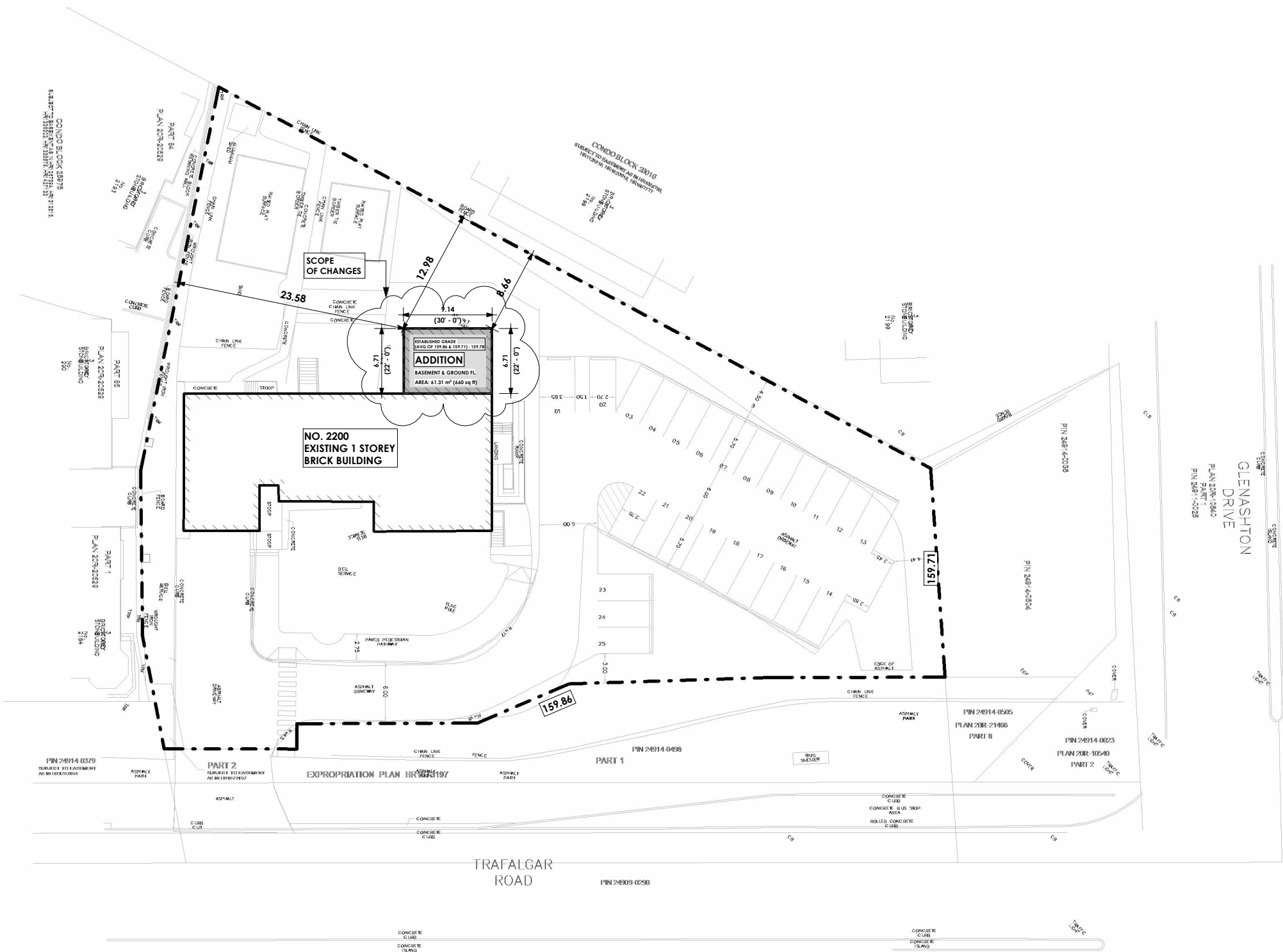


2200 Trafalgar Road, Oakville		
	Imperial	Metric
Lot Area	38,739 sq.ft.	3,599 sq.m.
Existing GFA	4,421 sq.ft.	411 sq.m.
Proposed GFA	660 sq.ft.	61 sq.m.
Total GFA	5,081 sq.ft.	472 sq.m.
Parking	25 spaces	25 spaces



EXISTING PART OF THE BUILDING IS NOT IN OUR SCOPE OF WORK

ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. **CONTRACTORS/BUILDER MUST VERIFY** ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND **REPORT ANY DISCREPANCIES** TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER **COPY RIGHT ACT** AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION

DATE ISSUED FOR	2025-05-13 2:11:11 PM COA APPLICATION

DRAWING TITLE:
SITE PLAN

PROJECT TITLE/ADDRESS:
2200 Trafalgar Rd, Oakville, ON

Check By:
M.A.

Drawn By:
P.F.

SCALE

1 : 500

Plot Date: 03/06/25

MEMAR
ARCHITECTS

"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-576-4551



A.01

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 13
CONCESSION 1
SOUTH OF DUNDAS STREET
(ORIGINALLY IN TOWNSHIP OF TRAFALGAR)
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200
0 5 10 metres

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 2200 TRAFALGAR ROAD, BEING PART OF LOT 13, CONCESSION 1, SOUTH OF DUNDAS STREET (ORIGINALLY IN TOWNSHIP OF TRAFALGAR), TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24914-0468.

SUBJECT TO EASEMENT IN FAVOUR OF THE REGIONAL MUNICIPALITY OF HALTON OVER PART 2, EXPROPRIATION PLAN HR1673197.

COMMENTS: NOTE LOCATION OF FENCES AND RETAINING WALLS.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE, AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928 (1978 ADJUSTMENT), AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 236, HAVING A PUBLISHED ELEVATION OF 159.311 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF HALTON STANDARD CONDOMINIUM PLAN No. 714, HAVING A BEARING OF N17°23'20"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
CP	DENOTES	CONCRETE PIN
IB	DENOTES	IRON BAR
SB	DENOTES	STANDARD IRON BAR
SSB	DENOTES	SHORT STANDARD IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
MH	DENOTES	MANHOLE
CB	DENOTES	CATCH BASIN
CICB	DENOTES	CURB INLET CATCH BASIN
DICB	DENOTES	DITCH INLET CATCH BASIN
BB	DENOTES	BELL BOX
FHT	DENOTES	TOP OF FIRE HYDRANT
SLS	DENOTES	STEEL LIGHT STANDARD
TRW	DENOTES	TOP OF RETAINING WALL
WV	DENOTES	WATER VALVE
P1	DENOTES	EXPROPRIATION PLAN HR1673197
P3	DENOTES	HALTON STANDARD CONDOMINIUM PLAN 714
P5	DENOTES	HALTON COMMON ELEMENTS CONDOMINIUM PLAN 673

0.20#D DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20#C DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR 2637582 ONTARIO INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON OCTOBER 14, 2022.

OCTOBER 18, 2022

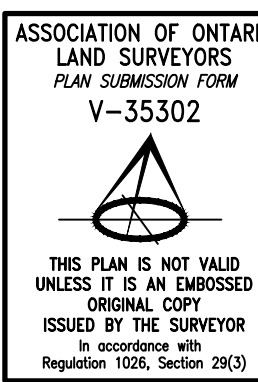
DATE

STEFAN JOANNOU
ONTARIO LAND SURVEYOR

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

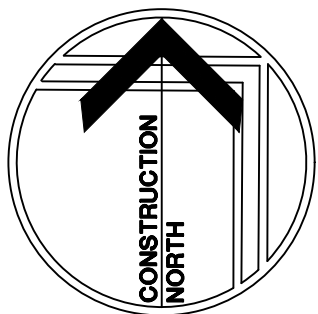
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: JMH FILE No. 9589-SRPR-T



PLAN UPDATED MAY 17, 2024

GLENASHTON DR



SITE

SUBJECT LANDS

Scale: N.T.S.

