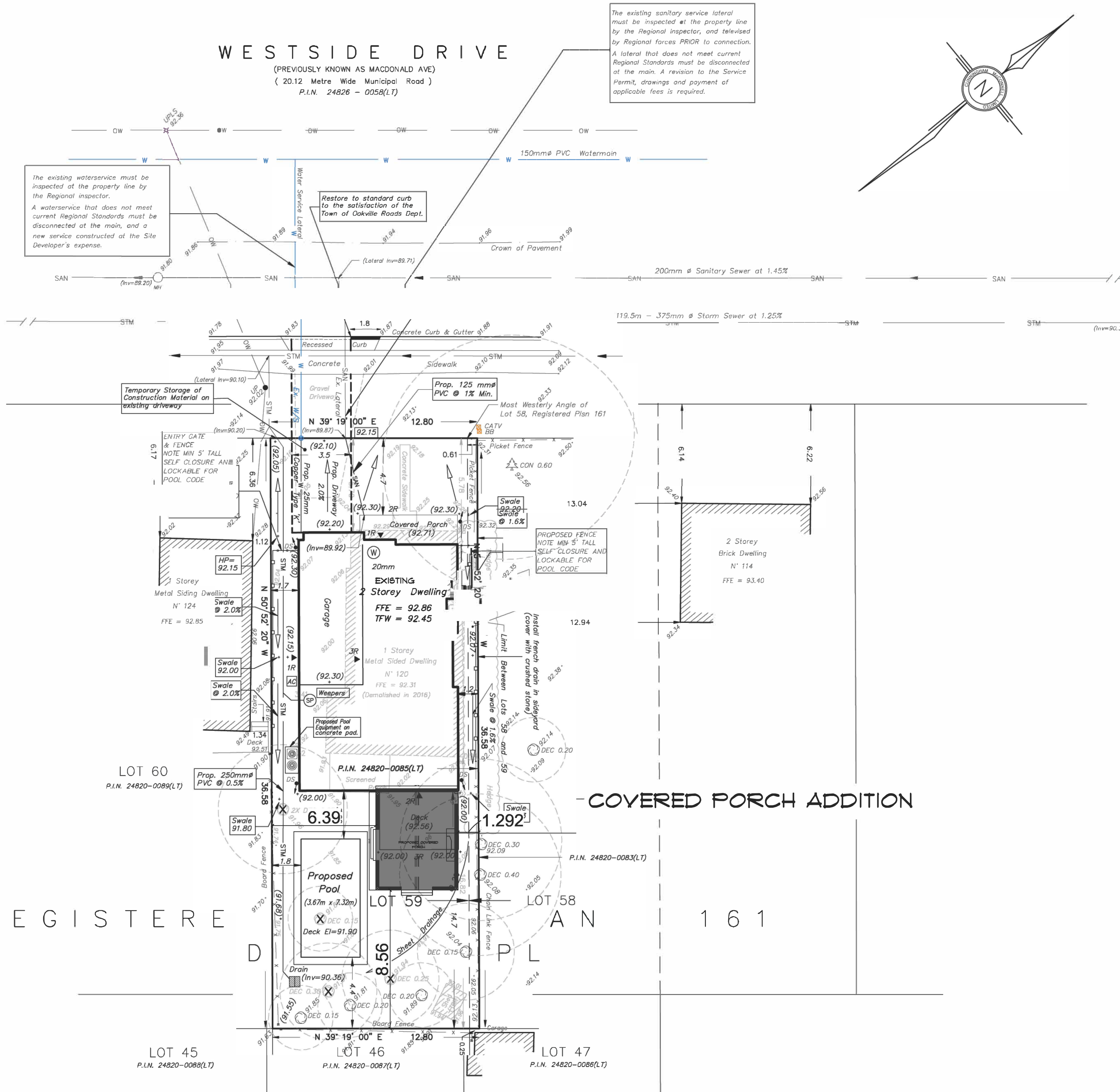


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MSITE STATISTICS
ZONE RL5-O
ZONING BYLAW 2014-014

LOT AREA = 468.2m²
EXISTING MAIN DWELLING (including Garage) = 162.57m²
PROPOSED COVERED PORCH = 31.12m²
PROPOSED AREA (GROSS) = 193.71m²

PROPOSED LOT COVERAGE = 41.31% (35% MAXIMUM ALLOWABLE)



