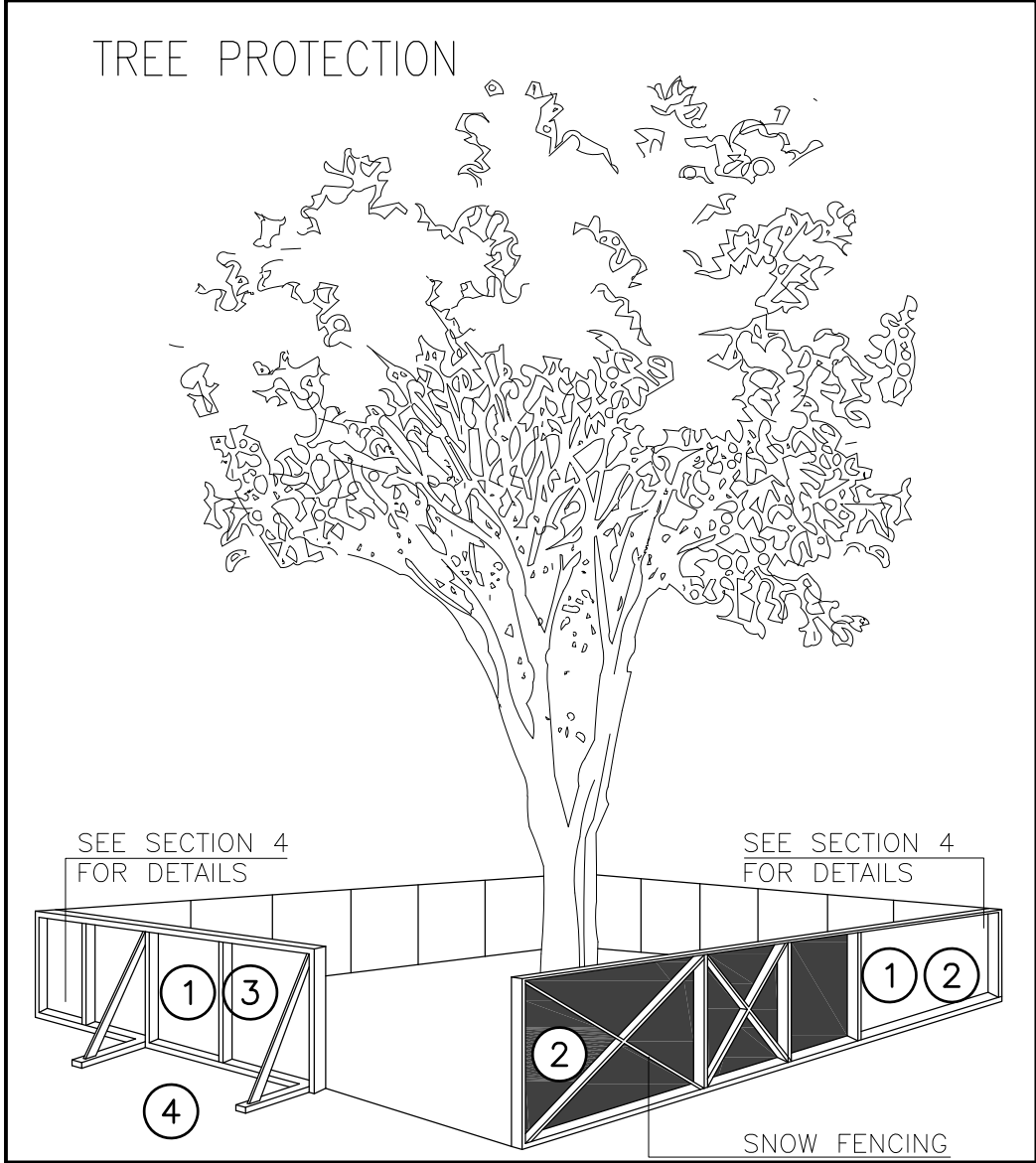


Google

Layers





- TREE PROTECTION BARRIERS
- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
 - TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"'S.
 - WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
 - ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
 - NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
 - ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

- SECTION 4, SIGNAGE
- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

TOWN OF OAKVILLE
PARKS AND RECREATION
DEPARTMENT

NAME: TREE PROTECTION BARRIERS
DATE:
FILE NO.:

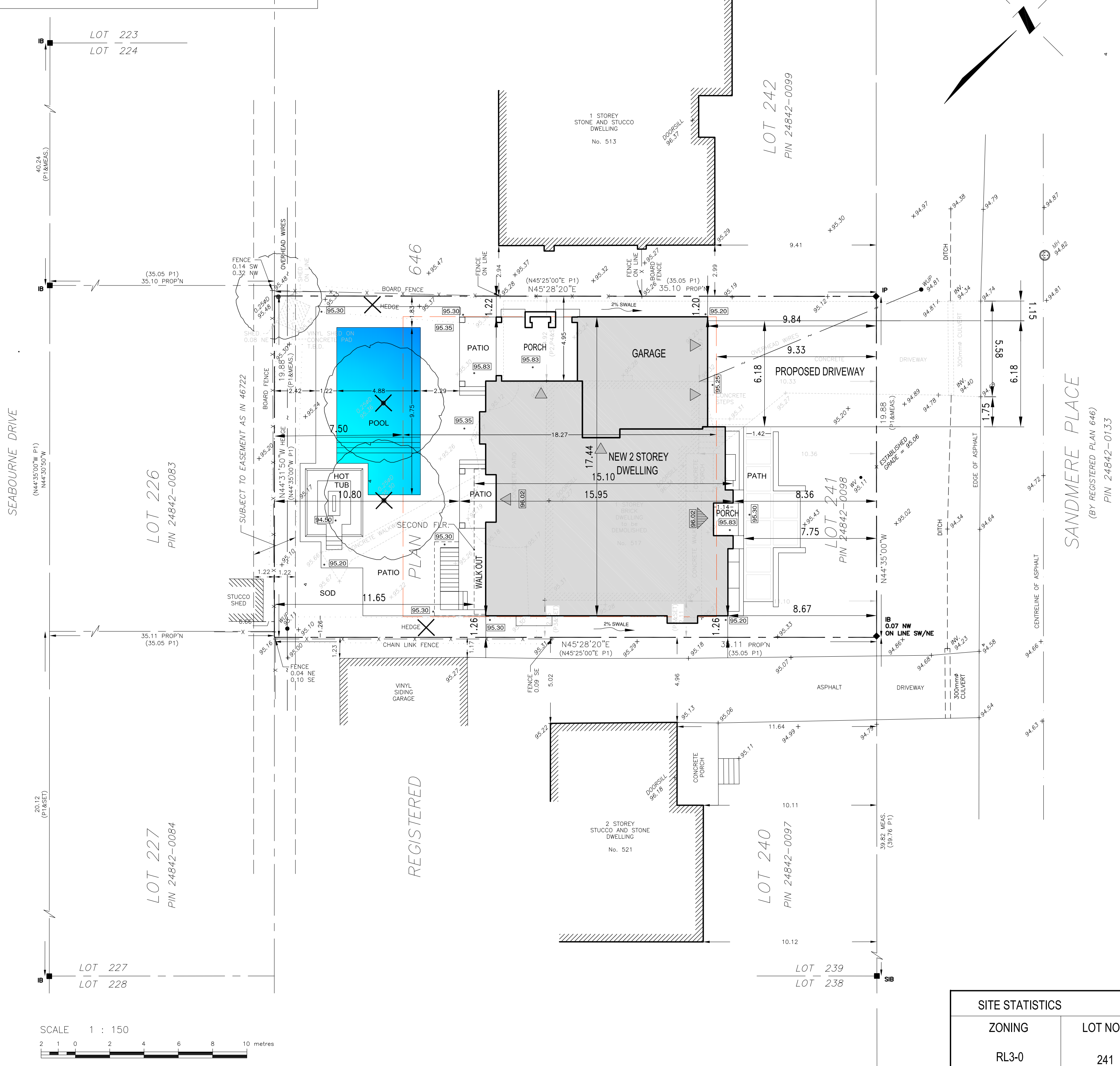
- A** SOLID HOARDING (PLYWOOD BOARDS)
B FRAMED HOARDING (PLASTIC SAFETY FENCING)

1 OAKVILLE SITE REQUIREMENTS
A1.2 SCALE: DNS

- GENERAL NOTES:
A) SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.
B) IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.
C) THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.
D) THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER. CONSERVATION AUTHORITY OR THE CITY.
E) ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.
F) WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED. THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINSTATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

