

2025 April 23
Work 218: Ahead by (Almost) a Century
Committee of Adjustment Application: Minor Variance

To Whom it may concern,

We have been retained by [REDACTED] and [REDACTED] to complete full architectural services for alterations and additions to their home at 358 Pinehurst Avenue in Oakville. Prior to our involvement, [REDACTED] and [REDACTED] had been working with another office for similar services. They had completed the COA process for minor variances approved under CAV A/124/2024. The Owner's relationship with that previous practice has since ended amicably. We have restarted the design process and have generated a new design for Nick and Agnes, which involves variances that, while still fully expected to be considered minor, differ slightly from those approved under CAV A/124/2024. Our anticipated variances are outlined in the table on the following page, and are also shown in the included Proposed Site Plan.

The existing residential use is unchanged. The proposed development is the construction of front, side and rear additions to the existing one-storey detached dwelling. The existing building is already non-compliant due to the shape of the lot and the way the existing dwelling is situated. Therefore, it is not possible to achieve the proposed additions without the variances we are applying for. This proposal updates the dwelling for our clients' modern family life while continuing to maintain and preserve the established neighbourhood character.

Sincerely,

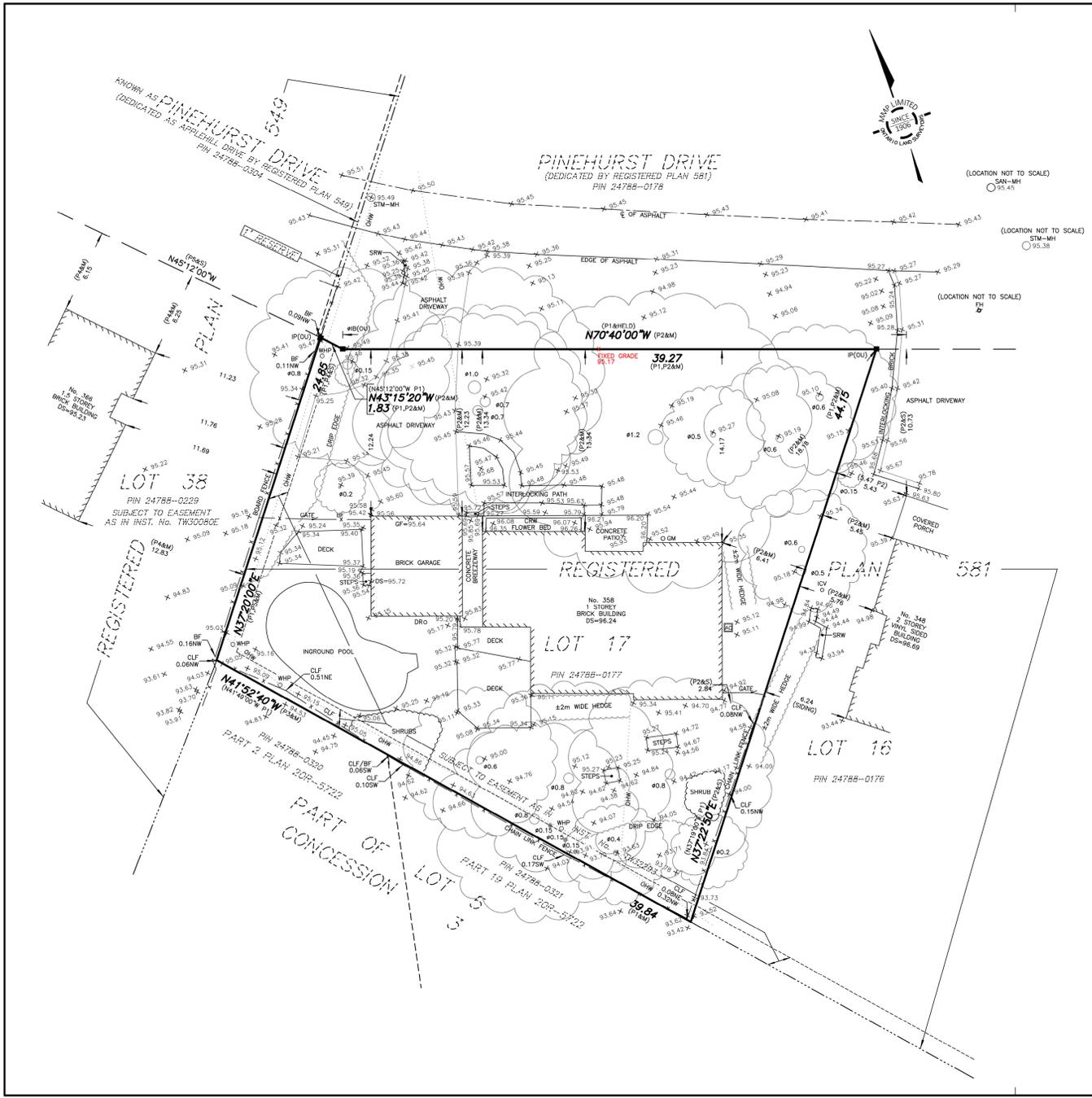


Brian O'Brian

WORKS OFFICE OF
BRIAN O'BRIAN ARCHITECT
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Under Section 45(1) of the Planning Act, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of front, side, and rear additions to the existing one-storey detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