SITE PLAN
SCALE: 1:150

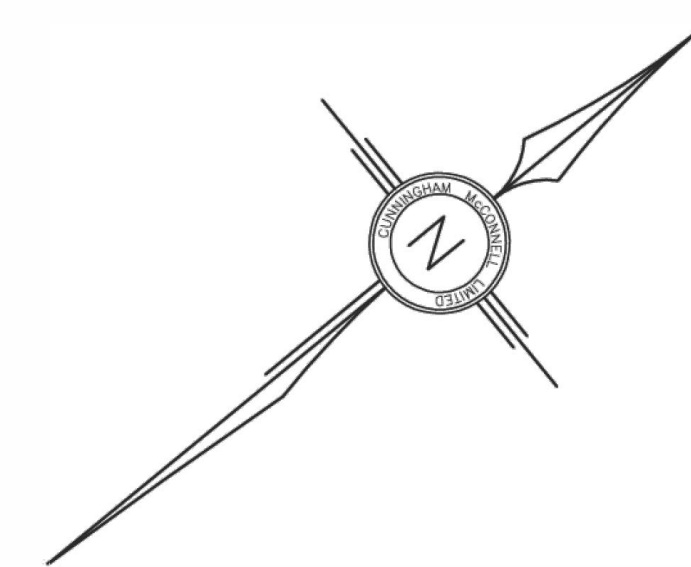
The existing sanitary service lateral must be inspected at the property line by the Regional Inspector, and televisized by Regional forces PRIOR to connection. A lateral that does not meet current Regional Standards must be disconnected at the main. A revision to the Service Permit, drawings and payment of applicable fees is required.

The existing waterservice must be inspected at the property line by the Regional Inspector. A waterservice that does not meet current Regional Standards must be disconnected at the main, and a new service constructed at the Site Developer's expense.

Restore to standard curb to the satisfaction of the Town of Oakville Roads Dept.



DRAWING TO BE CONSIDERED AS PRELIMINARY UNTIL SIGNED BY HARRISON LOXTON.



No.	Date	Description
1	080CT24	REVISIONS

BAYVIEW DESIGN GROUP
1808 LONDON LINE
SARNIA, ON N7W1A1
P. 519.332.8439
info@BAYVIEWDESIGN.ca
www.BAYVIEWDESIGN.ca



CLIENT / PROJECT INFORMATION:



For Review

SITE PLAN

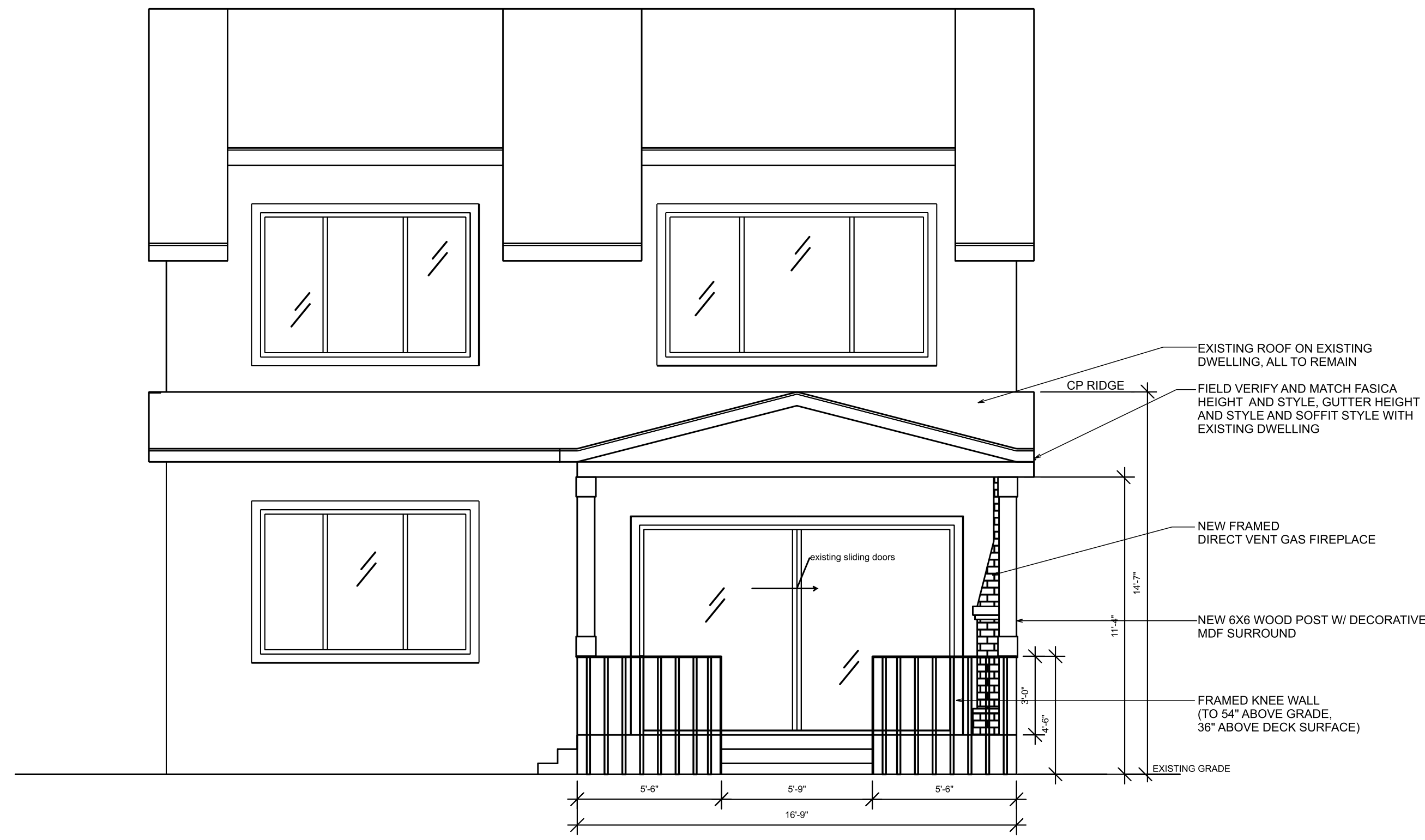
October 11, 2024
SCALE: 1:150
DESIGNED BY: HARRISON (TED) LOXTON
ISSUED FOR: For Review