2 EROSION AND SEDIMENT CONTROL
A2.1 SCALE: DNS

REPORT SUMMARY
PROPERTY DESCRIPTION: 517 SANDMERE PLACE, BEING LOT 241, REGISTERED PLAN 646, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24842-0098
EASEMENTS/RIGHTS-OF-WAY: SUBJECT TO EASEMENT IN FAVOUR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN INSTRUMENT 46722
COMMENTS:
1. NOTE THE LOCATION OF THE VINYL SHED ON CONCRETE PAD WITHIN THE LANDS SUBJECT TO EASEMENT
2. NOTE THE LOCATION OF FENCES

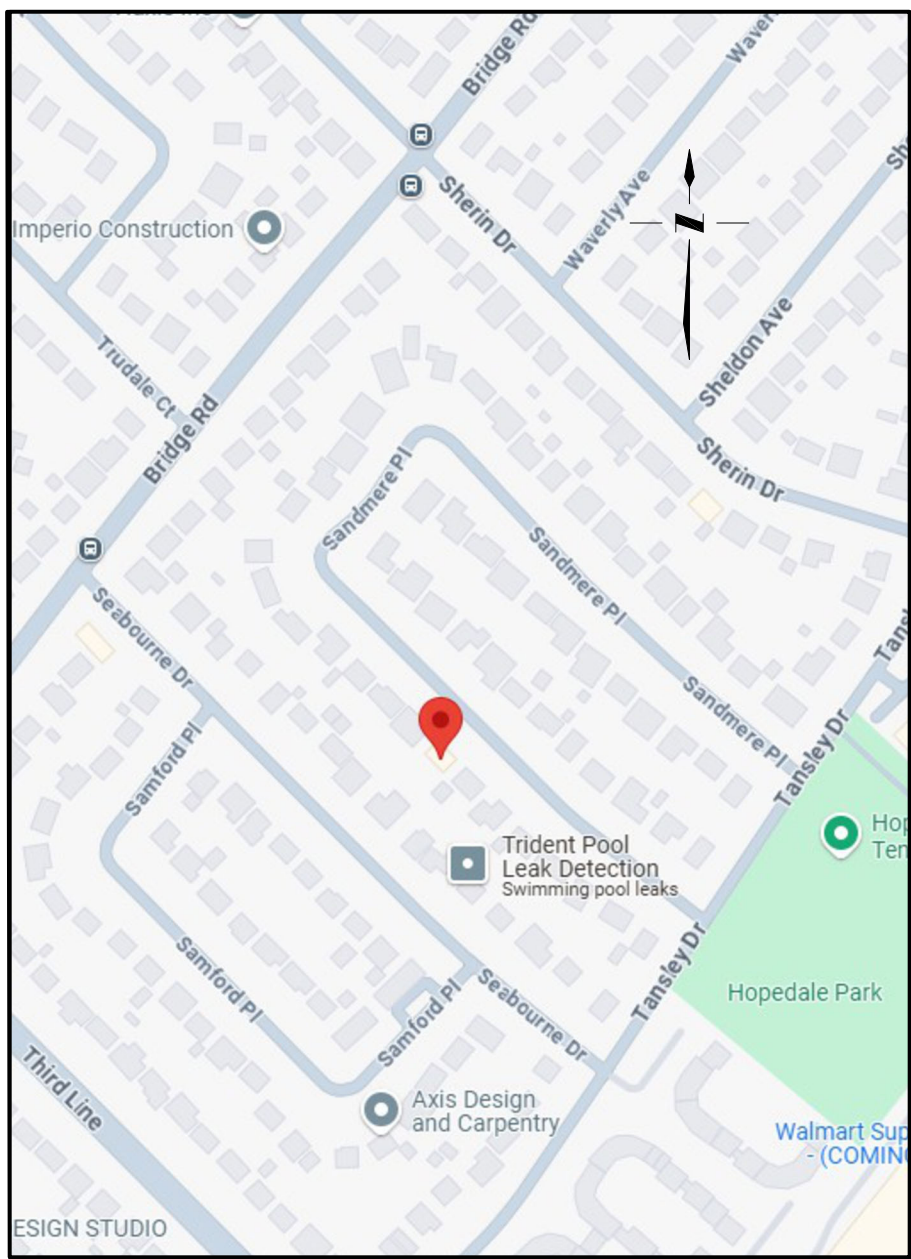


3 SITE PLAN
A2.1 SCALE: 1:150



7 SITE STATISTICS
A2.1 SCALE: DNS

SITE STATISTICS							
ZONING	LOT NO	PLAN NO:		LOT AREA:	LOT FRONTAGE:	LOT DEPTH:	
RL3-0	241	646		698.50m2 7,518sf	19.88m	35.11m	
DESCRIPTION		PROPOSED	%	REQUIRED	%	SETBACKS	REQUIRED
LOT COVERAGE (1)		244.41m2 (2,631sf)	34.99%	244.48m2 (2,631sf)	35%	FRONT	9.33m
		49.88m2 (537 sf)				REAR	7.50m
INTERIOR OF GARAGE		44.87m2 (483 sf)				SIDE (NORTH)	1.20m
FLOOR AREA (2)	1ST FLOOR	166.29m2 (1,789 sf)				SIDE (SOUTH)	1.20m
	2ND FLOOR	153.56m2 (1,653 sf)	45.79%	286.38m2 (3,082sf)	41%		
	TOTAL	319.85m2 (3,442 sf)					
COVERED PORCHES		28.24m2 (304 sf)					
(1) COVERAGE CALCULATION INCLUDES COVERED PORCHES AND GARAGE				REQ'D.	PROP.	HEIGHT	9m
(2) GROSS FLOOR AREA CALCULATION DOES NOT INCLUDE OPEN TO BELOW AREAS		BLDG. STOREYS	2	2			9m
		PARKING SPACES	2	2			



4 KEY PLAN
A2.1 SCALE: DNS

REGIONAL APPROVAL
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.
DATED..... SIGNED.....
INFRASTRUCTURE PLANNING AND POLICY
THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6032) FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

5 REGION OF HALTON
A2.1 SCALE: DNS

CERTIFICATION FOR PROPOSED GRADING

6 GRADING CERTIFICATE
A2.1 SCALE: NA

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SITE LEGEND:	
	PROPERTY LINE
	EXISTING GRADE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	FINISHED BASEMENT ELEVATION
	FINISHED DECK ELEVATION
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	PROPOSED ADDITION AREA
	TREE HOARDING
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	REPLACEMENT TREE (AS PER ARBORIST REP.)
	RAIN WATER DOWNSPOUT

SITE ACCREDITATION:
PLAN OF TOPOGRAPHY OF
LOT 241
REGISTERED PLAN 646
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
INFORMATION TAKEN FROM A SURVEY PREPARED BY:
TARASICK McMILLAN KUBICKI LIMITED 10344-SRPR-T
ONTARIO LAND SURVEYORS
JANUARY 23, 2025 ©COPYRIGHT, 2025
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
BENCHMARK
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928 (1978 RE-ADJUSTMENT), AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 34, HAVING A PUBLISHED ELEVATION OF 94.232 metres.

2	07.18.25	REVISED FOR C.O.A.
1	06.15.25	REVISED FOR C.O.A.
REF.	DATE:	DESCRIPTION:

www.keystonehomedesigns.com
INFO@KEYSTONEHOMEDESIGNS.COM
905.616.2221

251 NORTH SERVICE RD.
SUITE 303
OAKVILLE, ON.
L6M 3E7
905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

CLIENT:
MERNAR RESIDENCE
ADDRESS: 517 SANDEMERE PL.
CITY: OAKVILLE, ON.
DRAWING TITLE:
SITE PLAN
DRAWN: G.C.
DATE: 06/15/25
JOB NUMBER:
25-01
SCALE: AS SHOWN
SHEET NUMBER:
A1.2

