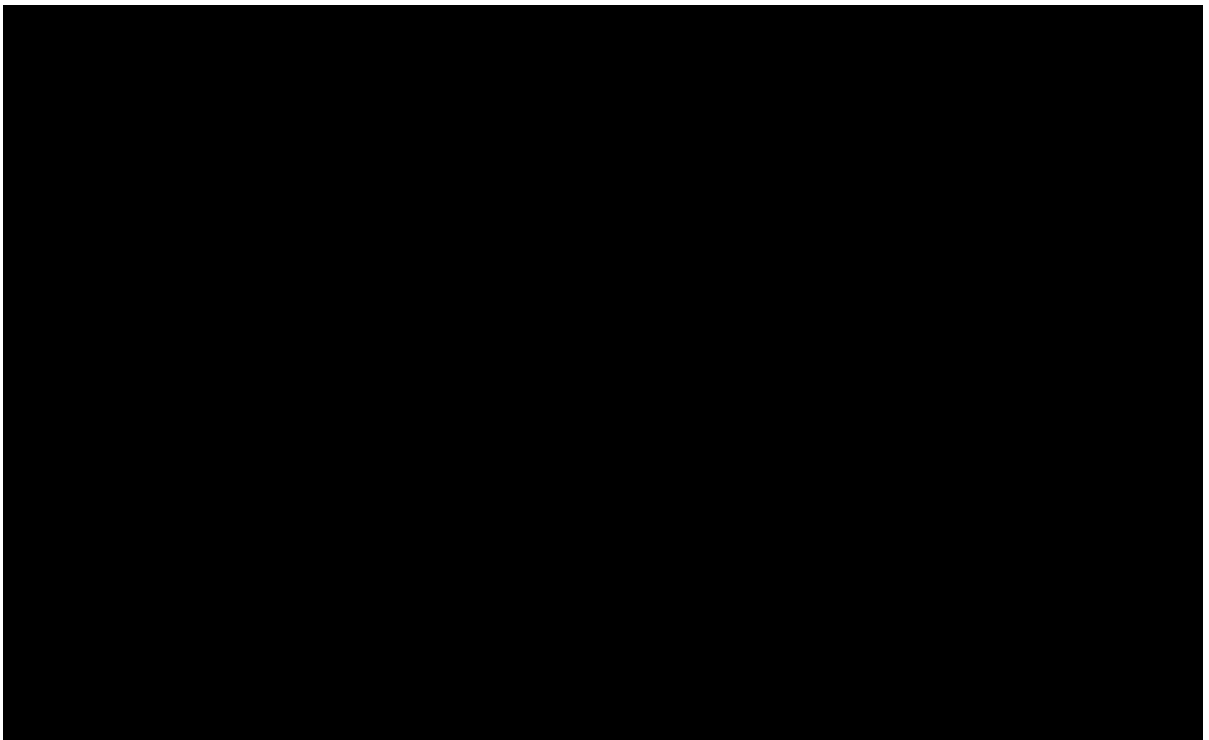


Figure 22 – Second Floor Plan

The following elements of the proposed dwelling are relevant to my land use planning analysis and opinion:

- The proposed dwelling has been designed with a second floor that is smaller than the ground floor in order to reduce the overall massing;
- The proposed dwelling incorporates articulation in its height and massing to provide attractive architectural design that also mitigates its overall scale;
- The proposed floor space index of 41.39% is less than approved in the immediate neighbourhood context at 225 Maurice Drive and 204 Mary Street;
- The proposed 2-storey height and massing is consistent with the existing 2-storey dwellings in the surrounding neighbourhood;
- The proposed side yard setbacks exceed the zoning requirement and provide an appropriate transition and buffer to the adjacent lots to the north and south;
- The minimal 1.12-metre garage projection is less than the maximum permitted and is mitigated by architectural features that frame the garage to minimize its prominence from the front of the dwelling and incorporate the projection into the overall dwelling massing;
- The proposed dwelling has been designed and situated on the property to provide a similar front and side yard setbacks to the existing dwelling that also comply with the zoning requirements;
- The proposed lot coverage is significantly less than permitted, which provides a considerable amount of landscaped open space;
- The proposed dwelling has been designed with an articulated roof line that adds architectural character and variability to the built form height and massing; and
- The majority of the dwelling complies with the maximum permitted height of 9 metres with only the central portion exceeding this maximum. The design includes no windows or openings in area above maximum height.