PROJECT NUMBER

24715

2

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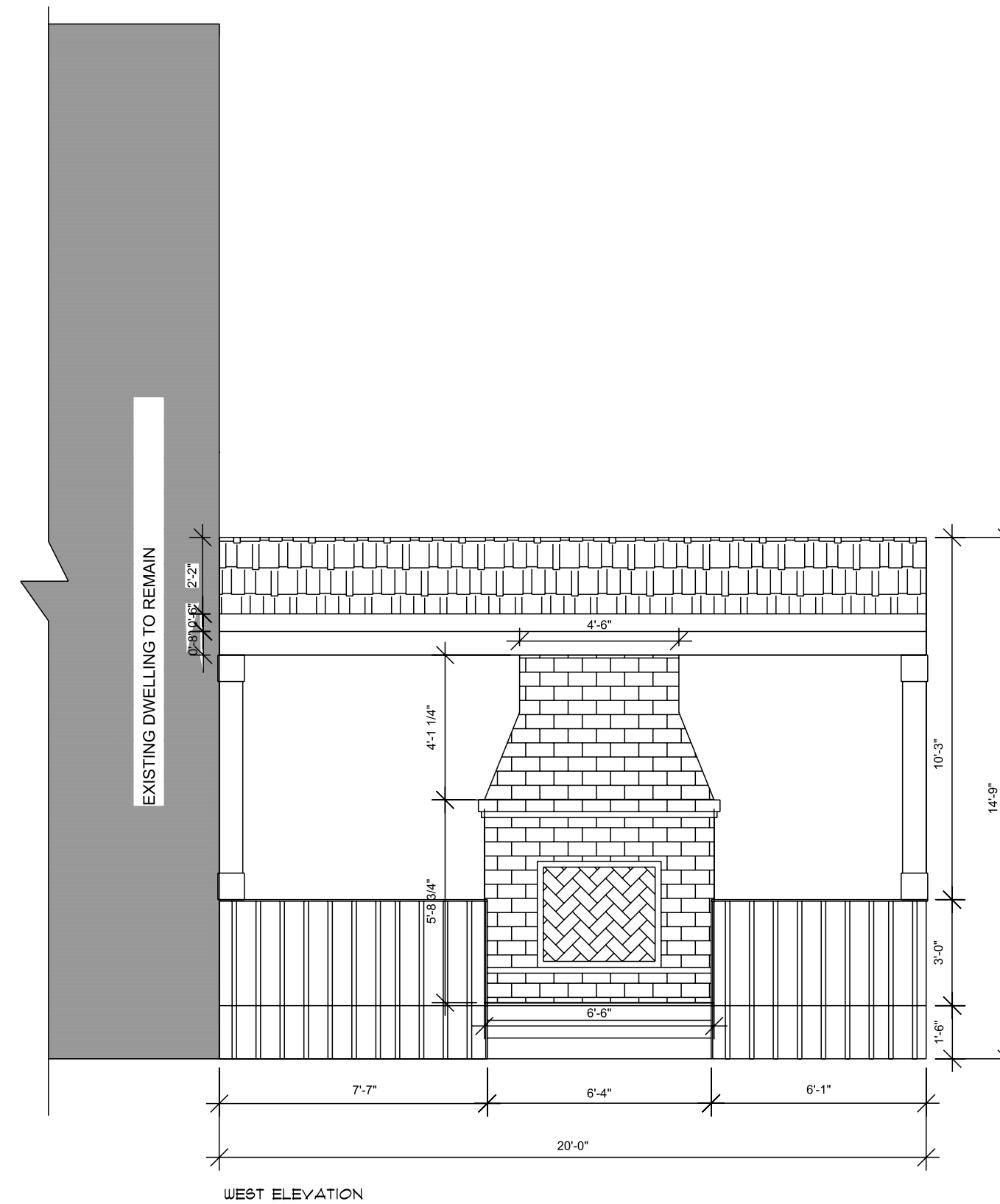


NORTH (REAR) ELEVATION

SCALE: 1/4" = 1'-0"