No.	By-Law	Proposed
1	<i>Table 4.3 (Row 3)</i> The maximum encroachment into a minimum yard for canopies and eaves shall be 0.6m.	To increase the maximum encroachment into the minimum rear yard for the canopy/eaves to 1.32m
2	<i>Table 6.3.1 (Row 5, Column RL1)</i> The minimum interior side yard shall be 4.2m.	To reduce the minimum southerly interior side yard to 2.49m .
3	<i>Table 6.3.1 (Row 6, Column RL1)</i> The minimum rear yard shall be 10.5m.	To reduce the minimum rear yard to 6.45m for one canopy post only.



SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 17
REGISTERED PLAN 581
IN THE
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
SCALE 1:200

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING
BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - NOVEMBER 22, 2023
REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
- SUBJECT TO EASEMENT AS IN INST. No. TW32293
ADDITIONAL REMARKS:
- REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

Metric: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES A SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - P1 DENOTES REGISTERED PLAN 581
 - P2 DENOTES PLAN BY J.H. GELBLOOM SURVEYING LIMITED DATED SEPTEMBER 7, 2017
 - P3 DENOTES PLAN 20R-5722
 - P4 DENOTES PLAN BY McCONNELL-JACKSON DATED JUNE 5, 1988
 - P5 DENOTES REGISTERED PLAN 549
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - (OU) DENOTES ORIGIN UNKNOWN
 - DS DENOTES DOOR SILL
 - GF DENOTES GARAGE FLOOR
 - DR DENOTES DRAIN
 - ICV DENOTES IRRIGATION CONTROL VALVE
 - FH DENOTES FIRE HYDRANT
 - SAN-MH DENOTES SANITARY MANHOLE
 - STM-MH DENOTES STORM MANHOLE
 - GM DENOTES GAS METER
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - CRW DENOTES CONCRETE RETAINING WALL
 - SRW DENOTES STONE RETAINING WALL
 - WHP DENOTES WOOD HYDRO POLE
 - OHW DENOTES OVERHEAD WIRE
 - ⊙ DENOTES CENTRELINE
 - ⊠ DENOTES AIR CONDITIONER
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
 - ☼ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
- ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED
A ROTATION OF 00°35'00" HAS BEEN APPLIED TO BEARINGS ON P5
FIXED GRADE WAS INTERPOLATED AND ADDED BY MMP LTD. MAY 1, 2024

BENCHMARK NOTE
TOWN OF OAKVILLE BENCHMARK No. 32
ELEVATION = 96.089 METRES
SOUTHERLY EDGE OF SOUTHERLY CONCRETE GARAGE DOOR SILL AT No. 379 MAPLE GROVE ROAD

BEARING REFERENCE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PINEHURST DRIVE AS SHOWN ON REGISTERED PLAN 581 HAVING A BEARING OF N70°40'00"W

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF DECEMBER, 2023.

JANUARY 30, 2024 DATE
ROY C. MAYO ONTARIO LAND SURVEYOR FOR MACKAY, MACKAY & PETERS LIMITED

 Mackay, MacKay & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmplimited.com mmp@mmplimited.com	DRAWN BY: G.S. PARTY CHIEF: W.Y. CHECKED BY: PROJECT No.: 23-293
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ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-70584