NOTES:

THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK THE CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ARCHITECTS/ENGINEERS BEFORE PROCEEDING WITH THE WORKS.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE SCALED. CONTRACTOR TO USE DIGITAL FILES FOR LAYOUT PROVIDED BY ENGINEER. THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS.

THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC..

EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED TARASICK MCMILLAN KUBICKI LIMITED - AUGUST 27, 2024.

ELEVATION:

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO TOWN OF OAKVILLE BENCHMARK NO. 236, HAVING A PUBLISHED ELEVATION OF 159.311 METRES. (VERTICAL DATUM: CANADIAN GEODETIC VERTICAL DATUM-1928 (1978 ADJUSTMENT)).

BEARING:

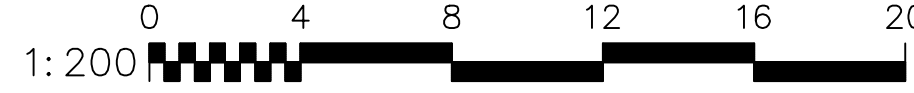
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF HALTON STANDARD CONDOMINIUM PLAN NO. 714, HAVING A BEARING OF N17°20'20"W

METRIC NOTE:

DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	REVISIONS	DATE	BY
2	ADD TREE PROTECTION INFORMATION	MAY 13/2025	F.A.
1	ISSUED FOR SITE ALTERATION PERMIT	APRIL 4/2025	F.A.

SCALE(S):



DRAWING TITLE:

SITE GRADING PLAN

PROJECT:

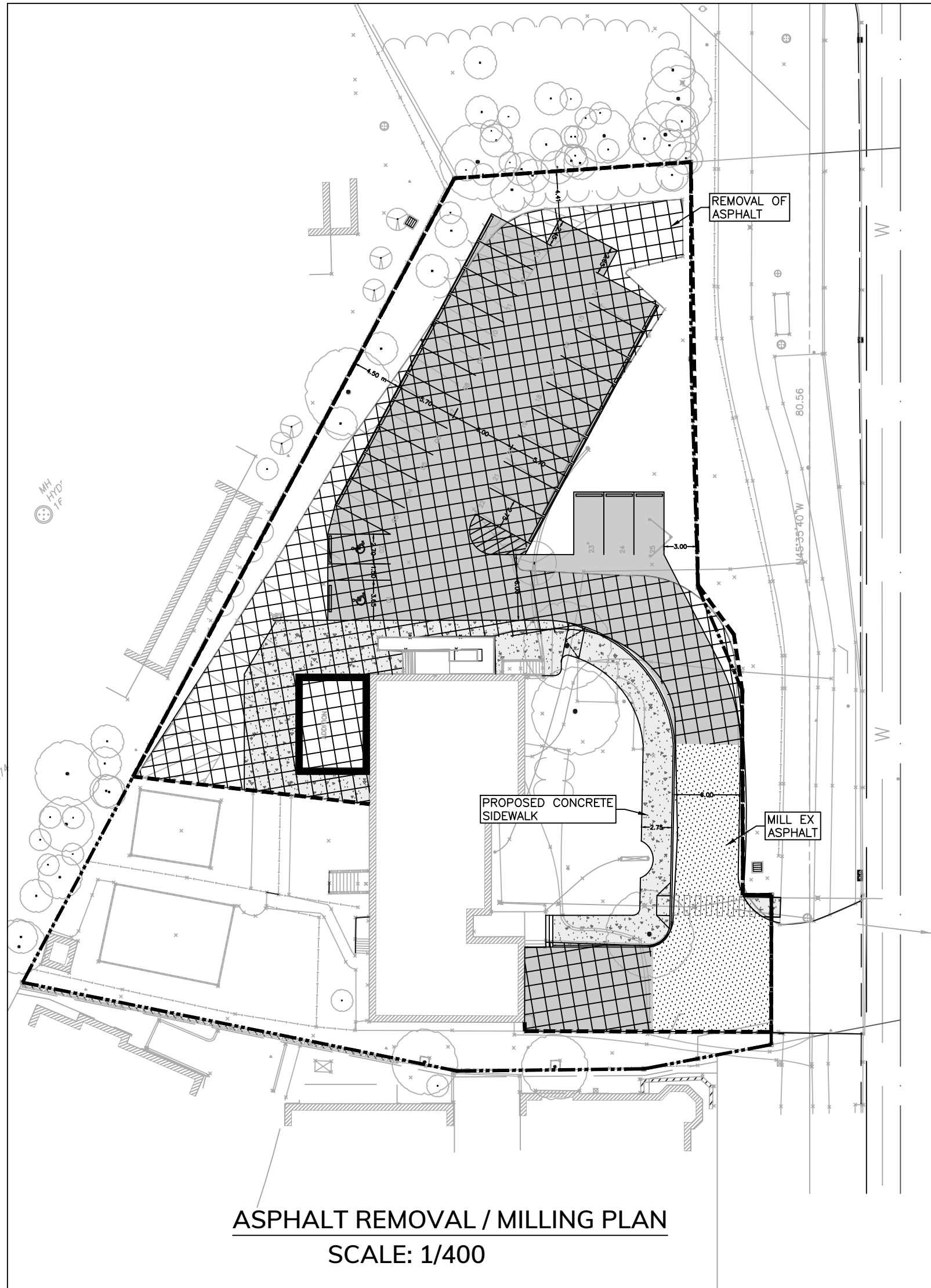
PROPOSED BUILDING ADDITION & PARKING LOT RESURFACING
2200 TRAFALGAR ROAD,
OAKVILLE, ONTARIO

CLIENT:

2200 TRAFALGAR ROAD,
OAKVILLE, ONTARIO



	DESIGNED BY:	PROJECT NO:
	P.H.	25209
	DRAWN BY:	DATE STARTED:
	F.A.	JAN 2025
CHECKED BY:	P.H.	DRAWING NO:
	APPROVED BY:	1 of 2
ENGINEER		P.H.



CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF ALL WORKS TO THE ODAN/DETECH GROUP

GRADING LEGEND:

- DENOTES EXISTING STORM MANHOLE
- DENOTES PROPOSED STORM MANHOLE
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED CATCH BASIN
- ⊙ DENOTES PROPOSED STORMCEPTOR
- ⊕ DENOTES EXISTING SANITARY MANHOLE
- ⊖ DENOTES PROPOSED SANITARY MANHOLE
- ⊗ DENOTES EXISTING HYDRANT
- ⊘ DENOTES PROPOSED HYDRANT
- ⊙ DENOTES EXISTING WATER VALVE & BOX
- ⊖ DENOTES PROPOSED WATER VALVE & BOX
- ⊗ DENOTES PROPOSED WATER METER
- ⊘ DENOTES PROPOSED SIAMESE CONNECTION
- DENOTES PROPOSED LIMIT OF CONSTRUCTION
- DENOTES PROPOSED SWALE
- DENOTES EXISTING CONTOUR
- ⊗ DENOTES PROPOSED REMOVAL (ASPHALT, PIPE, ETC.)
- ⊘ DENOTES PROPOSED LIMIT OF MILLING
- DENOTES PROPOSED SILT FENCE
- DENOTES EXISTING SPOT ELEVATION
- × (100.00) DENOTES PROPOSED ELEVATION
- × (100.00)/C DENOTES PROPOSED TOP OF CURB ELEVATION
- × (100.00)/G DENOTES PROPOSED GUTTER LINE ELEVATION
- + (100.00)/W DENOTES PROPOSED BOTTOM OF WALL ELEVATION
- + (100.00)/T DENOTES PROPOSED TOP OF WALL ELEVATION
- × (100.00) HP DENOTES PROPOSED HIGH POINT
- × (100.00) DENOTES PROPOSED SWALE INVERT ELEVATION
- × (100.00) DENOTES PROPOSED ELEVATION BY OTHERS
- DENOTES PROPOSED FLOW ARROW AND SLOPE
- DENOTES EMERGENCY OVERLAND FLOW
- DENOTES PROPOSED SLOPE (3:1 OR HIGHER)
- ▼ DENOTES PROPOSED ENTRANCE LOCATION
- DENOTES TREE PROTECTION ZONE
- DENOTES PROPOSED PROPERTY LINE
- DENOTES PROPOSED LIMIT OF ASPHALT
- DENOTES PROPOSED LIMIT OF CONCRETE SIDEWALK
- DENOTES TREE PROTECTION HORDING