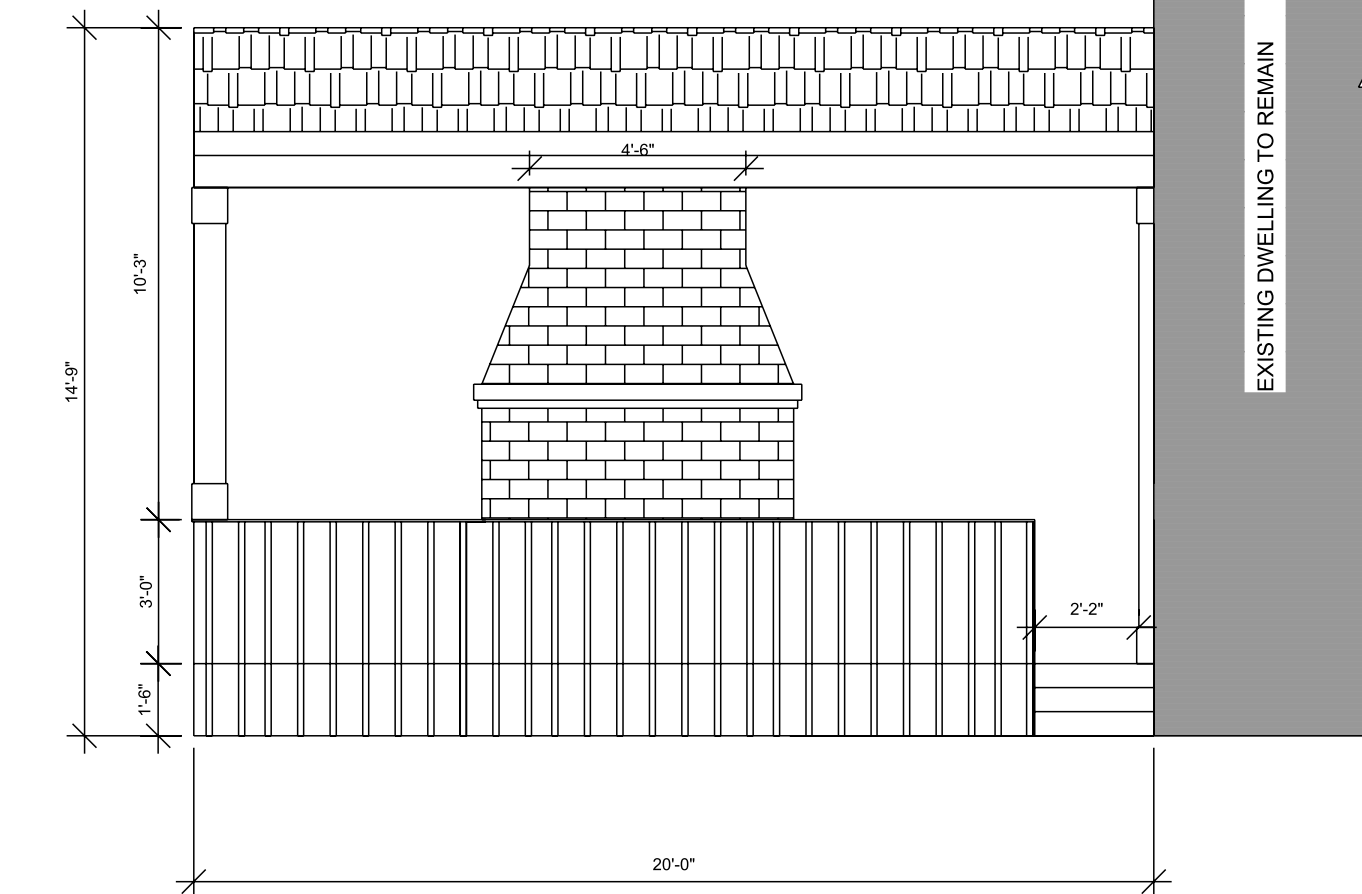
GUARD AND HANDRAIL NOTES:

- TYPICAL RAILING AND GUARD HEIGHTS (AS PER OBC 9.8 AND SB-7):
1. INTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 36" A.F.F.
 2. EXTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 36" IF DROP IS LESS THAN 6'-0".
 3. EXTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 42" IF DROP IS GREATER THAN 6'-0".