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

ISSUES AND REVISIONS

ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

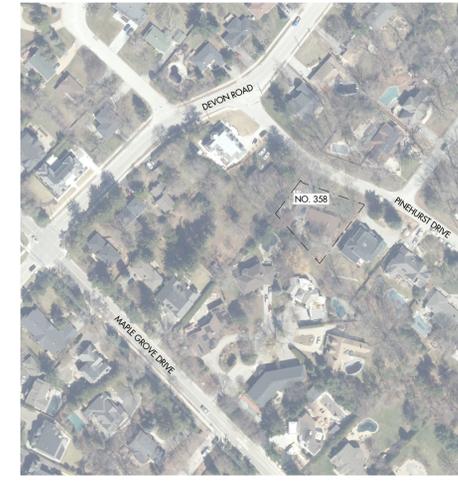
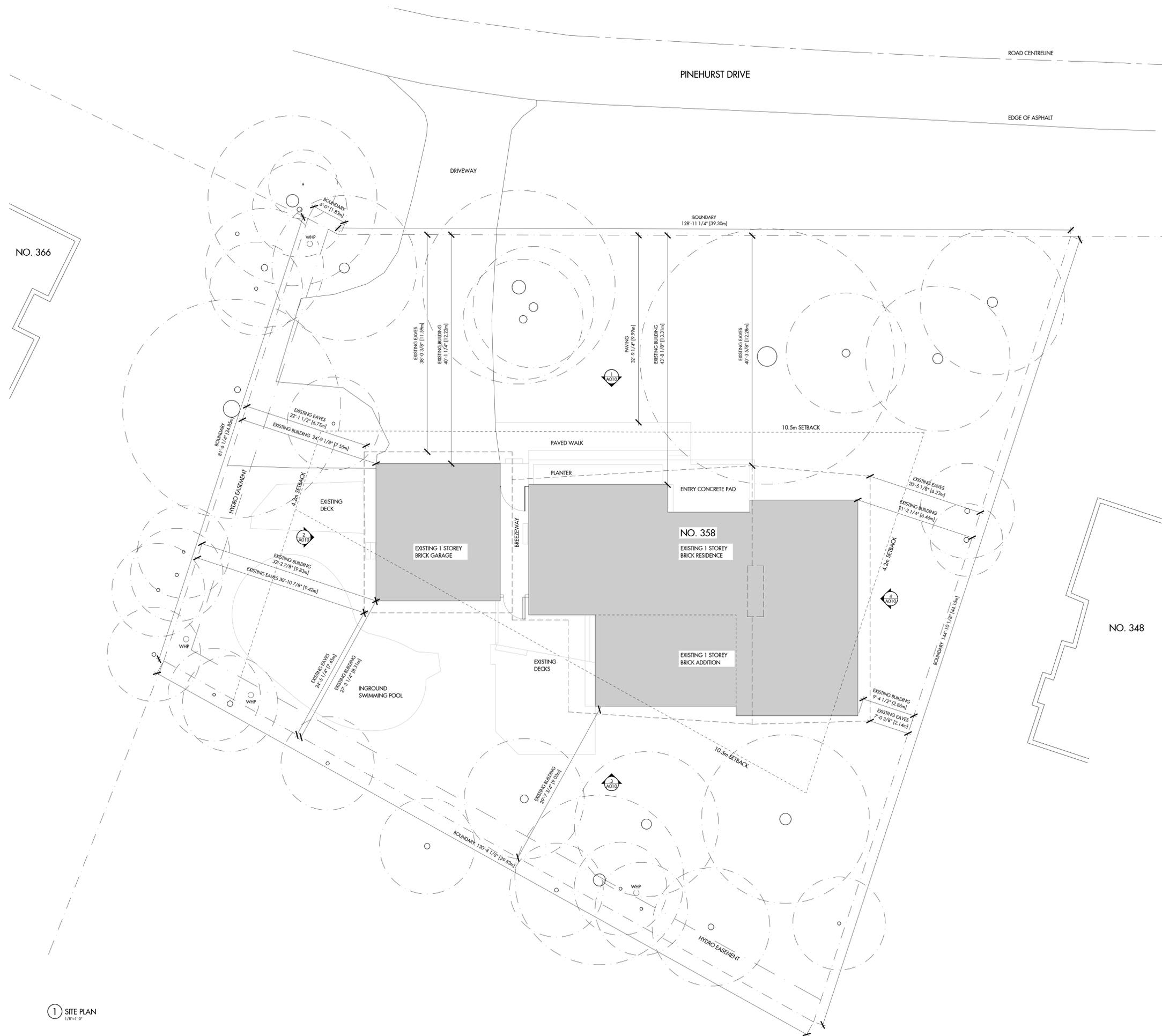
COMMITTEE OF
ADJUSTMENT

SITE SURVEY

DATE: 2025 APR 10
DRAWN BY: AC
CHECKED BY: O

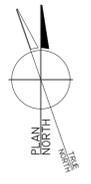
CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. DO NOT SCALE DRAWINGS. IN THE EVENT OF ANY AND ALL DISCREPANCIES, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. ALL PRINTS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED ON COMPLETION OF THE WORK.

A001.0



2) LOCATION PLAN
1:2000

1) SITE PLAN
1/8"=1'-0"



ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

EXISTING SITE PLAN

NOTES REGARDING THE GENERATION OF THIS DOCUMENT:
ALL PROPERTY LINES AND BUILDING LOCATION DIMENSIONS ARE EXTRAPOLATED FROM
MWP LAND SURVEYORS & MAPPERS SURVEY DATED 30 JANUARY, 2024 AND/OR FROM
INFORMATION PROVIDED BY ARBORCORP ARBORIST REPORT.
WHILE ARCHITECT HAS MADE ALL EFFORTS TO ACHIEVE ACCURACY WITH THESE
DIMENSIONS, PRECISION IS NOT GUARANTEED.

