

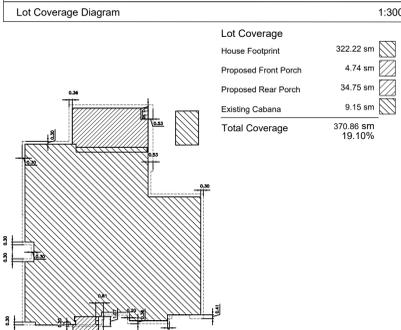
**Regional Approval**

Region Design Of Water &/or Wastewater Services Approval Subject To Detail Construction Conforming To Halton Region Standards & Specifications & Location Approval From Area Municipality.

Signed: \_\_\_\_\_ Dated: \_\_\_\_\_

Infrastructure Planning & Policy

The Approval Of The Water System On Private Property Is The Responsibility Of The Local Municipality. Regardless, The Applicant Must Ensure That The Region Of Halton's Standards Are Met. (The Water And Wastewater Linear Design Manual May Be Obtained On Halton.ca Or By Calling 311) All Water Quality Tests Must Be Completed To The Region Of Halton's Satisfaction Before The Water Supply Can Be Turned On.



**Base Information:**

Base Information Taken From Plan Of Survey BY CLINNINGHAM MCCONNELL LIMITED Dated: March 13, 2023

**Location**

Lot 40  
Registered Plan 1522  
Town of Oakville  
Regional Municipality Of Halton

**City Benchmark**

Elevations Are Geodetic And Are Referred To The Town Of Oakville Benchmark No.251 Having A Published Elevation Of 118.729 Meters.

**\*TFW (Top Of Foundation Wall)**

Floor Slab Plate On Inside Face Of Foundation. See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledger Condition On Outside Face Of Foundation Wall.

Extent Of Each Type To Be Determined By Contractor On Site During Construction

**\*\*U/F (Under Side Of Footing)**

U/F Denotes Minimum Depth Of Under Side Of Footing.

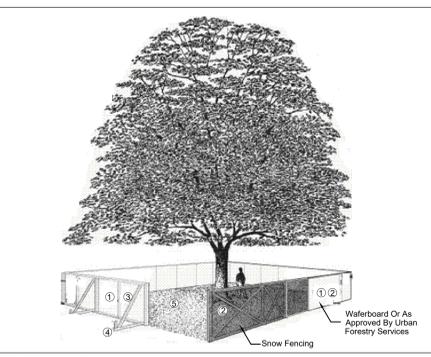
Under Side Of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions.

Footings To Be Min 1.2m Below Grade

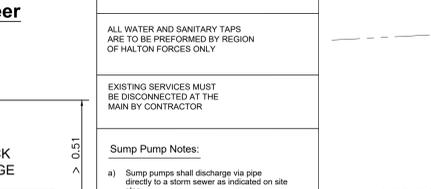
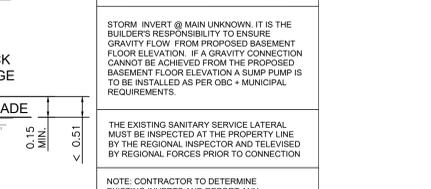
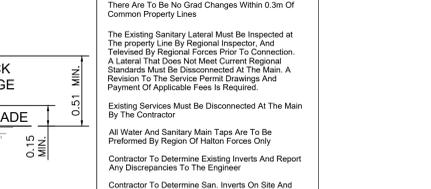
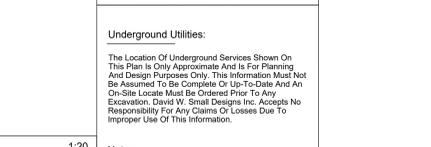
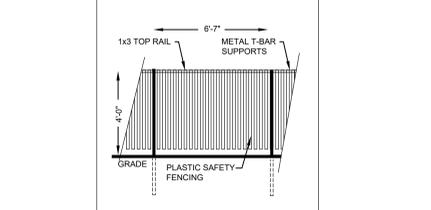
**General Notes:**

- Do Not Scale Drawings
- These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
- All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 3.