TRAFALGAR ROAD

TRAFALGAR ROAD
(ESTABLISHED BY BY-LAW 515)

EX MH 1
RIM ELEV 160.74
NW INV EL 156.40
SE INV EL 156.35

EX CB 1
RIM ELEV 161.23

EX CB 2
RIM ELEV 160.76

EX CB 3
RIM ELEV 160.94

EX CB 4
RIM ELEV 160.95

EX CB 5
RIM ELEV 160.96

EX CB 6
RIM ELEV 160.97

EX CB 7
RIM ELEV 160.98

EX CB 8
RIM ELEV 160.99

EX CB 9
RIM ELEV 161.00

EX CB 10
RIM ELEV 161.01

EX CB 11
RIM ELEV 161.02

EX CB 12
RIM ELEV 161.03

EX CB 13
RIM ELEV 161.04

EX CB 14
RIM ELEV 161.05

EX CB 15
RIM ELEV 161.06

EX CB 16
RIM ELEV 161.07

EX CB 17
RIM ELEV 161.08

EX CB 18
RIM ELEV 161.09

EX CB 19
RIM ELEV 161.10

EX CB 20
RIM ELEV 161.11

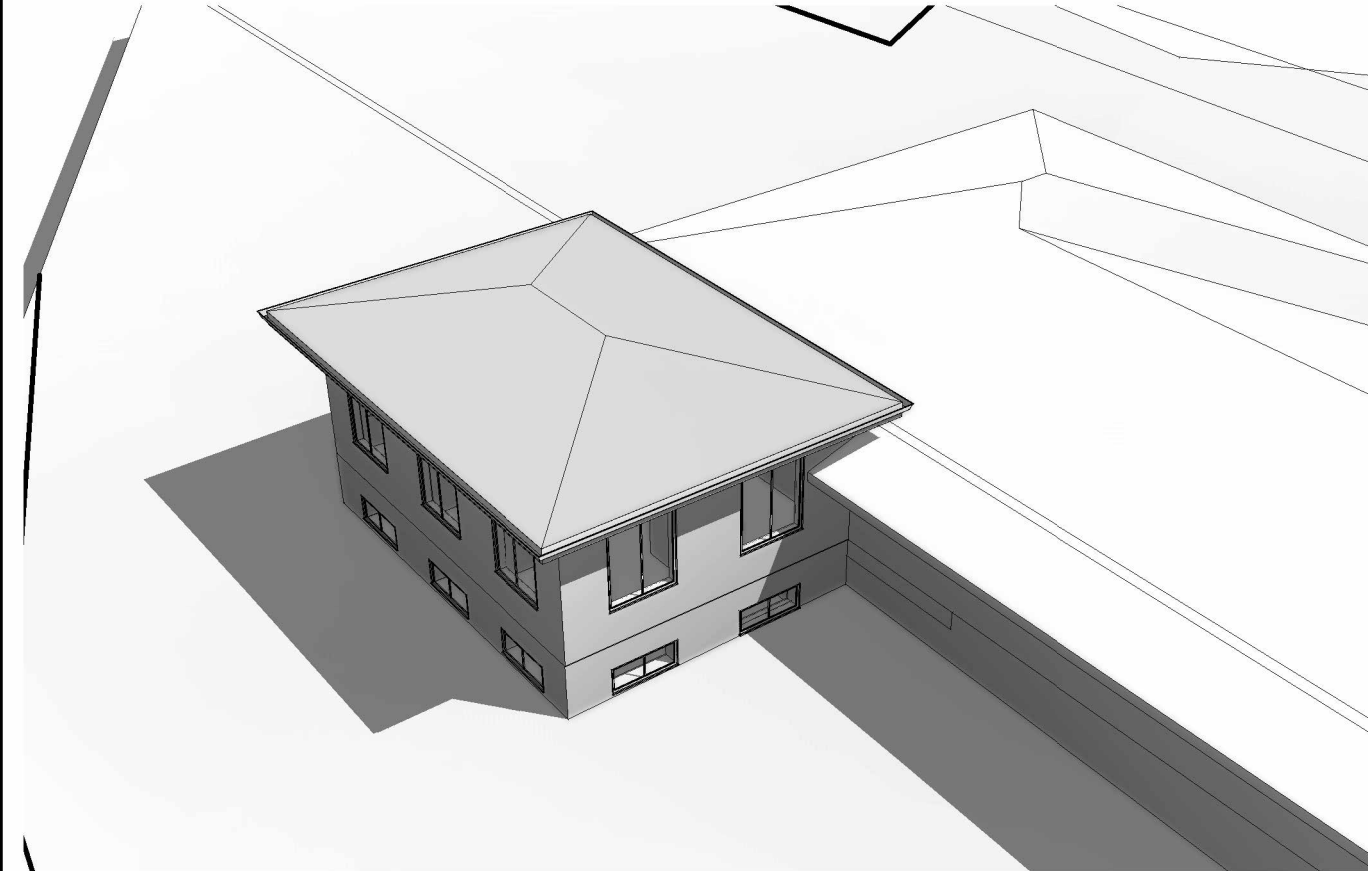
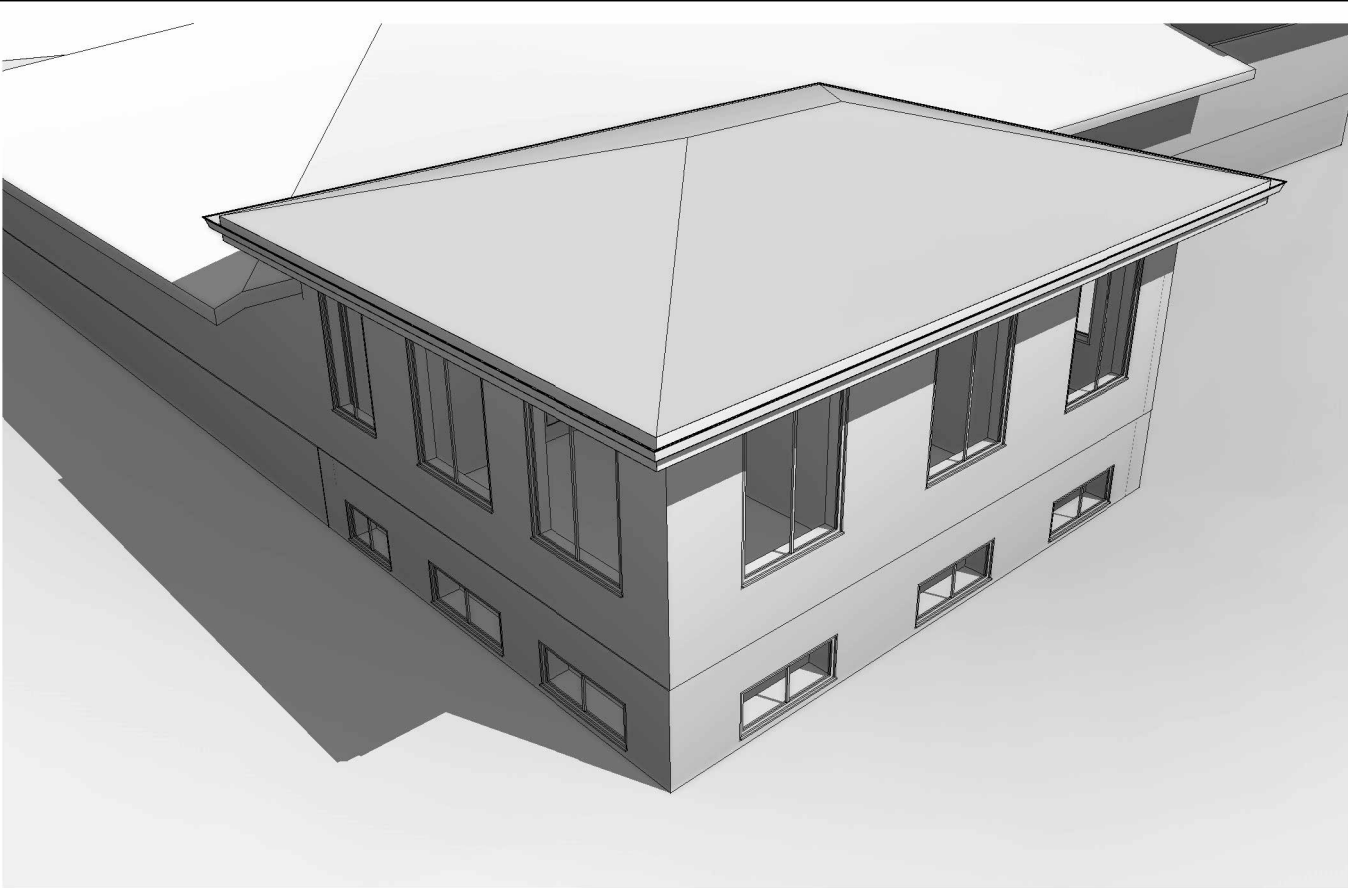
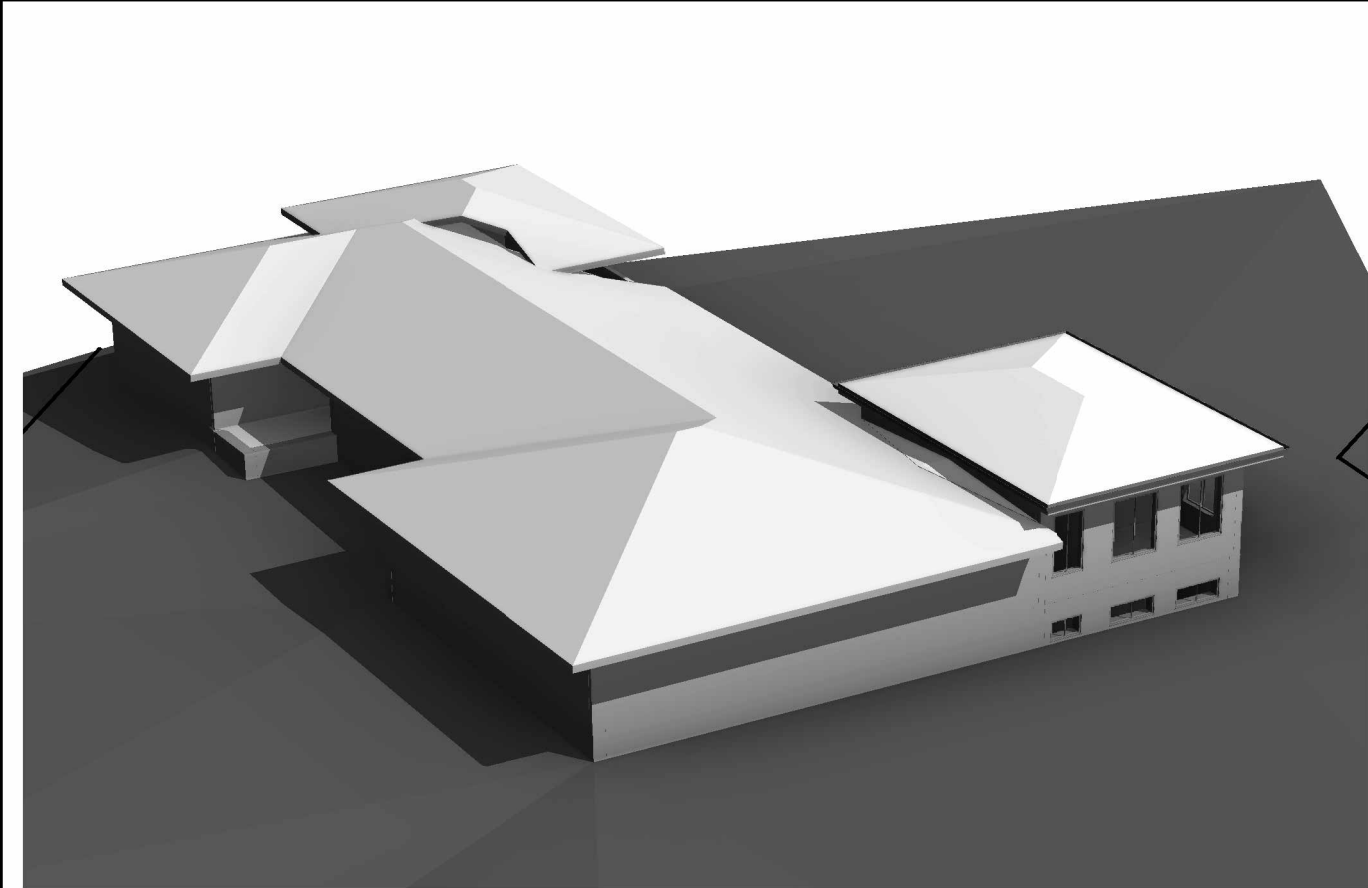
EX CB 21
RIM ELEV 161.12