BUILDING HATCH LEGEND

	EXISTING BUILDING
	NEWLY PROPOSED ADDITIONS
	NEWLY PROPOSED ADDITION CANOPY

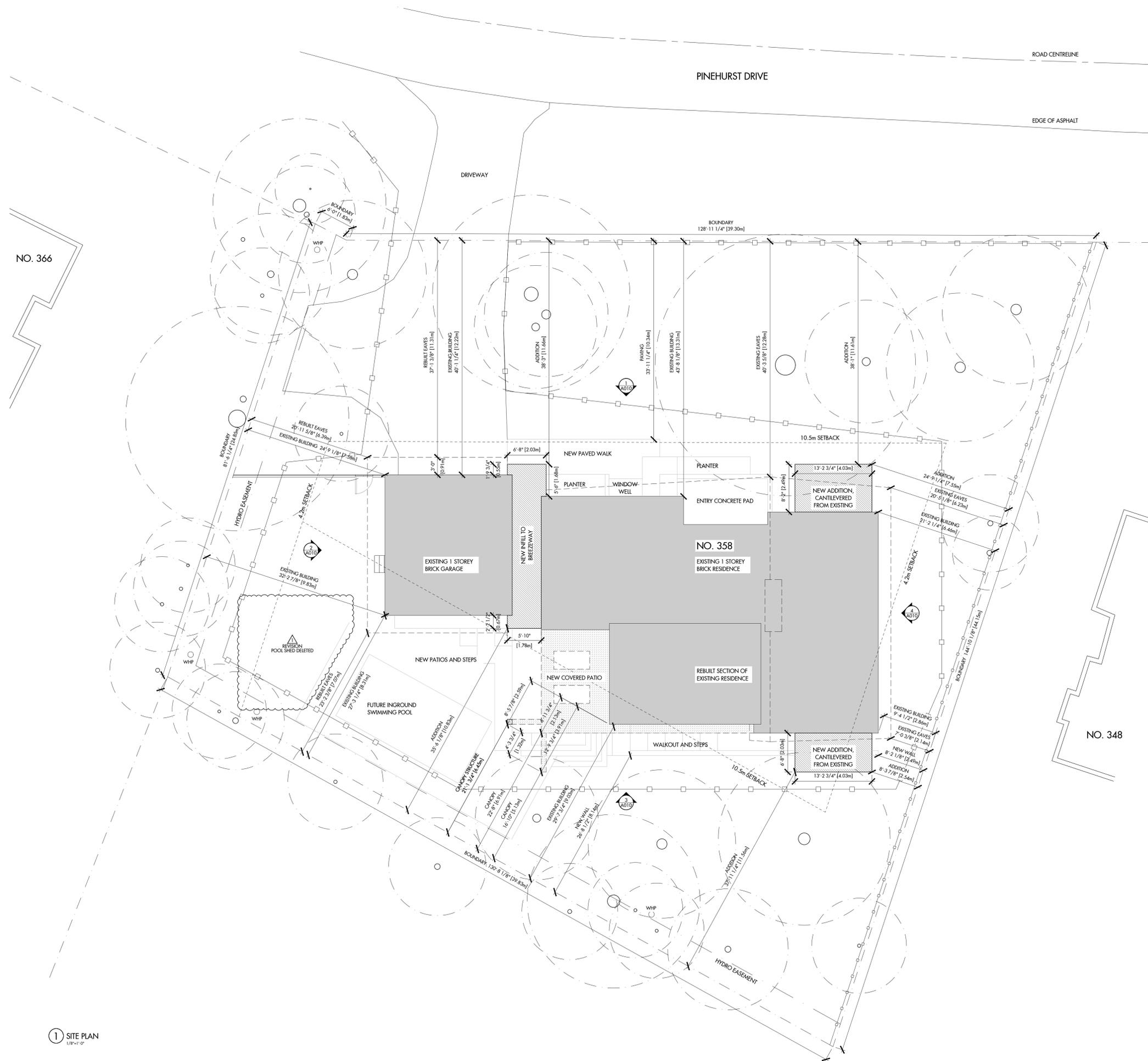
TREE PROTECTION LEGEND

	TRUNK LOCATION
	MTPZ CIRCLES (TREE PROTECTION ZONE)

DATE 2025 APR 10
DRAWN BY AC
CHECKED BY O

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A100.0



2 LOCATION PLAN
1:2000

1 SITE PLAN
1/8"=1'-0"

GFA CALCULATIONS

	EXISTING	PROPOSED MODIFICATION	PROPOSED TOTAL
FIRST FLOOR	232.39 SQM (2,501.38 SF)	32.39 SQM (348.62 SF)	264.78 SQM (2,850.00 SF)
BASEMENT	146.69 SQM (1,578.97 SF)	37.27 SQM (401.14 SF)	183.96 SQM (1,980.11 SF)
TOTAL	379.08 SQM (4,080.35 SF)	69.66 SQM (749.76 SF)	448.74 SQM (3,806.73 SF)
LOT AREA: 1,334.17 SQM (14,360.89 SF)	17.42% COVERAGE	2.43% COVERAGE	19.85% COVERAGE