The “Residential Low (RL3-0)” permits single detached dwellings subject to the following performance standards:

Regulation	Required	Proposed
Minimum interior side yard:	1.2 metres on both sides where an attached private garage meeting the minimum dimension requirements of Section 5.2.3(b)	2.4 m and 1.2 m (complies)
Minimum rear yard:	7.5 m	27.8 m (complies)
Maximum floor area ratio:	38%	41.39% (variance required)
Maximum lot coverage:	35%	27.58% (complies)
Minimum front yard:	The yard legally existing on the effective date of this By-law less 1.0 metre (8.73 m)	Complies
Main wall proportionality:	A minimum of 50% of the length of all main walls oriented toward the front lot	Complies

	line shall be located within the area on the lot defined by the minimum and maximum front yards	
Balcony and Deck Prohibition:	Balconies and uncovered platforms are prohibited above the floor level of the first storey on any lot in the -0 Suffix Zone.	Second floor rear balcony proposed (variance required)
Maximum Height:	a) The maximum number of storeys shall be 2. b) Floor area is prohibited above the second storey. c) The maximum height shall be 9.0 metres.	2 storeys (complies) No floor area above second storey (complies) 9.30 m (variance required)
Private Garage Projection:	Attached or detached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line or flankage lot line.	1.12 m (complies)

The proposal requires the following minor variances to the prevailing zoning performance standards to facilitate construction of the new dwelling:

- i. To permit maximum height of 9.30 metres while 9.0 metres is permitted;
- ii. To permit maximum floor area ratio of 41.39% while 38% is permitted;
- iii. To permit a second floor rear balcony were balconies and uncovered platforms are prohibited above the floor level of the first storey on any lot in the -0 Suffix Zone.

D. Land Use Planning Analysis

This Planning Justification Report has been prepared to analyze requested minor variances within the context of the following four tests of the Planning Act:

- Do the variances maintain the general intent and purpose of the Official Plan?
- Do the variances maintain the general intent and purpose of the Zoning By-Law?
- Are the variances minor?
- Are the variances desirable for the appropriate development and use of the Subject Property?

D.1 Region of Halton Official Plan

D.1.1 Policy Overview

As of July 1, 2024, the Region of Halton Official Plan (RHOP) was deemed an official plan of each of the local municipalities in the Region, including the Town of Oakville, until such time as it is revoked or amended by the Town. The Subject Property is part of the “Urban Area” designated under Map 1.

Section 72.1 includes the following objectives for the Urban Area:

- (1) To accommodate growth in accordance with the Region's desire to improve and maintain regional unity, retain local community identity, create healthy communities, promote economic prosperity, maintain a high quality, sustainable natural environment, and preserve certain landscapes permanently.
- (3) To provide a range of identifiable, inter-connected and complete communities of various sizes, types and characters, which afford maximum choices for residence, work and leisure.
- (9) To facilitate and promote intensification and increased densities.

Section 85 includes the following objectives for Housing:

- (4) To make more efficient use of existing developed lands, housing stock and available services to increase the supply of housing while maintaining the physical character of existing neighbourhoods.
- (9) To encourage the Local Municipalities to maintain the quality of the existing housing stock.

Per section 86(11), it is also the policy of the Region to “Permit intensification of land use for residential purposes such as infill, redevelopment, and conversion of existing structures provided that the physical character of existing neighbourhoods can be maintained.”

D.1.2 Land Use Planning Opinion

It is my opinion that the general intent and purpose of the Region of Halton Official Plan with respect to residential areas in Urban Areas that are outside of Strategic Growth Areas and Major Transit Station Areas is to promote locally-appropriate growth and intensification, including infill and redevelopment, that maintains and enhances the quality of existing housing and the physical character of existing neighbourhoods. The intent and purpose are to be implemented in more detail at the local level through the Livable Oakville Plan and Zoning By-Law performance standards.