- Legend**
- 3R Main Level Entrance/Exit
  - 3R Lower Level Entrance/Exit
  - Property Line
  - Existing To Be Removed
  - Existing Spot Elevation
  - Proposed Spot Elevation
  - Rainwater Downspouts
  - Air Conditioner
  - Solid Hoarding
  - Framed Hoarding
  - ESC Or Silt Fence Hoarding
  - Area Drain
  - Denotes Coniferous Tree (with trunk diameter) To Remain
  - Denotes Deciduous Tree (with trunk diameter) To Remain
  - Denotes Tree (with trunk diameter) To Be Removed
  - Denotes Replacement Tree Native Species Min 60mm Caliper For Deciduous And 1.8m Height For Coniferous (SPECIES) Refers To Type Of Replacement Tree As Per Arborist Report
  - (R#) Refers To Replacement Tree Number Corresponding w/ Arborist Report
  - # Denotes Tree Number Corresponding w/ Arborist Report
  - Fence



- Tree Protection Barriers**
- Tree Protection Barriers Must Be 1.2m (4ft.) High, Waterboard Hoarding Or An Equivalent Approved By Urban Forestry Services.
  - Tree Protection Barriers For Trees Situated On The Town Road Allowance Where Visibility Must Be Maintained Can Be 1.2m (4ft.) High And Consist Of Orange Plastic Web Snow Fencing On A Wood Frame Made Of 2x4s.
  - Where Some Excavate Or Fill Has To Be Temporarily Located Near A Tree Protection Barrier, Plywood Must Be Used To Ensure No Material Enters The Tree Protection Zone.
  - All Supports And Bracing Should Be Outside The Tree Protection Zone. All Such Supports Should Minimize Damaging Roots Outside The Tree Protection Barrier.
  - No Construction Activity, Grade Changes, Surface Treatment Or Excavation Of Any Kind Is Permitted Within The Tree Protection Zone.



**Underground Utilities:**

The Location Of Underground Services Shown On This Plan Is Only Approximate And Is For Planning And Design Purposes Only. This Information Must Not Be Assumed To Be Complete Or Up-To-Date And An On-Site Locate Must Be Ordered Prior To Any Excavation. David W. Small Designs Inc. Accepts No Responsibility For Any Claims Or Losses Due To Improper Use Of This Information.

**Notes:**

There Are To Be No Grad Changes Within 0.3m Of Common Property Lines

The Existing Sanitary Lateral Must Be Inspected At The Property Line By Regional Inspector, And Televised By Regional Forces Prior To Connection. A Lateral That Does Not Meet Current Regional Standards Must Be Disconnected At The Main. A Revision To The Service Permit Drawings And Payment Of Applicable Fees Is Required.

Existing Services Must Be Disconnected At The Main By The Contractor

All Water And Sanitary Main Taps Are To Be Prefomed By Region Of Halton Forces Only

Contractor To Determine Existing Inverts And Report Any Discrepancies To The Engineer

Contractor To Determine San. Inverts On Site And Determine If San. Ejector Pump Is Required

**STORM INVERT @ MAIN UNKNOWN. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ACHIEVED FROM THE PROPOSED BASEMENT FLOOR ELEVATION A SUMP PUMP IS TO BE INSTALLED AS PER OBC + MUNICIPAL REQUIREMENTS.**

THE EXISTING SANITARY SERVICE LATERAL MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR AND TELEVIEWED BY REGIONAL FORCES PRIOR TO CONNECTION