RENOVATION AND ADDITION CALCULATIONS

	EXISTING PROPOSED FOR RENOVATION	AREA OF PROPOSED ADDITION	NOTES
FIRST FLOOR	232.39 SQM (2,501.38 SF)	32.39 SQM (348.62 SF)	ACCESSORY BUILDING NOT INCLUDED IN ANY AREAS
BASEMENT	146.69 SQM (1,578.97 SF)	37.27 SQM (401.14 SF)	
TOTAL	379.08 SQM (4,080.35 SF)	69.66 SQM (749.76 SF)	

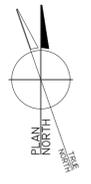
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BUILDING HATCH LEGEND

	EXISTING BUILDING
	NEWLY PROPOSED ADDITIONS
	NEWLY PROPOSED ADDITION CANOPY

TREE PROTECTION LEGEND

	TRUNK LOCATION
	MTPZ CIRCLES (TREE PROTECTION ZONE)
	TREE PROTECTION BARRIERS / FENCING
	SILTATION FENCING



ISSUES AND REVISIONS
 ALMOST A CENTURY



358 PINEHURST DRIVE
 OAKVILLE, ON L6J 4X5
 DRAWING STATUS

COMMITTEE OF
 ADJUSTMENT

PROPOSED SITE PLAN

DATE: 2025 APR 10
 DRAWN BY: AC
 CHECKED BY: O

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A200.1



① NORTH ELEVATION TO ROAD



② NORTHWEST CORNER



③ SOUTH ELEVATION



④ SOUTHWEST CORNER



ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

EXISTING
PHOTOGRAPHS

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A002.0



ISSUES AND REVISIONS
 ALMOST A CENTURY



358 PINEHURST DRIVE
 OAKVILLE, ON L6J 4X5
 DRAWING STATUS

COMMITTEE OF
 ADJUSTMENT

EXISTING AERIAL
 PHOTOGRAPH

DATE	2025 APR 10
DRAWN BY	AC
CHECKED BY	O

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1 AERIAL PHOTO
 1:500

A003.0



AHEAD BY (ALMOST) A CENTURY

10 APRIL, 2025
 ADDITIONS TO THE HOUSE AT
 358 PINEHURST AVENUE
 OAKVILLE, ON, L6J 4X5

LIST OF DRAWINGS

<u>ARCHITECTURAL</u>	
A000	COVER SHEET
A001	SITE SURVEY
A002	EXISTING PHOTOGRAPHS
A003	EXISTING AERIAL PHOTOGRAPH
A100	EXISTING SITE PLAN
A101	EXISTING FIRST FLOOR PLAN
A102	EXISTING BASEMENT PLAN
A103	EXISTING ROOF PLAN
A104	EXISTING ELEVATIONS
A200	PROPOSED SITE PLAN
A201	PROPOSED FIRST FLOOR PLAN
A202	PROPOSED BASEMENT PLAN
A203	PROPOSED ROOF PLAN
A204	PROPOSED ELEVATIONS
A205	PROPOSED 3D MODEL VIEWS

ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
 OAKVILLE, ON L6J 4X5
 DRAWING STATUS

**COMMITTEE OF
 ADJUSTMENT**

COVER SHEET

DATE 2025 APR 10
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ISSUES AND REVISIONS