EX CB 22
RIM ELEV 161.13



EX CB 23
RIM ELEV 161.14

EX CB 24
RIM ELEV 161.15

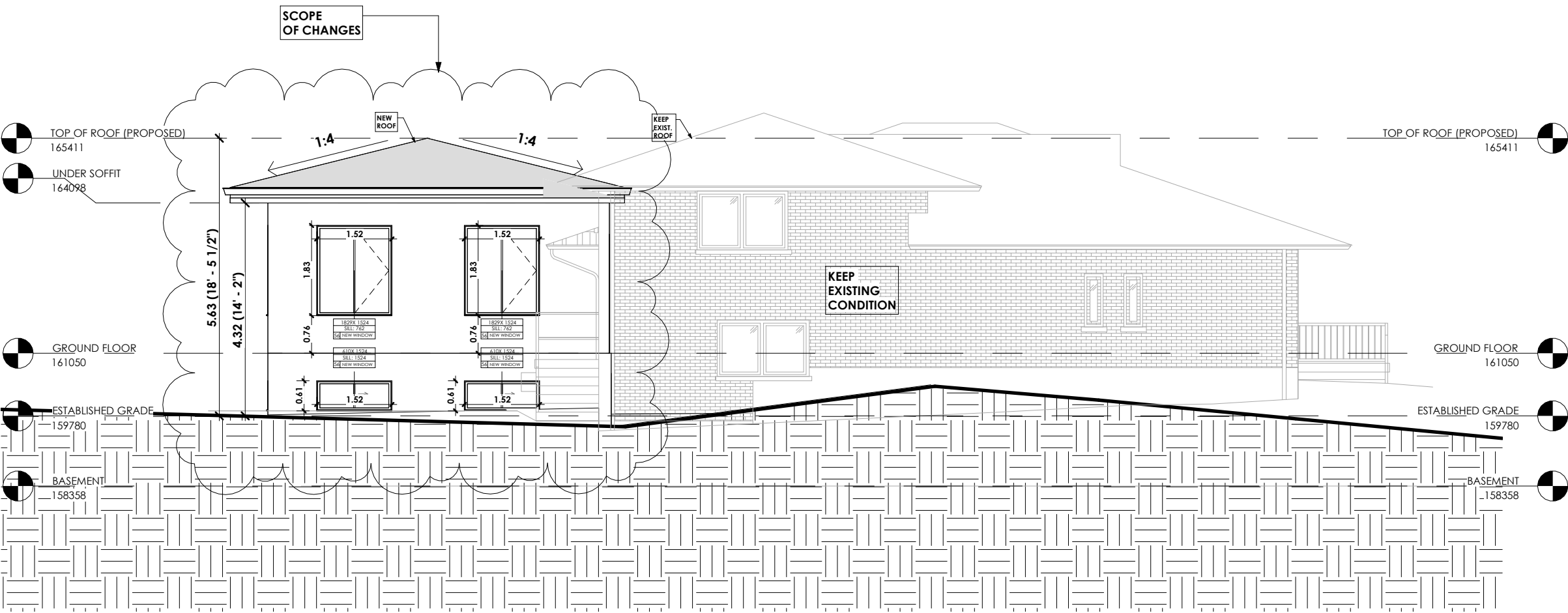
EX CB 25
RIM ELEV 161.16



NOTES:


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	ISSUED FOR	COA APPLICATION									
				PROJECT TITLE/ADDRESS: 2200 Trafalgar Rd, Oakville, ON		Drawn By: P.F.	Plot Date: 03/07/25				

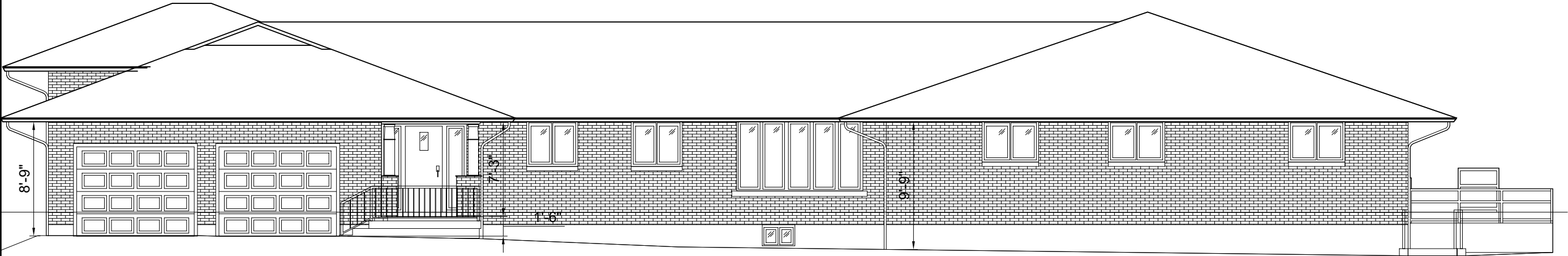
NOTES:



- ADDITION AT THE REAR SIDE OF THE MAIN BUILDING.
- THE CHANGES ARE ONLY IN THE BUBBLED SECTION.

EXISTING PART OF THE BUILDING IS NOT IN OUR SCOPE OF WORK

ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION	DATE	2025-05-13 2:11:13 PM	DRAWING TITLE: EAST ELEVATION		Check By: M.A.	SCALE	MEMAR ARCHITECTS	"Memar Architects Inc." 2323 Yonge St, Unit 503 Toronto, ON, M4P 2C9 T: 416-576-4551		A.05
	ISSUED FOR	COA APPLICATION								
			PROJECT TITLE/ADDRESS: 2200 Trafalgar Rd, Oakville, ON		Drawn By: P.F.	Plot Date: 03/06/25				



- NO CHANGES TO THE NORTH ELEVATION

- ADDITION AT THE REAR SIDE OF THE MAIN BUILDING.
- THE CHANGES ARE ONLY IN THE BUBBLED SECTION.

EXISTING PART OF THE BUILDING IS NOT IN OUR SCOPE OF WORK

NOTES:

ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION	DATE	2025-05-13 2:11:14 PM
	ISSUED FOR	COA APPLICATION

DRAWING TITLE: NORTH ELEVATION
PROJECT TITLE/ADDRESS: 2200 Trafalgar Rd, Oakville, ON



Check By: M.A.
Drawn By: P.F.

SCALE	
1 : 100	
Plot Date:	03/06/25



"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-576-4551



A.06

STANDARD GENERAL NOTES

- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF TOWN STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE TOWN.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE DESIGN ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED SODDED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION, GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE MUNICIPAL RIGHT OF WAY MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL SANITARY AND WATER CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRELIMINARY INSPECTION SHALL BE DONE BY THE DESIGN ENGINEER AND BUILDER PRIOR TO PLACING SOD ON THE LOT.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 5%.
- SWALE DEPTH SHALL BE A MINIMUM OF 150 mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1.
- GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY THE USE OF A RETAINING WALL.
- RESTORATION FOR SERVICE CONNECTION TRENCH EXCAVATION SHALL BE IN ACCORDANCE TO THE ROAD CUT RESTORATION- ASPHALT OR CONCRETE- TOWN DRAWING.
- SEDIMENT CONTROL MEASURES TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS ARE TO BE REINSTATED IN ACCORDANCE TO TOWN OF OAKVILLE STANDARDS.

Standard Drawing Name
STANDARD GENERAL NOTES

Revision:
0
Scale:
NTS

Revision Date:
MAR 2023
Std. Dwg. Number:
-1C



EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES, DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE, THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES, THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING- NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILL THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS(REAR LOT CATCHBASINS, ROAD CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.

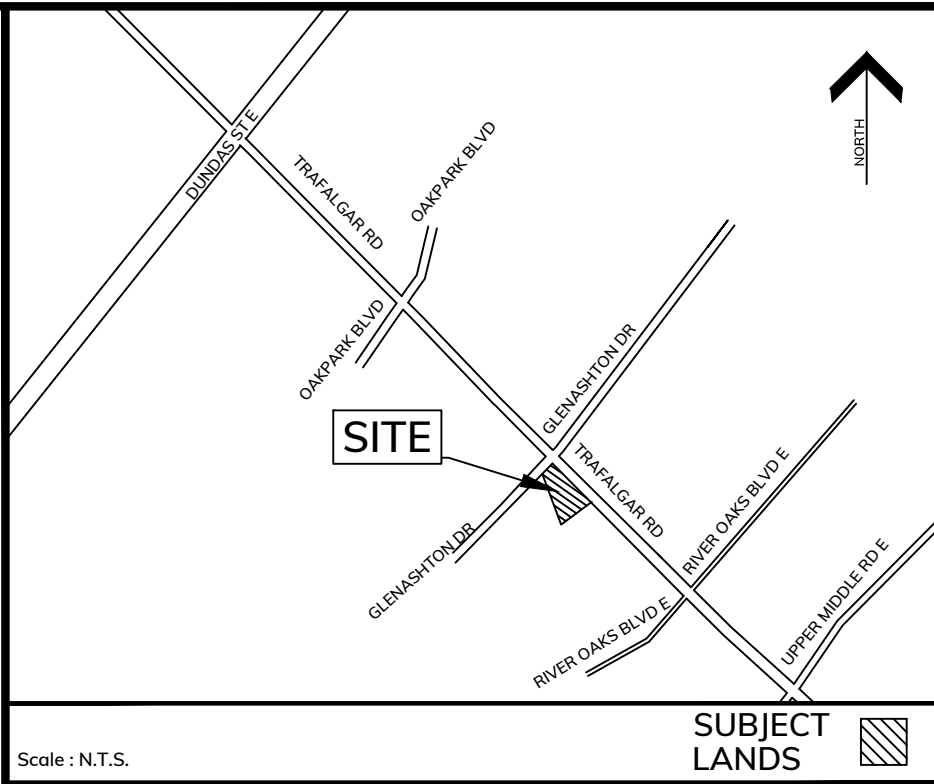
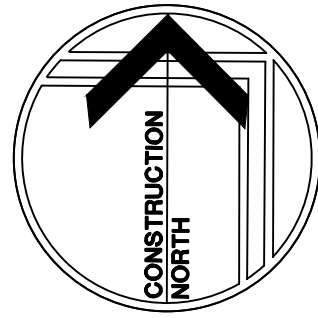
TREE PROTECTION NOTES

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OR TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED AGRICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OR PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THEE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF THE GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGED WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
- UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

Standard Drawing Name
EROSION AND SILTATION AND TREE PROTECTION NOTES

Revision:
0
Scale:
NTS

Revision Date:
MAR 2023
Std. Dwg. Number:
-1D



Scale : N.T.S.