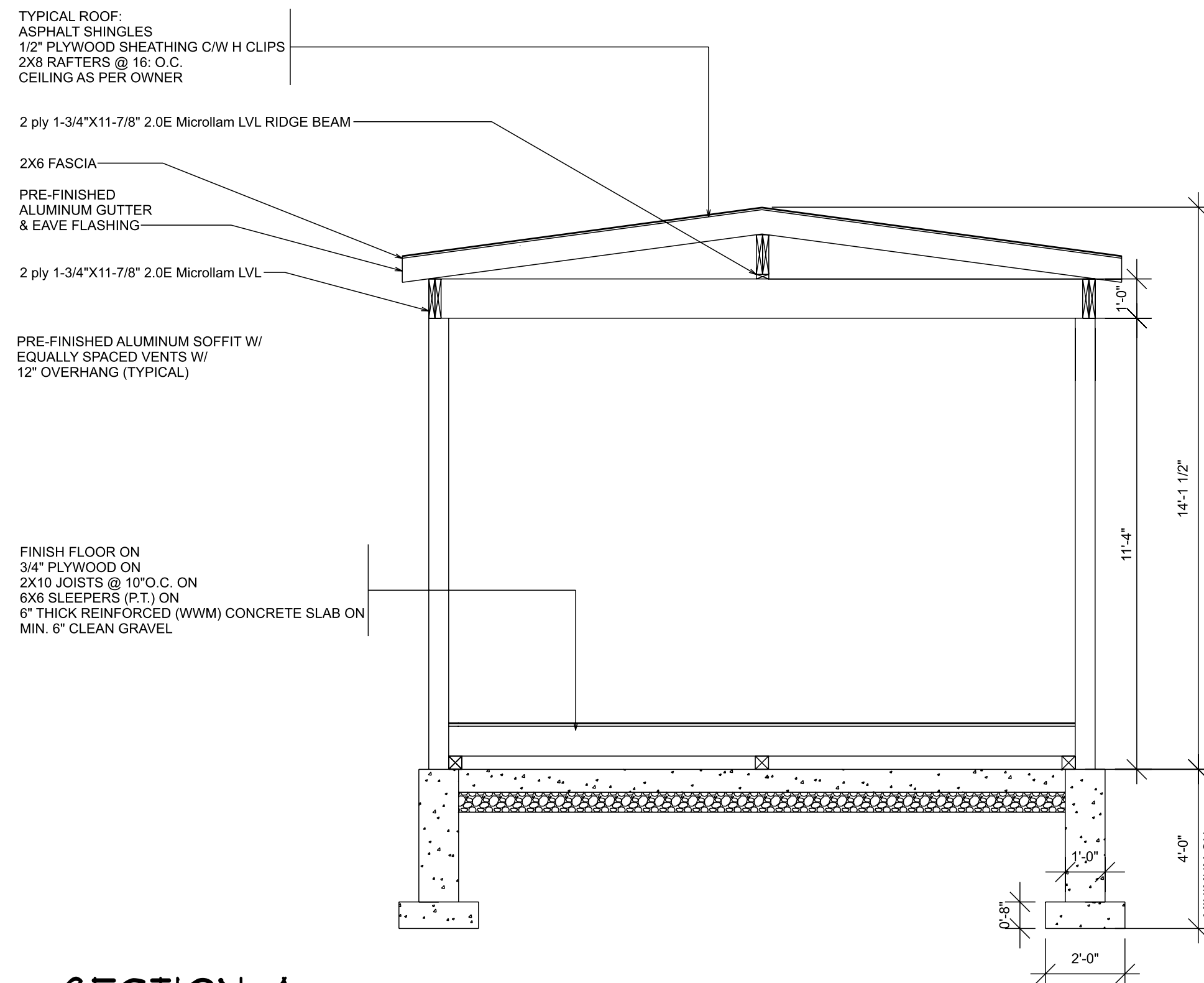
WEST ELEVATION

SCALE: 1/4" = 1'-0"