It is my opinion that the requested minor variances, individually and cumulatively, will maintain the general intent and purpose of the Region of Halton Official Plan on the following basis:

- The significant majority of the proposed dwelling will be under the maximum permitted height of 9 metres and the proposed height will be consistent with the built form character of the existing two-storey dwellings in the surrounding neighbourhood;
- The dwelling height tapers down to less than the maximum permitted height of 9 metres on the north and south sides of the dwelling, adjacent to the neighbouring lots;
- The proposed floor space index is less than has been approved on other properties in the surrounding neighbourhood and is mitigated by front, rear and side yard setbacks that exceed the minimum zoning requirements; the reduced second floor area relative to the ground floor area also reduces the overall massing and scale; and
- The proposed front and rear yard setbacks, lot coverage and floor area will establish a similar building footprint and built form massing to the existing dwelling and maintain the existing relationship to the public realm and adjacent properties.

D.4 Livable Oakville Plan

D.4.1 Policy Overview

Section 2 includes the Guiding Principles of the Livable Oakville Plan, including the following:

- 2.2.1 Preserving and creating a livable community in order to: a) preserve, enhance, and protect the distinct character, cultural heritage, living environment, and sense of community of neighbourhoods;
- 2.2.2 Providing choice throughout the Town in order to: c) foster the Town's sense of place through excellence in building and community design.

Section 3.9 provides the following direction for Residential Areas: "Residential Areas include low, medium and high density residential uses as well as a range of compatible facilities such as schools, places of worship, recreational and commercial uses that serve the residents of the Town. Some growth and change may occur in the Residential Areas provided the character of the area is preserved and the overall urban structure of the Town is upheld. The character of the Residential Areas will be significantly influenced by their relationship to the Natural Heritage System, parks and open space areas."

Section 6.9 includes the following Built Form policies:

- 6.9.1 Buildings should be designed to create a sense of identity through massing, form, placement, orientation, scale, architectural features, landscaping and signage.
- 6.9.2 Building design and placement should be compatible with the existing and planned surrounding context and undertaken in a creative and innovative manner.
- 6.9.3 To achieve compatibility between different land uses, development shall be designed to accommodate an appropriate transition through landscape buffering, spatial separation, and compatible built form.

- 6.9.7 Development should be designed with variation in building mass, façade treatment and articulation to avoid sameness.
- 6.9.9 New development shall ensure that proposed building heights and form are compatible with adjacent existing development by employing an appropriate transition of height and form from new to existing development, which may include setbacks, façade step backs or terracing in order to reduce adverse impacts on adjacent properties and/or the public realm.
- 6.9.10 Continuous streetwalls of identical building height are discouraged. Variety in rooflines should be created through subtle variations in roof form and height.

Section 11 includes the following objectives for all Residential Areas:

- a) maintain, protect and enhance the character of existing Residential Areas;
- b) encourage an appropriate mix of housing types, densities, design and tenure throughout the Town;
- c) promote housing initiatives to facilitate revitalization, compact urban form and an increased variety of housing alternatives;
- d) promote innovative housing types and forms to ensure accessible, affordable, adequate and appropriate housing for all socio-economic groups;
- e) encourage the conservation and rehabilitation of older housing in order to maintain the stability and character of the existing stable residential communities; and,
- f) discourage the conversion of existing rental properties to condominiums or to other forms of ownership in order to maintain an adequate supply of rental housing.

Section 11.1.9 directs that development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:

- a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.
- b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.
- c) Where a development represents a transition between different land use designations or housing forms, a gradation in building height shall be used to achieve a transition in height from adjacent development.
- d) Where applicable, the proposed lotting pattern of development shall be compatible with the predominant lotting pattern of the surrounding neighbourhood.
- e) Roads and/or municipal infrastructure shall be adequate to provide water and wastewater service, waste management services and fire protection.
- f) Surface parking shall be minimized on the site.
- g) A proposal to extend the public street network should ensure appropriate connectivity, traffic circulation and extension of the street grid network designed for pedestrian and cyclist access.
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.

- i) The preservation and integration of heritage buildings, structures and uses within a Heritage Conservation District shall be achieved.
- j) Development should maintain access to amenities including neighbourhood commercial facilities, community facilities including schools, parks and community centres, and existing and/or future public transit services.
- k) The transportation system should adequately accommodate anticipated traffic volumes.
- l) Utilities shall be adequate to provide an appropriate level of service for new and existing residents.

Section 11.2 confirms that the Low Density Residential land use designation may permit a range of low density housing types including detached dwellings, semi-detached dwellings and duplexes at a density of up to 29 dwelling units per site hectare.