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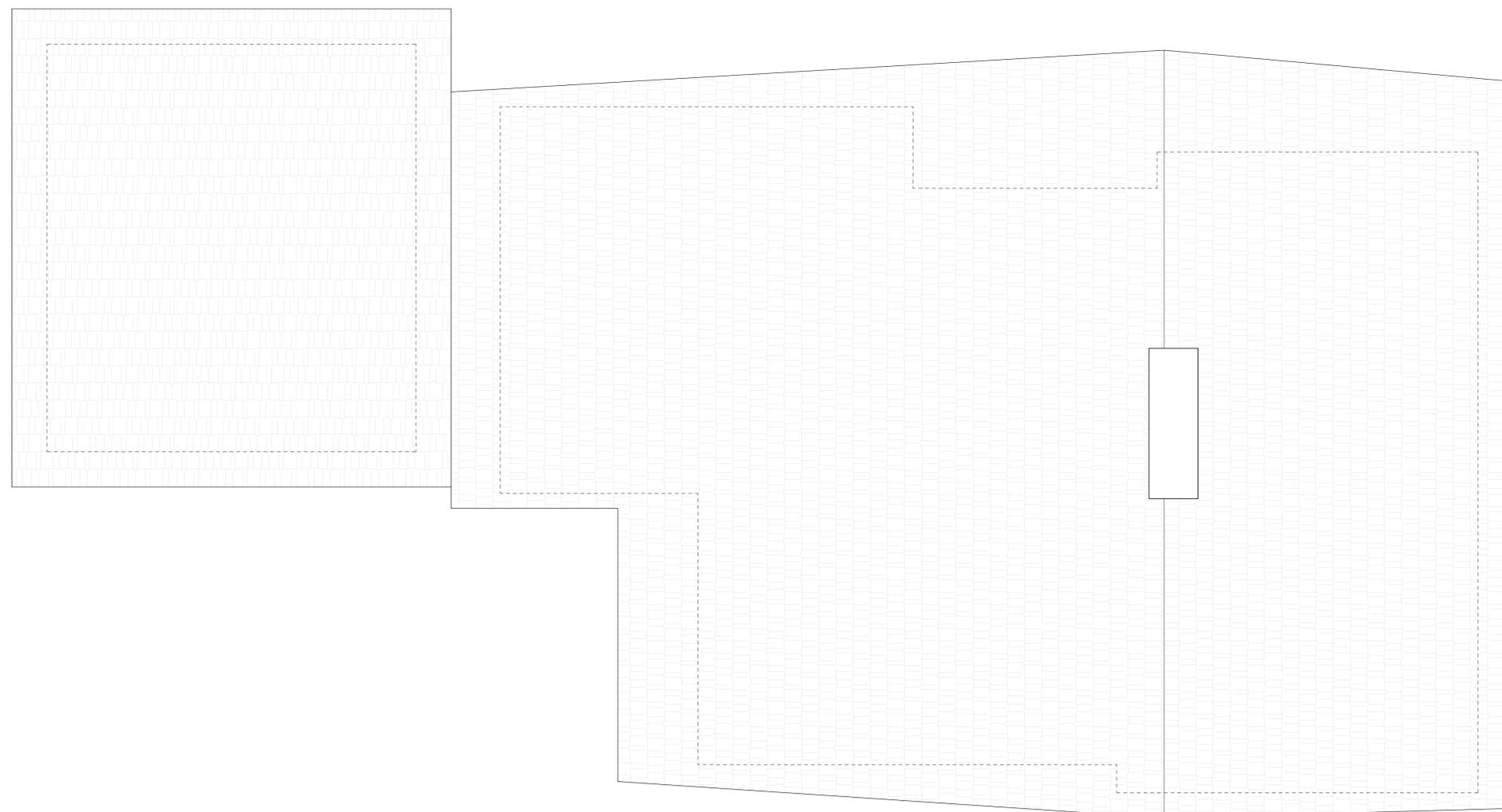
358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

EXISTING ROOF PLAN

DATE	2025 APR 10
DRAWN BY	AC
CHECKED BY	O

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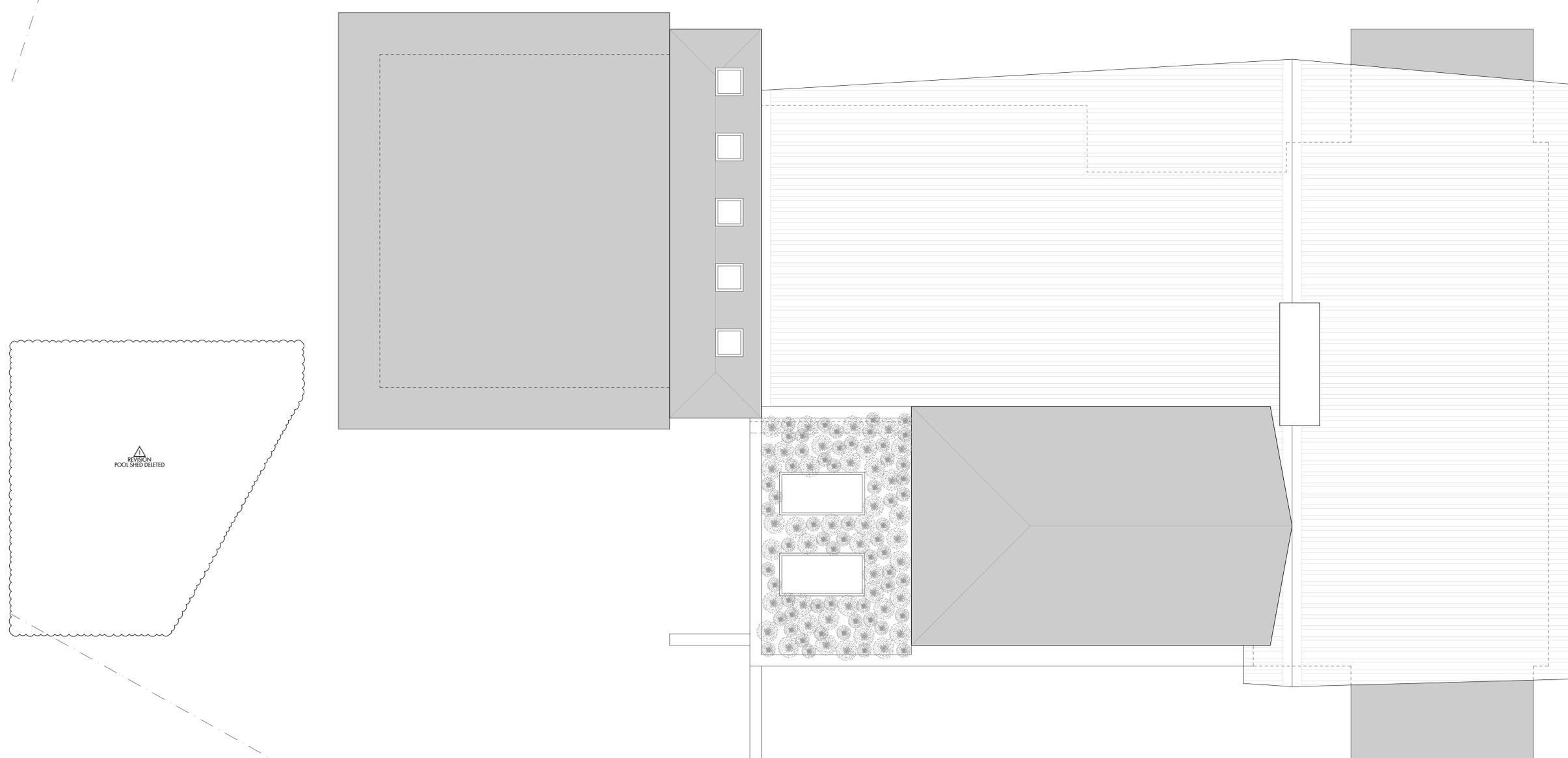
558 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