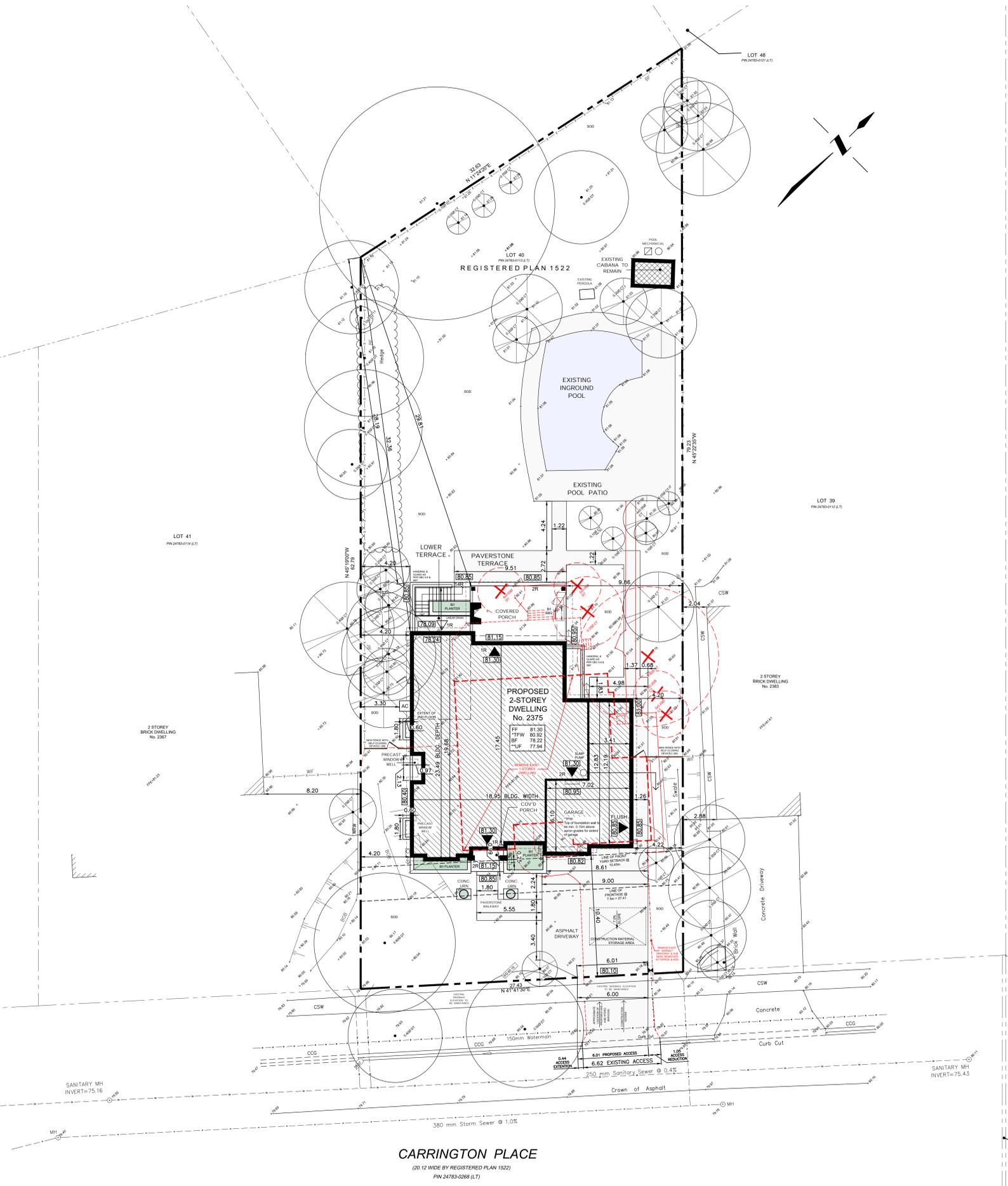
**NOTE: CONTRACTOR TO DETERMINE EXISTING INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER**

**ALL WATER AND SANITARY TAPS ARE TO BE PREFORMED BY REGION OF HALTON FORCES ONLY**

**EXISTING SERVICES MUST BE DISCONNECTED AT THE MAIN BY CONTRACTOR**

**Sump Pump Notes:**

- Sump pumps shall discharge via pipe directly to a storm sewer as indicated on site plan
- Air gap and back flow preventer required for the storm service.
- Storm service to be made of 150mm Dia. PVC pipe from house to storm sewer main.
- Storm inverts as noted on site plan.



Existing Cabana 0.47% 9.15 sqm

no.	date	revision / comment
5	Mar 2025	Revised As Per Zoning Comments
4	Feb 2025	SPA Comments
3	Jan 18/25	Driveway Dimension Added Per Zoning Comments
2	Nov 2024	Site Data - Cabana Coverage Revised
1	Oct 09/24	Issued To Owner For Zoning Approvals

**Project:**

**2375 Carrington Place**

Lot 40  
Registered Plan 1522  
Town of Oakville,  
Regional Municipality of Halton