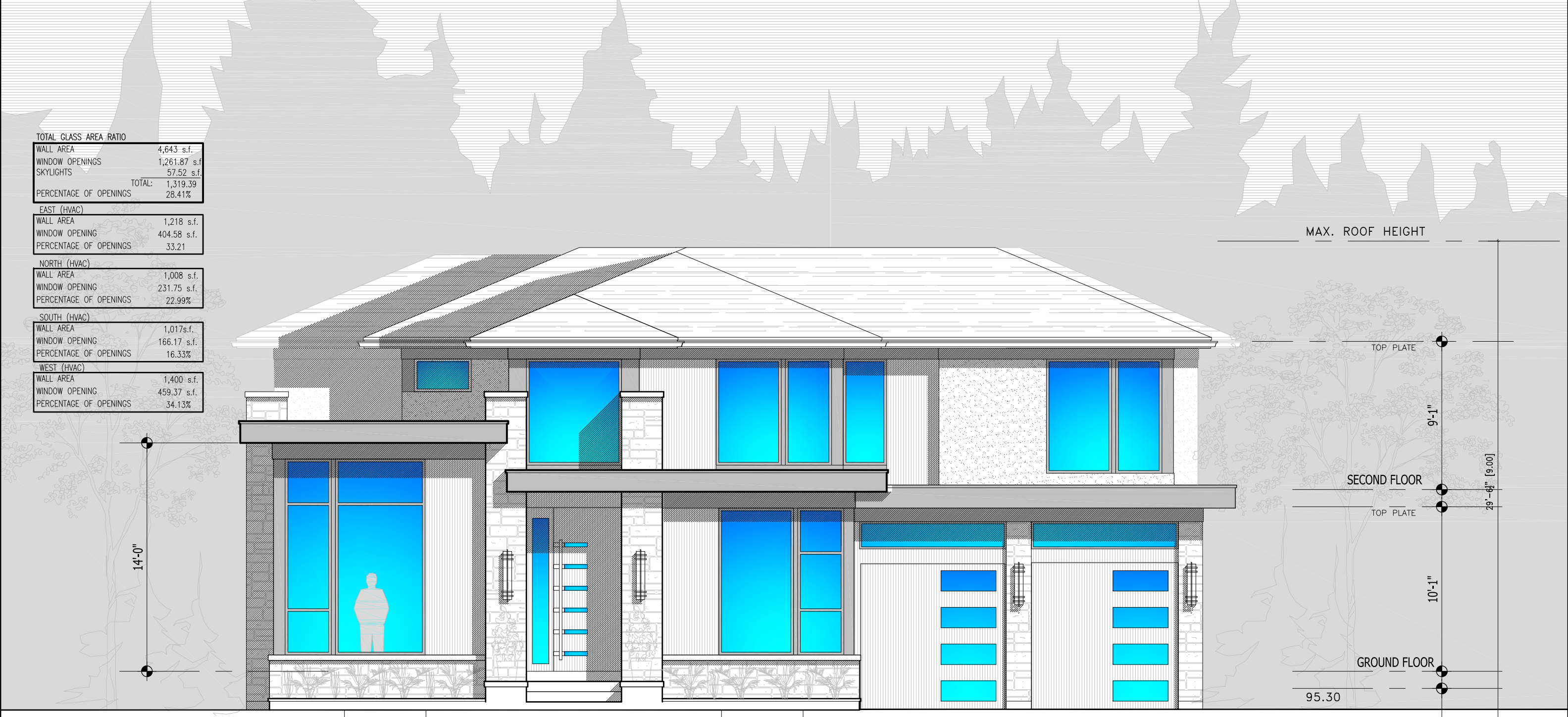
TOTAL GLASS AREA RATIO	
WALL AREA	4,643 s.f.
WINDOW OPENINGS	1,261.87 s.f.
SKYLIGHTS	57.52 s.f.
TOTAL:	1,319.39
PERCENTAGE OF OPENINGS	28.41%

EAST (HVAC)	
WALL AREA	1,218 s.f.
WINDOW OPENING	404.58 s.f.
PERCENTAGE OF OPENINGS	33.21

NORTH (HVAC)	
WALL AREA	1,008 s.f.
WINDOW OPENING	231.75 s.f.
PERCENTAGE OF OPENINGS	22.99%

SOUTH (HVAC)	
WALL AREA	1,017s.f.
WINDOW OPENING	166.17 s.f.
PERCENTAGE OF OPENINGS	16.33%

WEST (HVAC)	
WALL AREA	1,400 s.f.
WINDOW OPENING	459.37 s.f.
PERCENTAGE OF OPENINGS	34.13%



5 EAST ELEVATION 'C9'

DESIGNED APPROVED BY:

DATE:



KEYSTONE
HOME DESIGNS

ADDRESS:

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OAKVILLE, ON.
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www.keystonehomedesigns.com

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NOT FOR CONSTRUCTION

MERMAR
RESIDENCE

517 SANDEMERE PL.
OAKVILLE, ON.

PROJECT:

25-01

DATE:

APRIL 27,2025

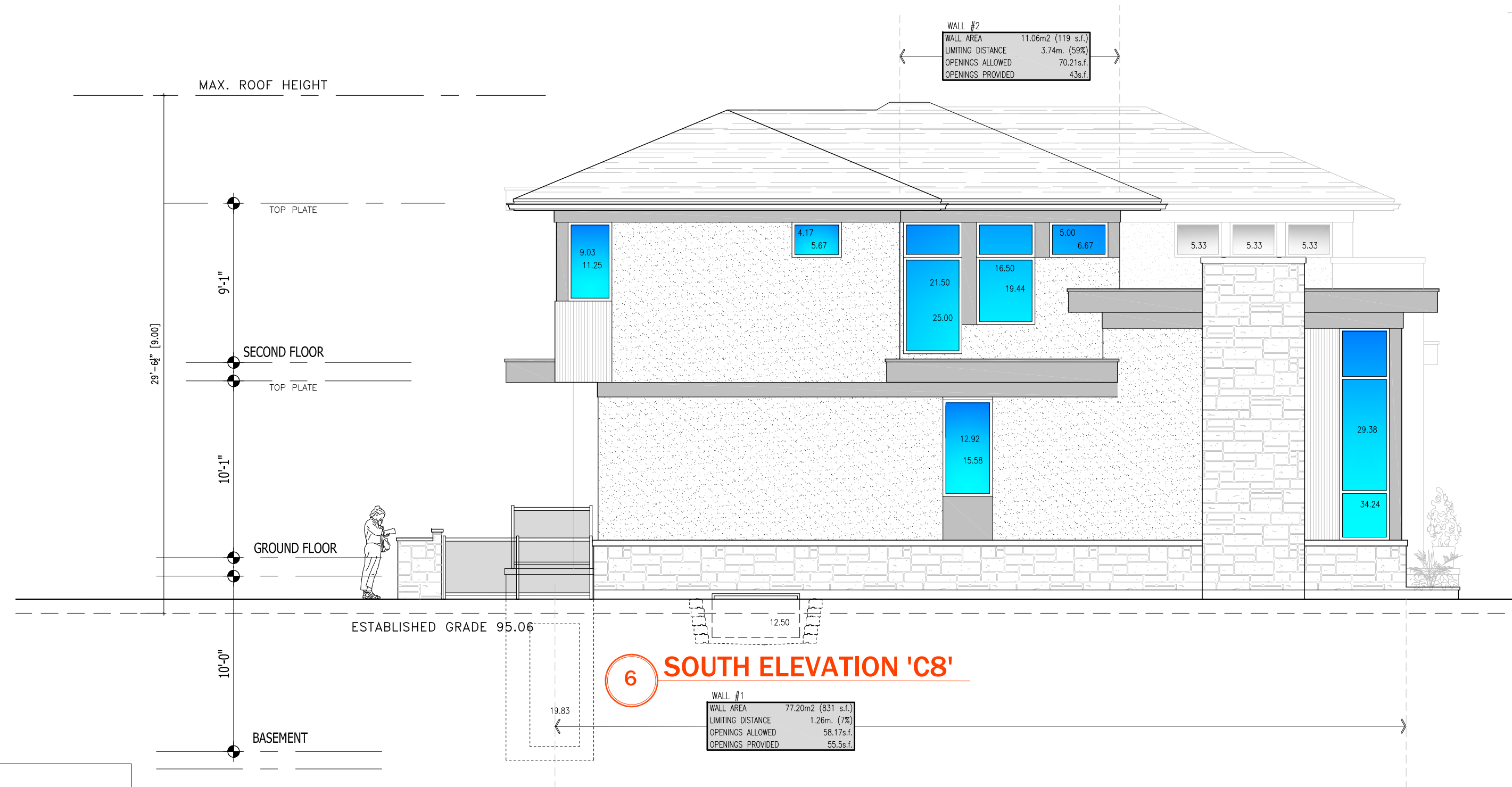
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DRAWN BY:

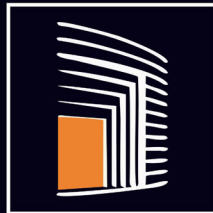
G. CASTILLO

A4.1



DESIGNED APPROVED BY:

DATE:



KEYSTONE
HOME DESIGNS

ADDRESS:
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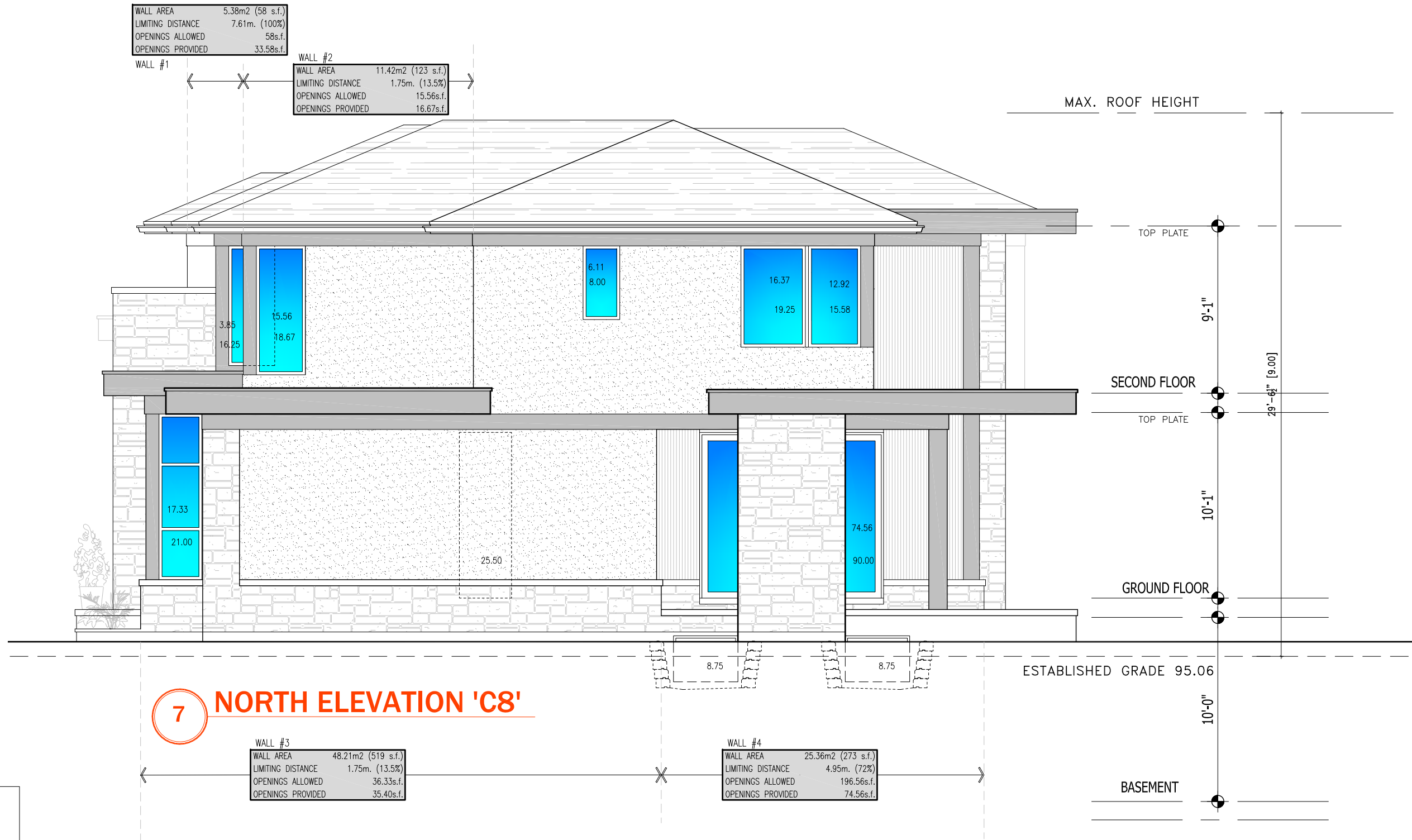
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MERMAR
RESIDENCE

517 SANDEMERE PL.
OAKVILLE, ON.

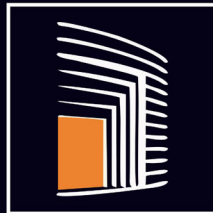
PROJECT: 25-01
DATE: APRIL 25, 2025
SCALE: 3/8"=1'-0"
DRAWN BY: G. CASTILLO

A4.2



DESIGNED APPROVED BY:

DATE:



KEYSTONE
HOME DESIGNS

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PROJECT:

25-01

DATE:

APRIL 25, 2025

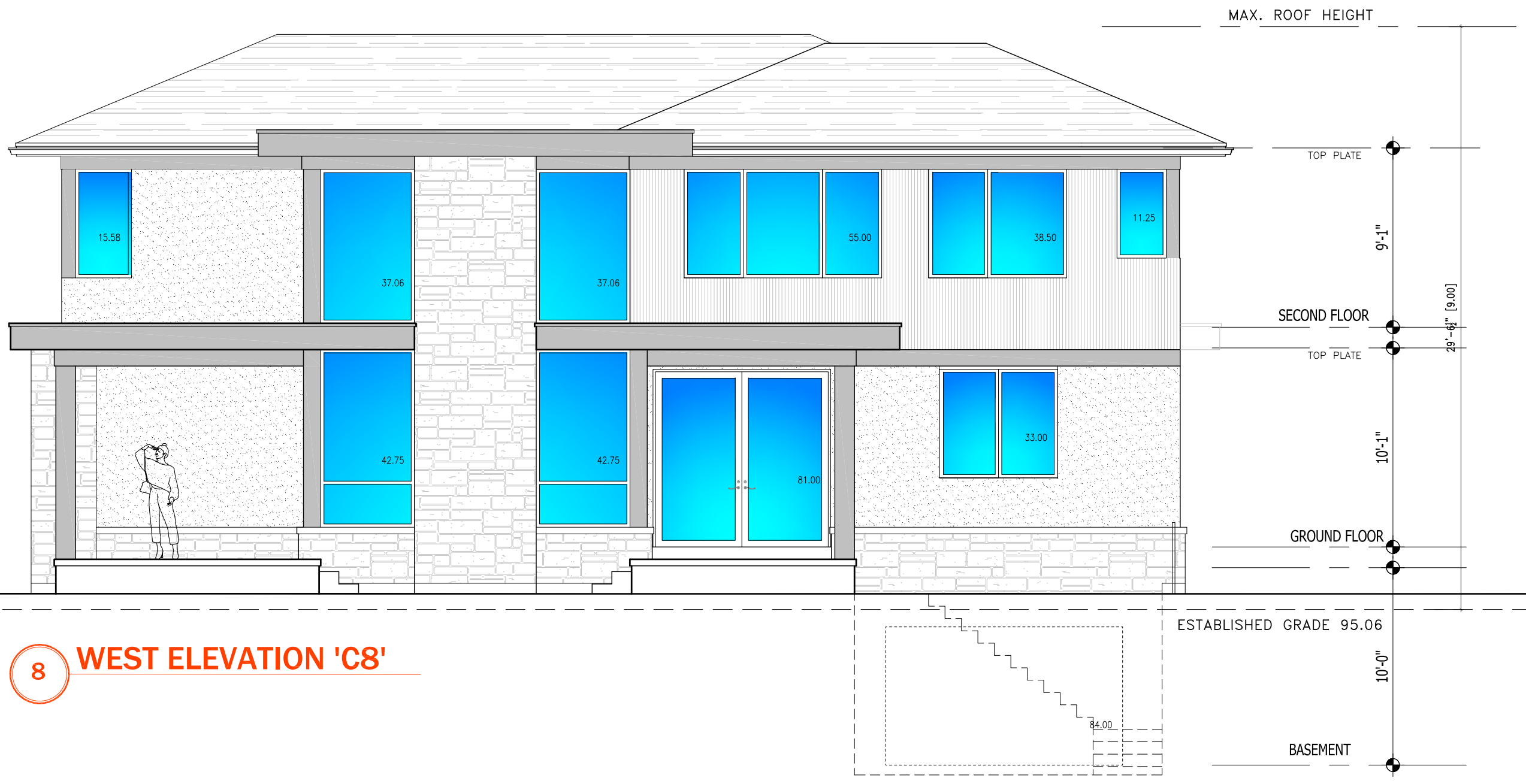
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3/8"=1'-0"

DRAWN BY:

G. CASTILLO

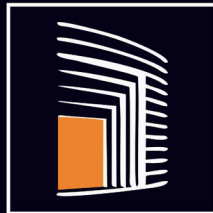
A4.3



8 WEST ELEVATION 'C8'

DESIGNED APPROVED BY:

DATE:



KEYSTONE
HOME DESIGNS

ADDRESS:
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SUITE 303
OAKVILLE, ON.
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MERMAR
RESIDENCE

517 SANDEMERE PL.
OAKVILLE, ON.

PROJECT:
25-01
DATE:
APRIL 25, 2025
SCALE:
3/8"=1'-0"
DRAWN BY:
G. CASTILLO

A4.4