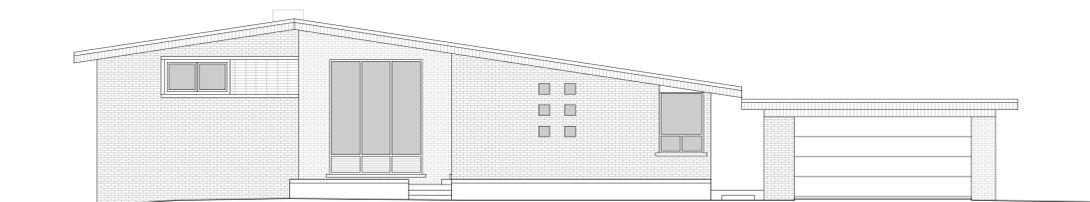
COMMITTEE OF
ADJUSTMENT

PROPOSED
ROOF PLAN

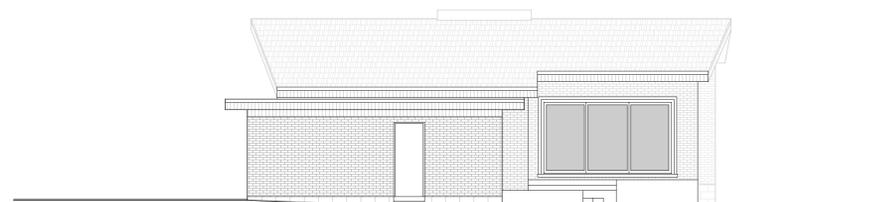
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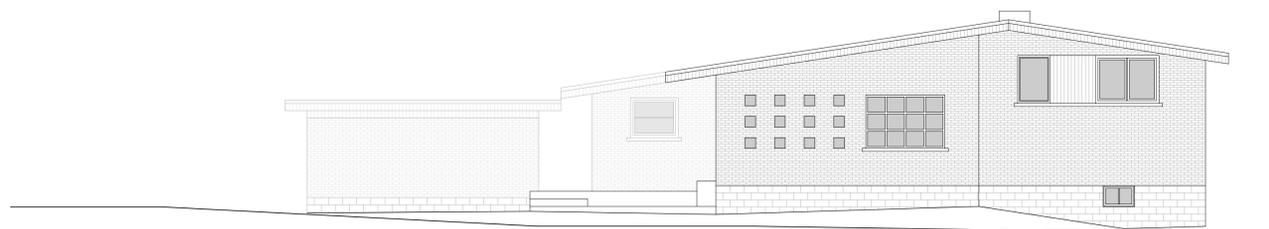




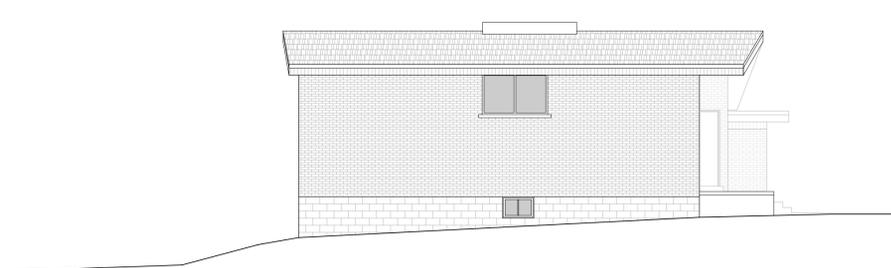
① NORTH ELEVATION
1/8"=1'-0"