**Drawing:**

**Site Plan**

**Scale:** 1:150

**Date:** Oct 2024

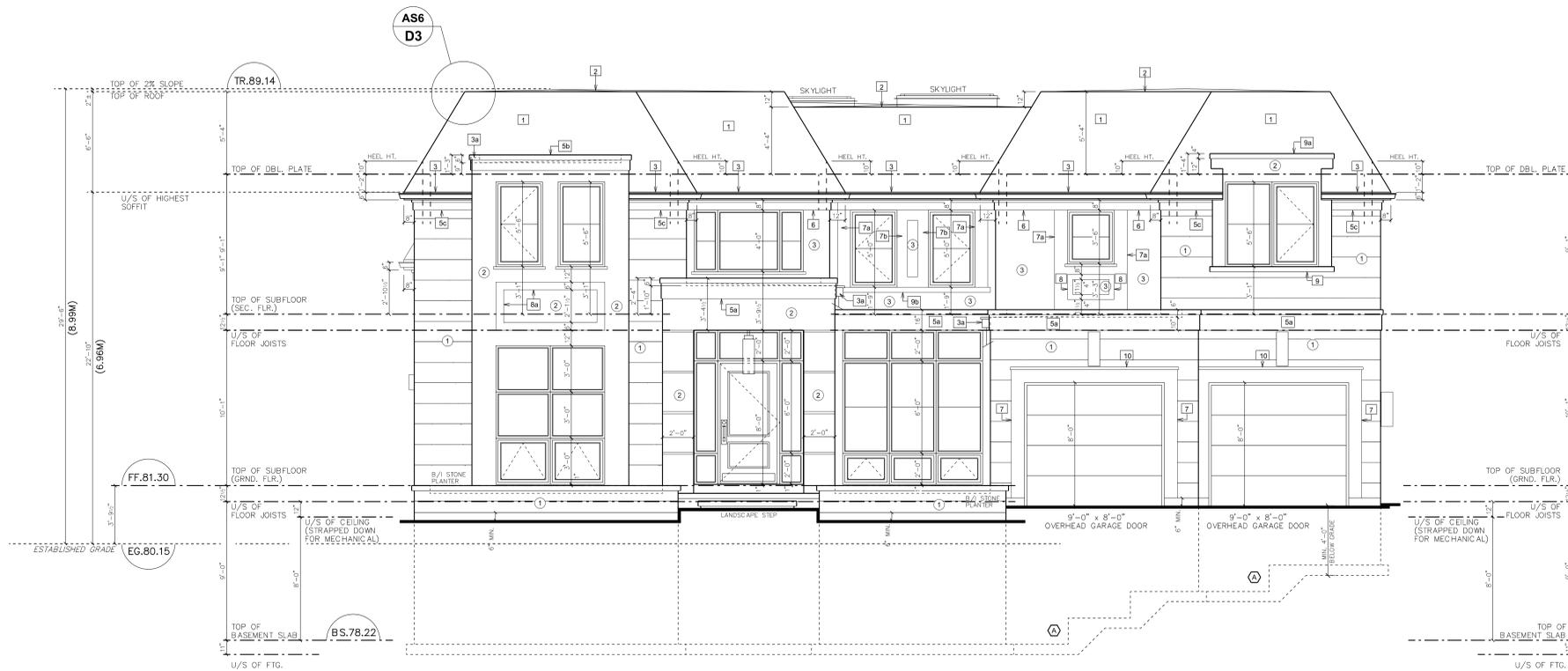
**Dwn by:** SE

**Proj. no.:** 24-2103

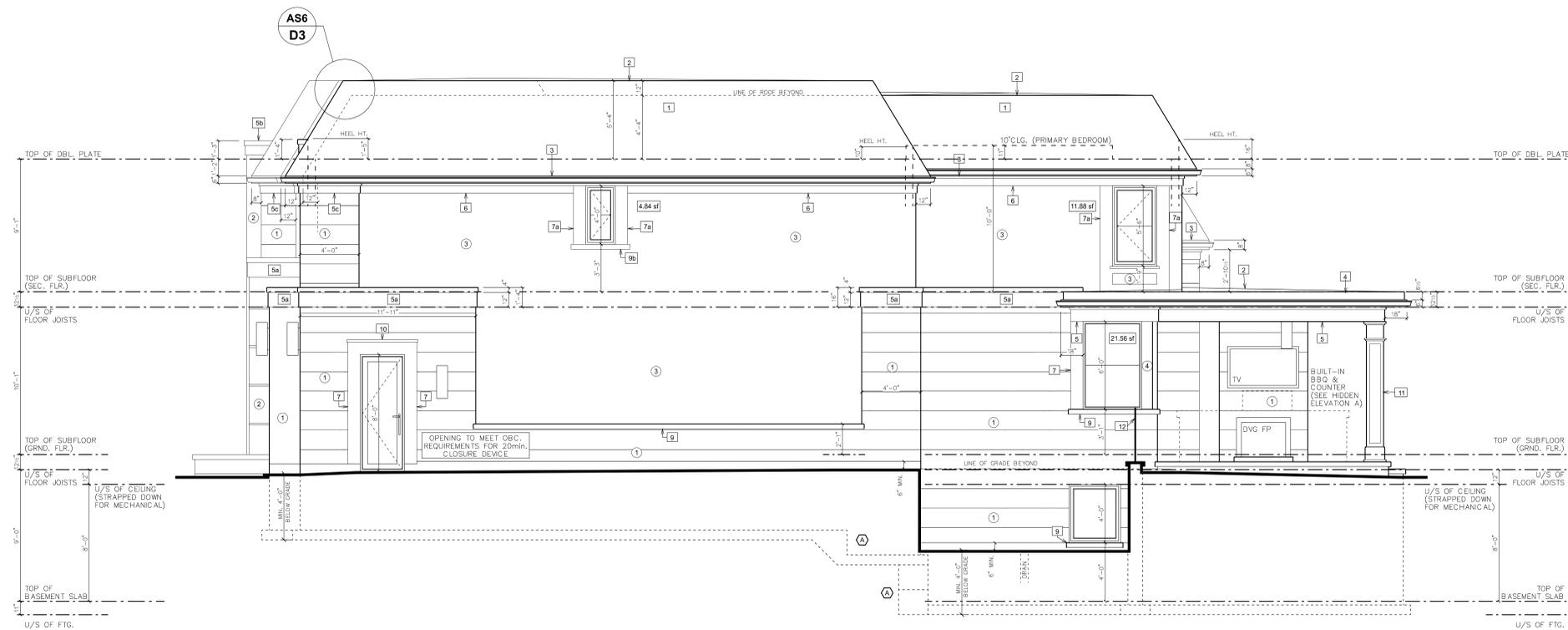


**David Small Designs**

Architecture + Interior Design



**Front (South) Elevation**



**Right-Side (East) Elevation**

Unprotected Openings Calculations - Right-Side	
Limiting Distance	4.20m
Wall Area	1312.9 sf (122.0 sm)
Opening Area Allowed	166.7 sf (12.7 %)
Opening Area Proposed	98.3 sf (2.9 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

**Drawing Legend**

**1.0 Materials**

- 1 Smooth Face Cut Stone
- 2 Cut Stone Panel
- 3 Pigmented Epoxy Stucco
- 4 Prefinished Aluminum Panel - Corner Window

**2.0 Roofing**

- 1 40 Year Asphalt Shingles
- 2 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

**3.0 Trim, Cornice, Moulding, & Gutter Notes**

- 3 Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- 3a Prefinished Metal Scupper Collector
- 4 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter
- 5 12" Cut Stone Trim w/ 2" Top Edge Reveal
- 5a 16" Cut Stone Trim w/ 4" Top Edge Reveal
- 5b 12" Cut Stone Trim w/ 4" Top Edge Reveal
- 5c 8" Cut Stone Trim w/ 2" Top Edge Reveal
- 6 8" Stucco Trim w/ 2" Top Edge Reveal
- 7 10" Cut Stone Trim
- 7a 10" Stucco Trim
- 7b 8" Stucco Trim
- 8 4" Stucco Trim Recessed 1 1/2"
- 8a 6" Cut Stone Trim Recessed 1 1/2"
- 9 4" Cut Stone Sill c/w 2" Projection
- 9a 4" Cut Stone Coping Cap w/ 2" Projection
- 9b 4" Stucco Sill c/w 2" Projection
- 10 2" Cut Stone Sill Projected 2"

**4.0 Railing, Post**

- 11 12"x12" Cut Stone Clad Post As Shown
- 12 Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC. 9.8. & SB-13 Of The Supplement

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2024 Ontario Building Code.