SUBJECT LANDS

NOTES:

THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK THE CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ARCHITECTS/ENGINEERS BEFORE PROCEEDING WITH THE WORKS.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE SCALED. CONTRACTOR TO USE DIGITAL FILES FOR LAYOUT PROVIDED BY ENGINEER. THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS.

THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.

EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED TARASICK MCMILLAN KUBICKI LIMITED, AUGUST 27,2024.

ELEVATION:

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO TOWN OF OAKVILLE BENCHMARK NO. 226, HAVING A PUBLISHED ELEVATION OF 159.311 METRES. (VERTICAL DATUM: CANADIAN GEODETIC VERTICAL DATUM-1928 (1978 ADJUSTMENT)).

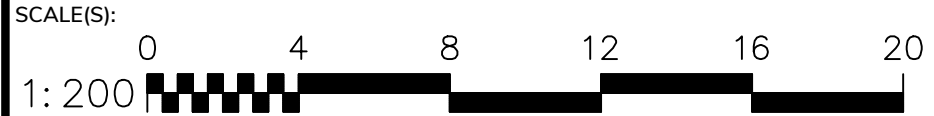
BEARING:

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF HALTON STANDARD CONDOMINIUM PLAN NO. 714, HAVING A BEARING OF N17°20'20"W

METRIC NOTE:

DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	REVISIONS	DATE	BY
2	ADD TREE PROTECTION INFORMATION	MAY 13/2025	F.A.
1	ISSUED FOR SITE ALTERATION PERMIT	APRIL 4/2025	F.A.



DRAWING TITLE:

NOTES & DETAILS

PROJECT: PROPOSED BUILDING ADDITION & PARKING LOT RESURFACING
2200 TRAFALGAR ROAD,
OAKVILLE, ONTARIO

CLIENT: [Redacted]
2200 TRAFALGAR ROAD,
OAKVILLE, ONTARIO

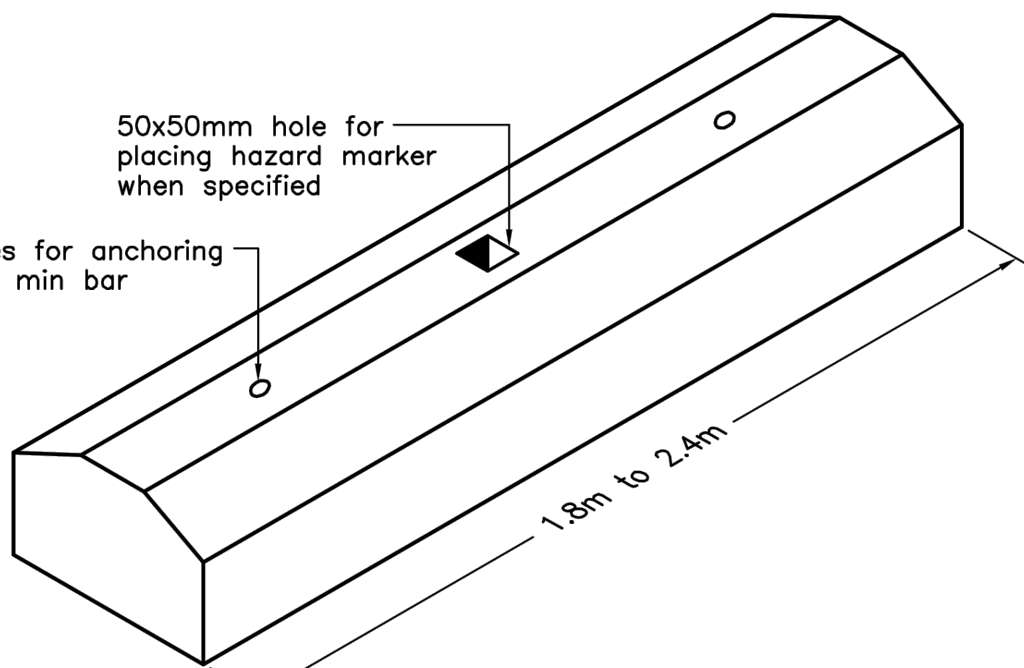


The Odan+Detech Group Inc. P: (905) 632-3811 F: (905) 632-3363
5230 SOUTH SERVICE ROAD, BURLINGTON, ONTARIO, L7L 5K2

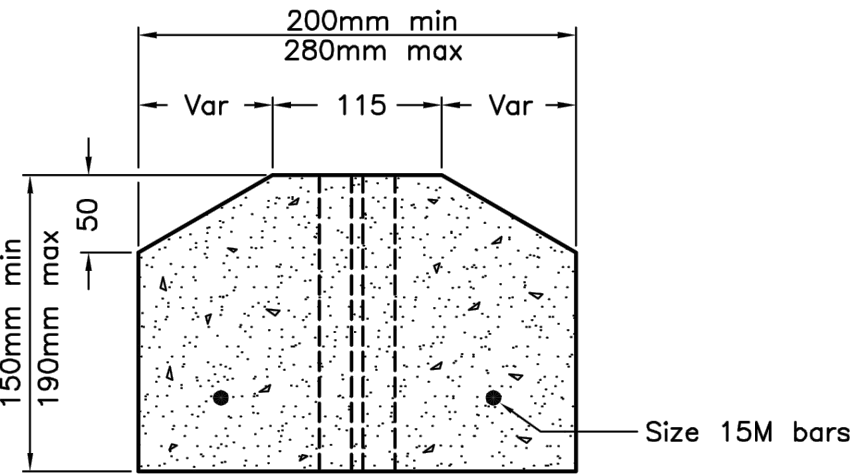


DESIGNED BY:	P.H.	PROJECT No:	25209
DRAWN BY:	F.A.	DATE STARTED:	
CHECKED BY:	P.H.	JAN 2025	
APPROVED BY:	P.H.	DRAWING No.:	2 of 2

ENGINEER



ISOMETRIC VIEW



SECTION

NOTES:
A Class of concrete shall be C2 according to CSA A23.1.
B All dimensions are in millimetres unless otherwise shown.

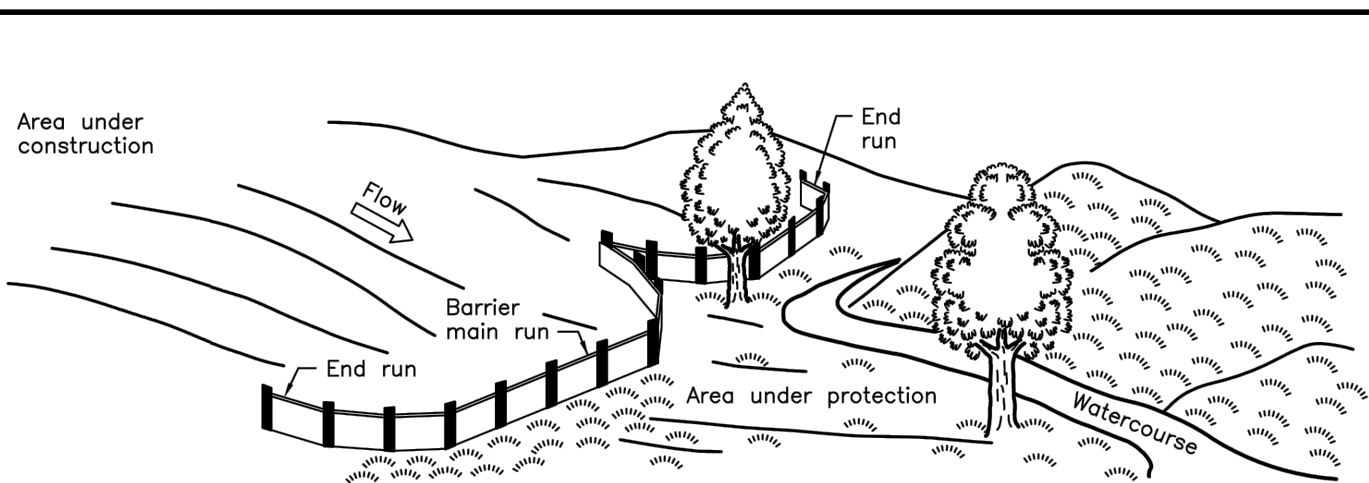
ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2012 Rev 2