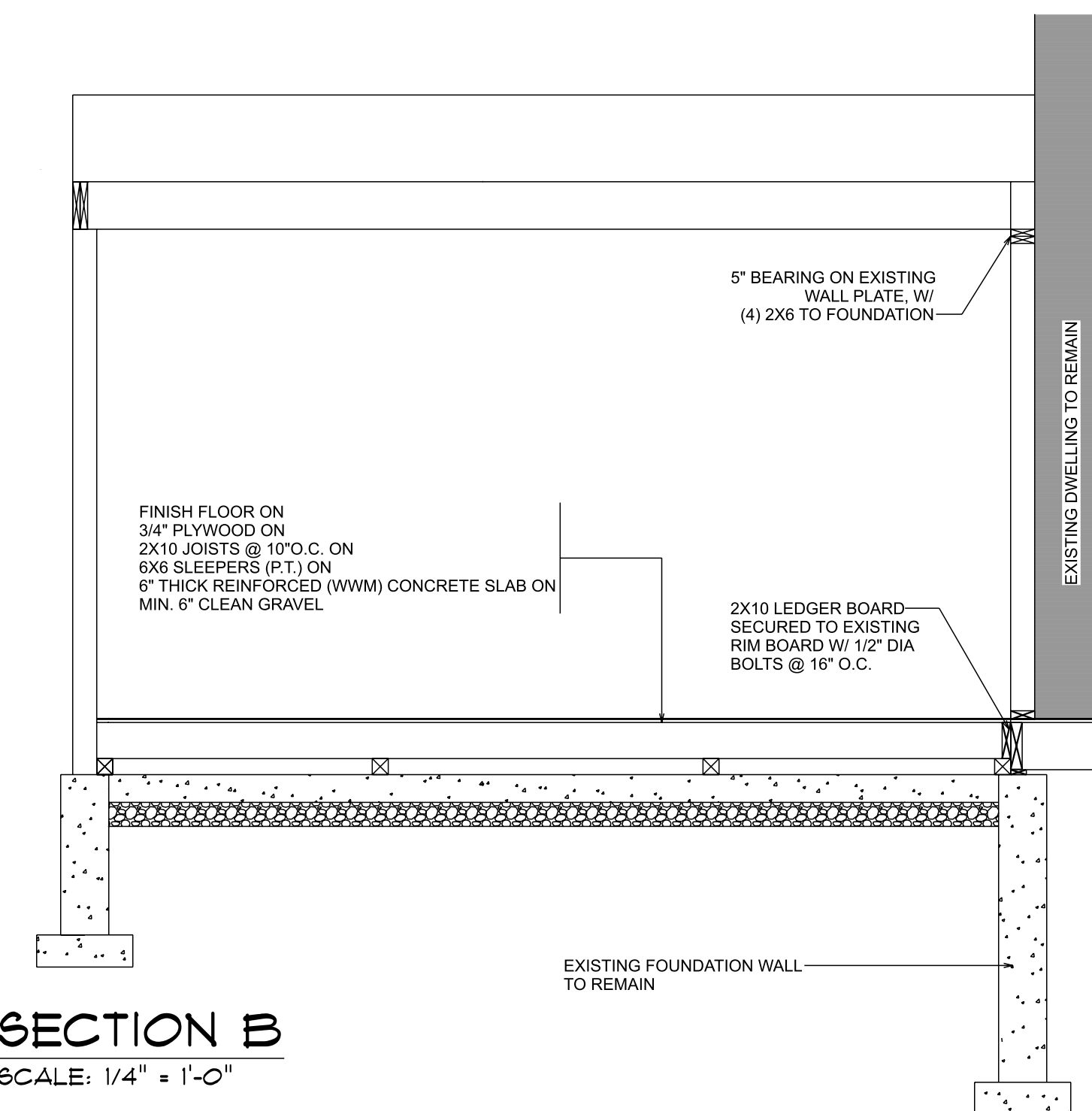
EAST ELEVATION

SCALE: 1/4" = 1'-0"



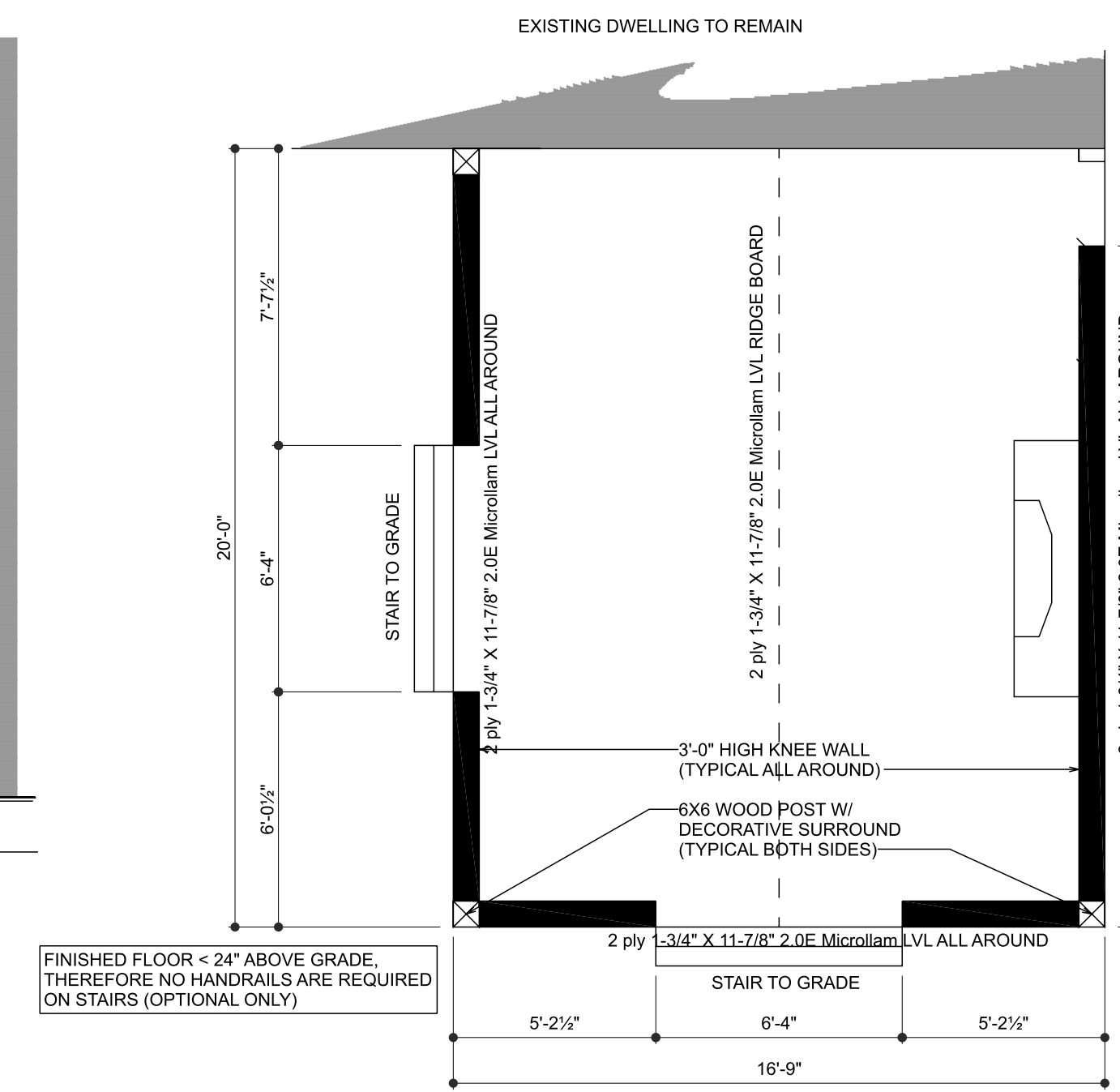
SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"