Peter Giordano 25961  
Name Signature BCIN  
Registration Information required unless the design is exempt under Division C - 3.2.5.1. of the 2024 Ontario Building Code.  
David W. Small Designs Inc. 29999  
Firm Name BCIN

no.	date	revision / comment
2	Mar 20/25	Revised As Per Zoning Comments
1	Oct 9/24	Issued To Owner For Zoning Approvals

Project:

**2375 Carrington Place**

Part of Lot 40  
Registered Plan 1522  
Town of Oakville,  
Regional Municipality of Halton

Drawing:

**Front & Right-Side Elevations**

Scale: 1/4"=1'-0"

Date: Oct 2024

Own by: BS

Proj. no.: 24-2103

**A5**

**David Small Designs**

Architecture + Interior Design

## Front Elevation - 3D Render



2375 Carrington Place, Oakville ON

Proj #: 2105

SCAFFOLDS  
MARCH 27, 2025

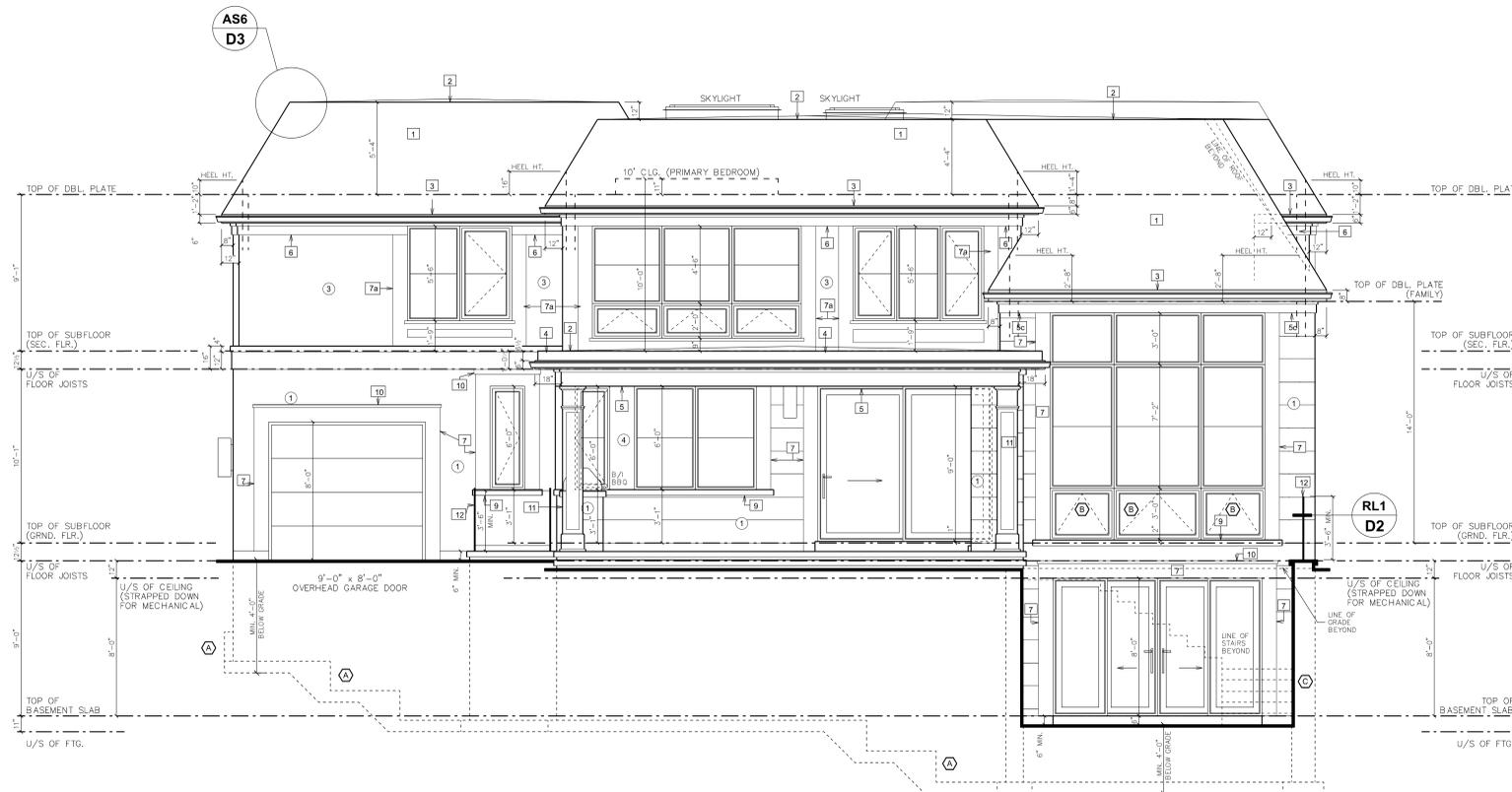