② WEST ELEVATION
1/8"=1'-0"



③ SOUTH ELEVATION
1/8"=1'-0"



④ EAST ELEVATION
1/8"=1'-0"

ISSUES AND REVISIONS
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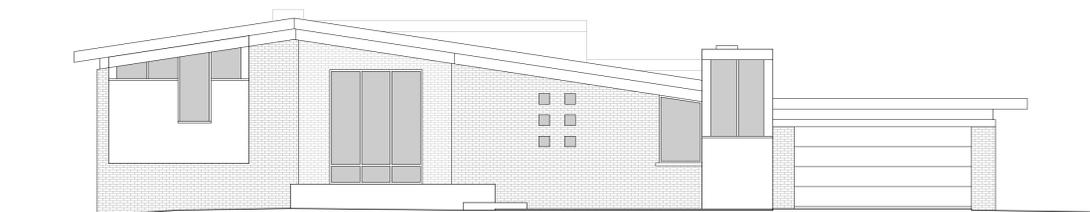
358 PINEHURST DRIVE
 OAKVILLE, ON L6J 4X5
 DRAWING STATUS

**COMMITTEE OF
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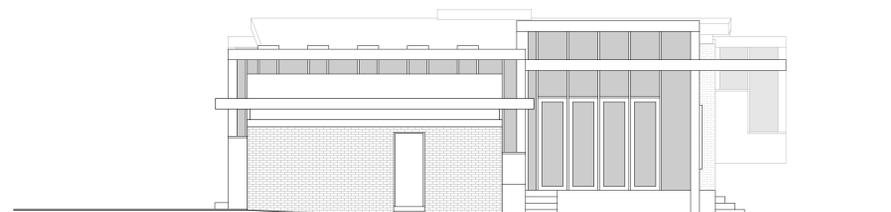
EXISTING ELEVATIONS

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CHECKED BY	O

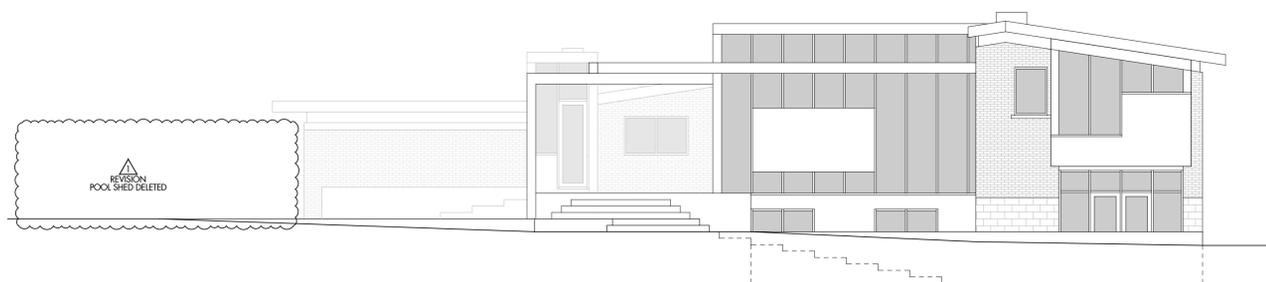
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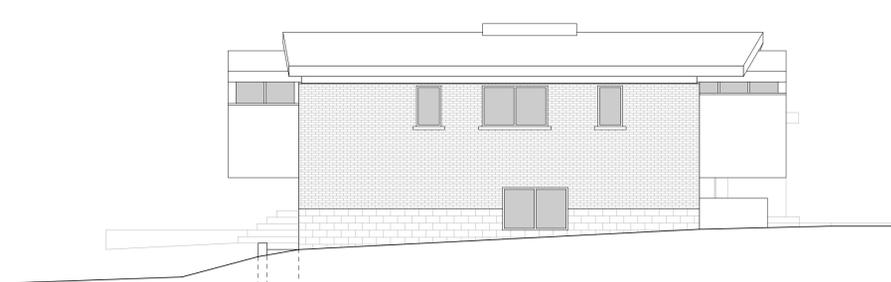
① NORTH ELEVATION
1/8"=1'-0"



② WEST ELEVATION
1/8"=1'-0"



③ SOUTH ELEVATION
1/8"=1'-0"



④ EAST ELEVATION
1/8"=1'-0"

ISSUES AND REVISIONS
ALMOST A CENTURY



558 PINEHURST DRIVE
 OAKVILLE, ON L6J 4X5
 DRAWING STATUS

**COMMITTEE OF
 ADJUSTMENT**

**PROPOSED
 ELEVATIONS**

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① NORTHEAST CORNER



② NORTH (STREET) ELEVATION



③ WEST ELEVATION



④ AERIAL VIEW



⑤ SOUTH ELEVATION



① SOUTHWEST CORNER

ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

PROPOSED
3D MODEL VIEWS

DATE 2025 APR 10
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A205.0