COVERED PORCH PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ** BAYVIEW DESIGN GROUP ASSUMES NO LIABILITY FOR WORK COMPLETED WHERE A BUILDING PERMIT IS REQUIRED BUT HASN'T BEEN OBTAINED.
1. DO NOT SCALE DRAWINGS.
 2. THESE PLANS REMAIN PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE DRAWINGS ARE TO BE USED FOR THE PROPERTY INDICATED IN THE TITLEBLOCK ONLY. OTHER USE IS PROHIBITED.
 3. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION. ALL CODE REFERENCES REFER TO OBC 2012 DIVISION 'B'.
 4. CONTRACTOR TO VERIFY ALL SPECIFICATIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR REPORTING DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.
 5. DESIGNER AND/OR ENGINEER SHALL BE NOTIFIED PRIOR TO POURING CONCRETE FOR VERIFICATION OF REBAR.
 6. ADJUSTMENTS OR CHANGES MADE TO THESE DRAWINGS, FLOOR OR TRUSS LAYOUT, AND POINT LOADS SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION. BAYVIEW DESIGN GROUP SHALL BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.
 7. ALL WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED AND WHICH ARE SUPPORTED ON CONCRETE, IN CONTACT WITH GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE W/ MIN. 5MIL POLY OR TYPE 'S' ROLL ROOFING AS PER OBC 9.23.2.3 (1) & (2).
 8. ALL WOOD POSTS TO PROVIDED AS INDICATED ON DRAWINGS.
 9. IF DURING CONSTRUCTION, GROUND WATER OR SOIL CONDITIONS ARE FOUND TO BE NOT OF THE TYPE USED IN THE DESIGN, THE DESIGN SHALL BE REASSESSED BY BAYVIEW DESIGN GROUP.



DRAWING TO BE CONSIDERED AS PRELIMINARY UNTIL SIGNED BY HARRISON LOXTON.

No.	Date	Description
1	08OCT24	REVISIONS

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CLIENT / PROJECT INFORMATION:

COVERED PORCH ADDITION

October 11, 2024
 SCALE: 1/4" = 1'-0"
 DRAWN BY: HARRISON (TED) LOXTON
 ISSUED FOR: For Review

PROJECT NUMBER

24715



[REDACTED]

We would like to make a variance application request and present our case in person for discussion or provide any other additional information .

We bought this house in 2020, and found pretty quickly that we were being affected by mulberry trees around the property. The berries would fall and stain our patio, furniture, shoes, bare feet, etc and really were affecting our lifestyle.

[REDACTED]



Further, the berries accumulate and lead to wasps and other spoiled fruit issues.

We were then looking for solutions to regain the use of our back yard.

To help protect and preserve the trees, we decided to explore the idea of a covered porch to provide coverage from the falling berries, provide protection from sunlight and then extend our living space. We decided would be best to do as a covered porch at the height of our indoor space.





We did, however, do things out of order. We did some sketches and drawings ourselves, and hired a contractor to construct our covered porch.

We do understand that the issues with our lot coverage, which we're here asking for forgiveness about today, would have come to light during the permit process, had we followed the right steps.

Observations on site continues

3. The roof structure is supported on two 12" Sonu tube at the rear southside and on the existing foundation on the north side.

a. The tributary area from the roof is 90 square feet, with 15psf roof dead load and 21 psf roof snow load an applied load of 3240 pound is needed to spread on soil. A minimum 20" diameter spread at 48" frost depth is required with a 75kPa bearing capacity.