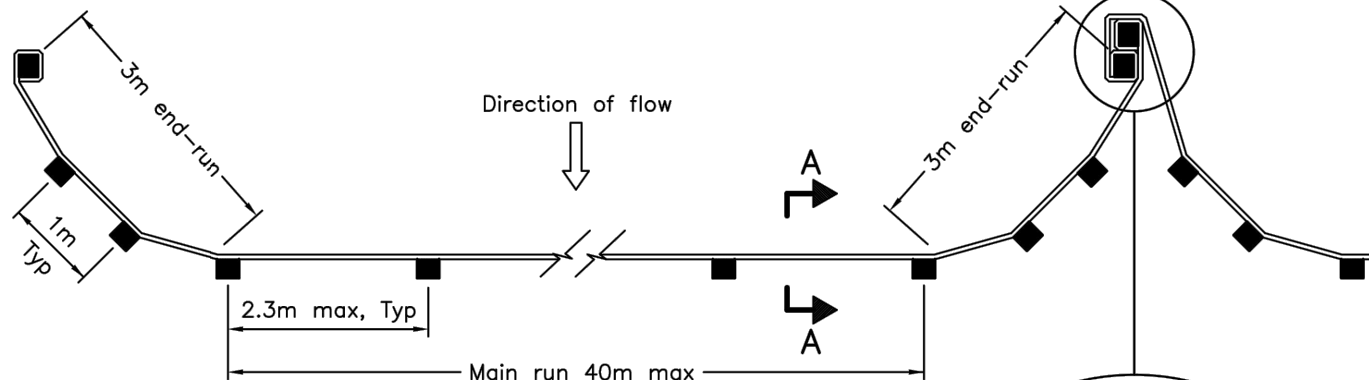


PRECAST CONCRETE CURB

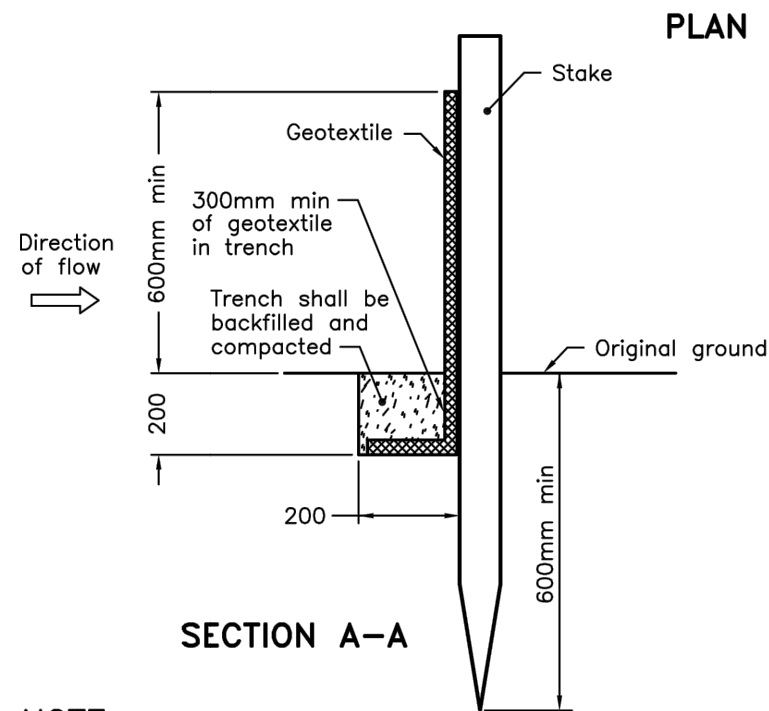
OPSD 603.020



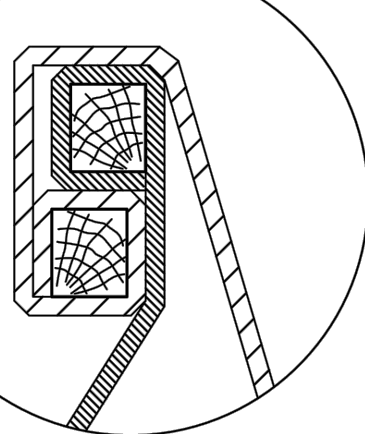
PERSPECTIVE VIEW



PLAN



SECTION A-A



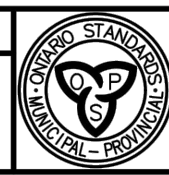
JOINT DETAIL

NOTE:

A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2021 Rev 3



LIGHT-DUTY
SILT FENCE BARRIER

OPSD 219.110



May 20, 2025

Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, Ontario
L6H 0H3

**RE: Application for Minor Variance
2200 Trafalgar Road, Oakville
Our File: 24305A**

On behalf of our client, 2637582 Ontario Inc. (the "Owner"), we are pleased to submit this application for Minor Variance with respect to the property generally located on the west side of Trafalgar Road, south of Glenashton Drive, municipally addressed as 2200 Trafalgar Road in the Town of Oakville (the "Subject Lands"). This letter provides an overview of the development proposal, as well as justification and rationale in support of the requested variance.

In support of this application, please find enclosed the following:

- One (1) copy of the completed Minor Variance Application Form;
- One (1) copy of the Site Plan, prepared by Memar Architects;
- One (1) copy of the Architectural Package, including Floor Plans, Elevations, and Sections prepared by Memar Architects;
- One (1) copy of the Site Grading Plan, prepared by Odan Detech; and,
- One (1) copy of the Survey, prepared by Tarasick McMillan Kubicki Limited.

Payment to the Town of Oakville in the amount of \$4,182.00 being the municipal application fee and \$40.89 being the Region of Halton application fee will be made following confirmation of application receipt.

Summary of the Proposal

The Subject Lands are located at 2200 Trafalgar Road, on the south west side of the intersection of Trafalgar Road and Glenashton Drive, and have a total area of 3,599 square metres. The Subject Lands are currently comprised of a one and a half-storey building containing a daycare and medical offices, with a single driveway from Trafalgar Road and surface parking along much of the northern

portion of the site. The Subject Lands have an irregular lot shape, largely resulting from a previous expropriation by Halton Region to accommodate the widening of Trafalgar Road.

The current proposal consists of a single-storey addition at the rear of the existing building, adjacent the existing medical office use. The addition proposes an additional GFA of 660 sq.ft. (61.31 sq.m.), with a depth of 22 ft (6.7m) and width of 30 ft (9.1m). The addition is proposed to accommodate additional offices for the existing medical use, and will be accessed via the current entrance from the north face of the building. As part of the addition, the parking and driveway configuration is to be revised to accommodate additional parking, additional drive aisle width, and additional landscape buffer width. The internal sidewalks are also proposed to be extended from along the internal driveway to both building entrances and out to the municipal sidewalk on Trafalgar, improving site connectivity.

The proposed addition represents a 14.93% increase in floor area (4,421 sq.ft. GFA existing), and 1.6% increase in lot coverage. A rear yard setback of 8.66m is proposed, along with a setback/landscape buffer from the parking area to the rear lot line of 4.5m which represents an improvement from the existing condition. A total of 25 parking spaces are proposed, whereas 18 are required for the medical office and daycare uses post-expansion (11 Medical Office, 7 Daycare).

It is recognized that the Future Development Zone, in part, is intended to permit the continued operation and growth of existing uses until such time as wholesale redevelopment plans are created and pursued through a Zoning By-law Amendment application. As previously discussed with Town staff, the Owner has future intentions for a broader redevelopment of the Subject Lands. As a result of current market conditions, the Owner is not yet able to proceed with any larger redevelopment, and the proposed minor addition to the existing building is therefore required for the continued operation and growth of the existing uses. Further redevelopment of the Subject Lands is anticipated within the next 5-10 years, subject to market conditions and timing of the Town's approval process.