D.4.2 Land Use Planning Opinion

It is my opinion that the requested minor variances, individually and cumulatively, will maintain the general intent and purpose of the Livable Oakville Plan on the following basis:

- The proposed dwelling will preserve, enhance and protect the land use and built form characteristics of the surrounding neighbourhood that include both original 1-storey dwellings and new 2-storey dwellings constructed within direct proximity to one another;
- The proposed dwelling has been designed to meet and exceed the minimum required front, rear and side yard setbacks in order to provide appropriate transition to the neighbouring dwellings and public realm;
- The proposed dwelling will be of height, massing, form, placement and orientation that is consistent with the character of existing 2-storey dwellings in the surrounding neighbourhood context;
- The majority of the proposed building height complies with the Zoning By-Law with only a small portion towards the centre of the building footprint and spatially separated from the adjacent dwellings exceeding the maximum permitted height; and
- The proposed dwelling includes articulation and variability in building height to break up the building mass and reduce the scale of its appearance relative to adjacent dwellings.

D.5 Zoning By-Law 2014-014

The general intent and purpose of the Zoning By-Law is to apply permissions and performance standards that implement the Livable Oakville Plan.

The general intent and purpose of regulating the maximum building height is to ensure that the height of the building is compatible with, and will not result in adverse impacts to, neighbouring dwellings, and protects and enhances the character of the neighbourhood. The requested minor variance to the maximum building height is for 0.30 metres for a limited portion of the overall dwelling height. There will be no windows or

openings in the area above the maximum permitted height that would contribute to undue adverse impacts associated with privacy and overlook. The central peak of the roof that is contributing to the additional building height also provides variability in the roofline and facade of the building.

The general intent and purpose of regulating floor area ratio is to ensure that an appropriate built form scale and massing is constructed relative to the size of the lot. Under this proposal, the new dwelling will be of similar height, massing, density and scale to other 2-storey dwellings in the surrounding neighbourhood context. The proposed floor area will be mitigated by lot coverage that is significantly less than the maximum permitted, and front, rear and side yard setbacks that meet or exceed the minimum requirements.

In general, the prevailing performance standards are intended to ensure that proposed built form is compatible with surrounding land use and structures, and preserves and protects the neighbourhood character. These performance standards are also intended to mitigate adverse impacts to adjacent properties, including privacy, overlook and shadow. It is my opinion that the requested minor variances, individually and cumulatively, will maintain the general intent and purpose of the Zoning By-Law.

D.6 Minor in Nature

It is my opinion that the minor variances, individually and cumulatively, are minor. The requested relief will not adversely impact the neighbourhood built form character, in terms of building height, scale, density and massing, relative to the existing conditions and the as-of-right performance standards. The increases in building height and floor space index, in conjunction with a rear second floor balcony, will not result in adverse privacy, overlook or shadow impacts relative to the prevailing zoning performance standards. The requested relief to the permitted height and floor space index will facilitate construction of a new 2-storey dwelling that is consistent with existing 2-storey dwellings that have been constructed in the surrounding neighbourhood to replace the original dwellings, and now form part of the existing built form character.

D.7 Desirability for the Development and Use of the Subject Property

It is my opinion that the requested minor variances will facilitate appropriate redevelopment of the Subject Property in a manner that enhances, and is compatible with, the existing and permitted residential uses in this neighbourhood. The minor variances seek to achieve built form height, scale and massing that is relatively consistent with the existing 2-storey dwellings in the surrounding neighbourhood, and incorporates design features to ensure compatibility with the adjacent dwellings to the north and south. The relationship of the Subject Property to the public realm and neighbouring properties, which is part of the existing context of the neighbourhood, will be effectively maintained. The proposed variances will facilitate revitalization of the existing residential use on the Subject Property in a manner that respects and reinforces the existing land use and built form character.

E. Conclusions and Recommendations

It is my opinion that the requested minor variances, individually and cumulatively:

- Maintain the general intent and purpose of the Official Plans of the Region of Halton and Town of Oakville;
- Maintain the general intent and purpose of the Zoning By-Law;
- Are minor; and
- Are desirable for the appropriate development and use of the Subject Property.

On this basis, it is my recommendation that the requested minor variances be granted by the Committee of Adjustment.

Regards,



Michael Barton, MCIP, RPP