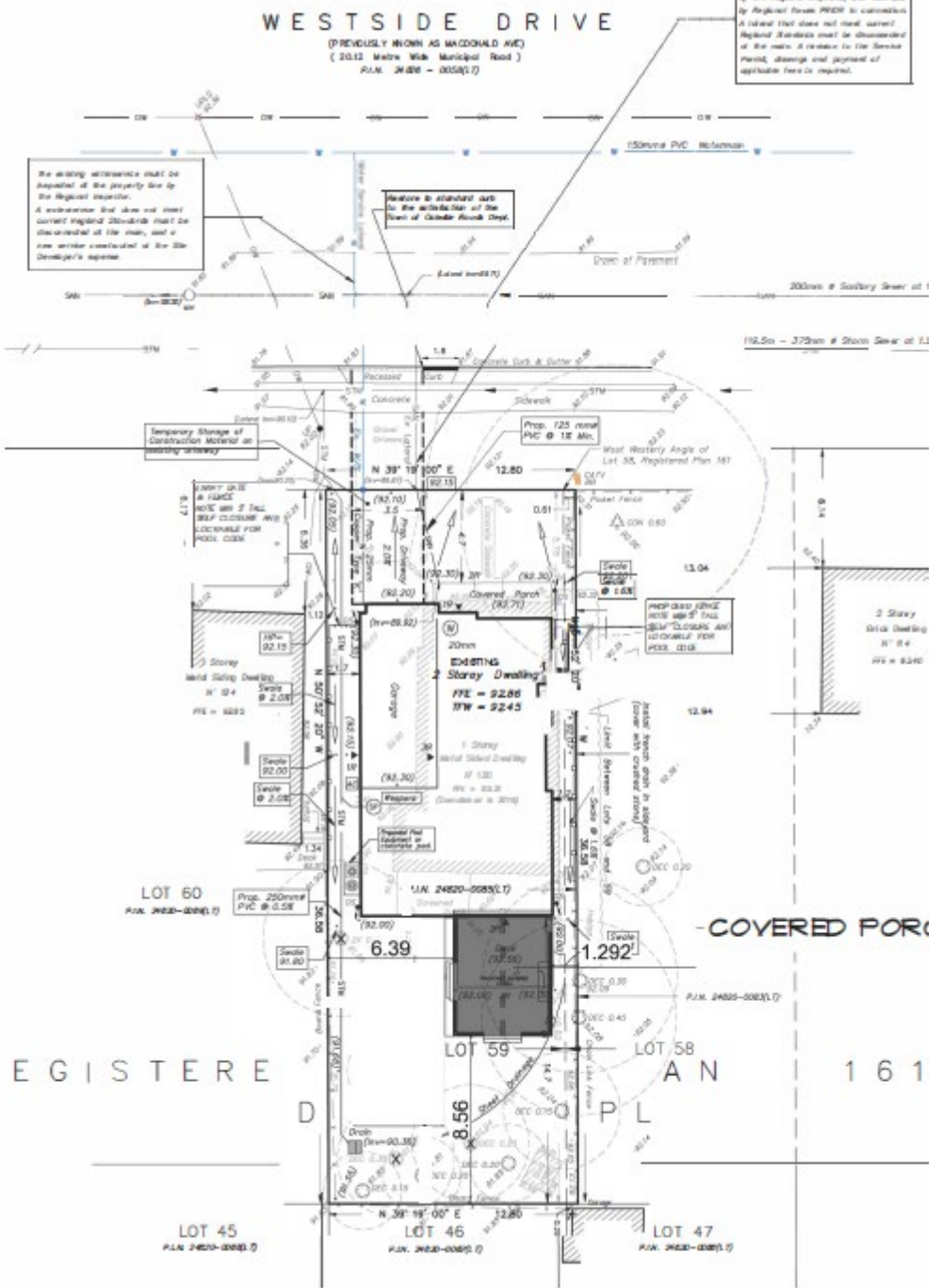


We hired a Structural Engineer to provide a General Review Report.

This review confirmed that the structure is well built and meets the requirements of the Ontario Building Code.



SITE STATISTICS
ZONE RL5-0
ZONING BYLAW 2014-04
LOT AREA = 468.2m²
EXISTING MAIN DWELLING (including Garage) = 162.9m²
PROPOSED COVERED PORCH = 31.0m²
PROPOSED AREA (GROSS) = 193.9m²
PROPOSED LOT COVERAGE = 41.37% (35% MAXIMUM ALLOWABLE)



So, that leaves us where we are today, here to request a minor variance for our property to allow for 41.37% lot coverage where the current zoning regulations for the RL5-0 zone permit only 35%.

We have reviewed the zoning variances in our immediate area and have found several instances where variances for lot coverages just below 40% have been granted.

I understand it's a different zone, but in one case In particular, we found a precedent where a variance for 44.60% lot coverage was approved. This was in an RL3-0 zone.

Given these precedents, we believe that our request for 41.37% lot coverage is reasonable and in line with the character and uniformity of the surrounding neighborhood.

SITE PLAN
SCALE 1:500



We appreciate your consideration of our request, and we're here to answer your questions if any.