Description of the Current Official Plan and Zoning

The Subject Lands are designated Neighborhood Commercial in the Town of Oakville Official Plan. Trafalgar Road is identified as a Major Arterial Road. The Neighbourhood Commercial designation permits a range of commercial uses including retail, service commercial, offices, and residential above the first storey, to a maximum building height of two storeys.

Within the Town of Oakville Zoning By-law 2014-014 the Subject Lands are zoned Future Development (FD). The FD Zone permits legally existing uses on the lands, and permits expansions to existing uses to a maximum of 10% increase in floor area and 10% increase in lot coverage. The FD Zone further sets out a limited set of development standards, including minimum yard setbacks and maximum building height.

The proposed addition to the existing building has been designed in accordance with the FD Zone standards, with the exception of the proposed increase in floor area, discussed in detail below. All other FD Zone standards are maintained in keeping with the intent of the Zoning By-law.

Description of the Requested Variance

The purpose of this Minor Variance application is to obtain relief from the Maximum Increase in Floor Area provision of the FD Zone within Zoning By-law 2014-014, in order to facilitate the proposed addition.

1. To permit a maximum 15% increase in floor area to the legally existing building, whereas Section 14.3.1(a) permits a maximum increase of 10% to the legally existing building.

The FD Zone within By-law 2014-014 permits all legal uses of land existing on the lot as of the effective date of the By-law, and further permits increases to the legally existing floor area to a maximum of 10%. The legally existing building on the Subject Lands has a total floor area of 4,421 square feet, and the proposed addition will comprise 660 square feet. This results in a total increase in floor area of 14.93%, representing a 4.93% increase (217 sq.ft.) above what is permitted within the FD Zone. This minor additional floor area will provide for additional offices for the existing medical use, and like the existing building will be split over two levels, while maintaining the required yard setbacks on the site.

No additional variances are required to permit the proposed addition, while the proposed revisions to the parking and driveway configuration will improve a number of existing conditions on the subject lands, such as increase the landscape buffer around the parking lot and improve site circulation.

Analysis and Justification

Section 45(1) of the *Planning Act* identifies four tests which must be satisfied in order for the requested minor variance to be approved. The proposed variance meets the four tests, as demonstrated in the analysis below.

a) The variance maintains the general intent and purpose of the Official Plan.

The requested variance is required to facilitate a modest addition to the existing medical office use on the Subject Lands, to accommodate additional office space. The existing daycare and medical office uses are permitted uses within Neighbourhood Commercial designation the Official Plan, and the proposed addition supports the ongoing operation of those uses. Section 13.5 of the Town's Official Plan notes that Neighbourhood Commercial uses are intended to primarily service local needs of the adjacent neighbourhoods. Section 13.5 further identifies that retail and service commercial uses should not exceed a maximum gross floor area of approximately 2,500 square metres within the Neighbourhood Commercial Designation. The Subject Lands currently provide important services for the local neighbourhoods, and will continue to do so through the proposed addition.

The proposed addition of 660 square feet (61 sq.m.), representing a 14.93% increase in floor space, maintains the general intent and purpose of the Official Plan as it will enable the continued growth of two legally existing uses on site within the maximum GFA permitted (total of 471 sq.m. post addition), allowing them to continue to serve the adjacent neighbourhoods.

The requested variance therefore maintains the general intent and purpose of the Official Plan.

b) The variance maintains the general intent and purpose of the Zoning By-law.

The Subject Lands are zoned FD (Future Development) within Zoning By-law 2014-014. The FD Zone permits legal uses of land existing on the lot as of the effective date of the By-law, which includes the existing daycare and medical office uses on the Subject Lands. No new uses are proposed as part of the proposed addition.

The following zone provisions apply to the Subject Lands:

Future Development (FD) Zone		
Lot Provisions	FD Zone Requirement	Proposed
Floor Area	Shall be the floor area that legally existed, and may be increased by a maximum of 10% at the building location only.	14.93% increase in floor area
Min. Front Yard	9.0 m	23.36m – As exists
Min. Interior Side Yard	2.4 m	3.12 m – As exists
Min. Rear Yard	7.5 m	8.66 m
Max. Height	10.0 m	10.0 m – As exists
Lot Coverage	Shall be the lot coverage that legally existed, and may be increased by a maximum of 10% at the building location only.	1.6% increase in lot coverage
Min. Landscaping	3.0m between surface parking and road	3.0 m
	3.0 m between surface parking and rear or interior side lot line	As exists
	4.5m between surface parking and residential lot	4.5 m
Parking	Medical Office: <ul style="list-style-type: none">- 1 space/35 sq.m. for first 60% net floor area- 1 space/18 sq.m. for entire building Daycare: <ul style="list-style-type: none">- 1 space per 40 sq.m. net floor area	18 spaces required 25 spaces provided

The intent of the floor area increase provisions within the Zoning By-law for the Future Development Zone is to ensure that any proposed large-scale redevelopments are done through site-specific rezoning applications. The maximum permitted increase in floor area and lot coverage of 10% is intended to allow for existing uses to continue to operate and expand as necessary until such time as a larger redevelopment of the site is proposed.

As discussed above, long term redevelopment plans for the Subject Lands include a mid-rise mixed use development in keeping with the surrounding development context and intent of the Future Development Zone. Until such time as a larger development proposal can be advanced, the proposed minor addition to the existing medical office use is necessary to ensure the continued function and growth of the existing uses on the Subject Lands.

The proposed addition represents a 14.93% increase in floor area, and 4.93 increase beyond the maximum increase permitted for the FD Zone. The proposed addition represents only a 1.6% increase

in lot coverage, well below the maximum permitted increase of 10%. The proposed addition is therefore in keeping with the intent of the By-law, allowing the existing medical office use to expand, while complying with all applicable zone provisions save for a minor increase in floor area.

With the exception of the proposed variance, all other regulations of the FD Zone are met with the proposed development. Based on the above, the requested variance maintains the general intent and purpose of the Zoning By-law.

c) The variance is desirable and appropriate for the development and use of the land.

The proposed development is intended to provide additional space for the existing medical office use, while improving various other site elements such as parking and driveway configurations. The Subject Lands are located along Trafalgar Road, surrounded by several existing and newly created residential developments, and both the existing daycare and medical office uses serve the adjacent neighbourhood as intended for the Neighbourhood Commercial designation within the Official Plan. The Zoning By-law allows for minor expansions to existing uses, as proposed, in order to ensure these uses are able to continue to operate and grow their businesses. The requested minor increase in permitted floor area is required to provide additional office space for the medical office use, and respects all other applicable zone standards. Additionally, the work associated with the addition, such as the improved parking layout and increase in landscaping surrounding the parking lot will improve the relationship between the Subject Lands and abutting properties.

Based on the above, the requested variance is desirable and appropriate for the development and use of the land.

c) The variance is minor in nature.

The requested variance to permit a minor increase in permitted floor area is minor in nature, and will not result in any unacceptable or adverse impacts on the subject lands or surrounding area. The proposed variance is necessary to permit the growth of the existing medical office, and has been designed in a manner which otherwise meets all applicable zone standards and improves the overall site configuration such as parking layout, increase in landscape buffer to the adjacent parcels, and improved sidewalk connections between the site and Trafalgar Road.

Based on the above, the requested variance is minor in nature.

Conclusion

In conclusion, the requested variance conforms to the general intent and purpose of the Official Plan and Zoning By-law, is desirable for the use of the Subject Lands, and is minor in nature. For the reasons set out above, it can be concluded that the requested variances satisfy the four tests set out in Section 45 (1) of the *Planning Act* and should be approved.

We are pleased to submit additional information as required and respond to any questions you may have.

Yours truly,

MHBC

A stylized, handwritten signature in black ink, appearing to read 'Oz Kemal'.

Oz Kemal, BES, MCIP, RPP
President and Partner

A handwritten signature in black ink, appearing to read 'Andrew Hannaford'.

Andrew Hannaford, BES, MCIP, RPP
Associate