## Right Elevation - 3D Render



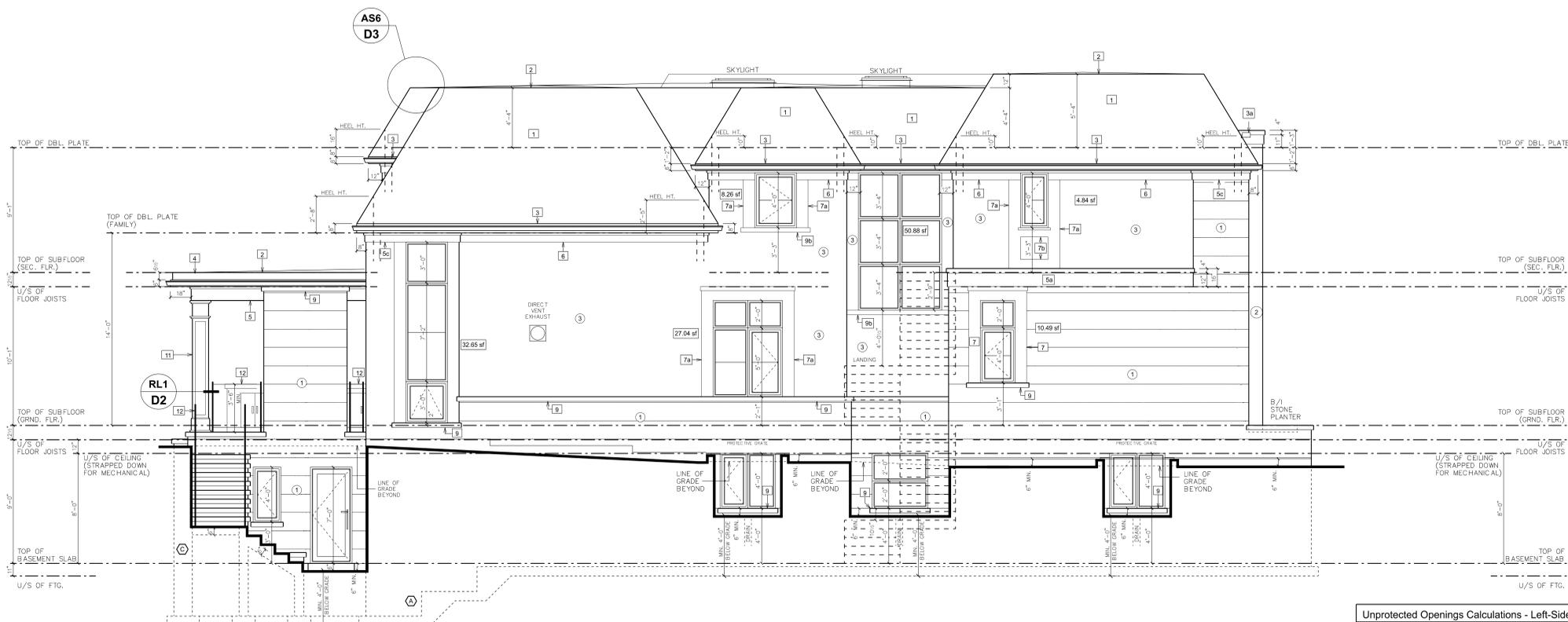
2375 Carrington Place, Oakville ON

Proj #: 2105

SCAFFOLDS  
MARCH 27, 2025



**Rear (North) Elevation**



**Left-Side (West) Elevation**

**Drawing Legend**

**1.0 Materials**

- 1 Smooth Face Cut Stone
- 2 Cut Stone Panel
- 3 Pigmented Epoxy Stucco
- 4 Prefinished Aluminum Panel - Corner Window

**2.0 Roofing**

- 1 40 Year Asphalt Shingles
- 2 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

**3.0 Trim, Cornice, Moulding, & Gutter Notes**

- 3 Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- 3a Prefinished Metal Scupper Collector
- 4 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter
- 5 12" Cut Stone Trim w/ 2" Top Edge Reveal
- 5a 16" Cut Stone Trim w/ 4" Top Edge Reveal
- 5b 12" Cut Stone Trim w/ 4" Top Edge Reveal
- 5c 8" Cut Stone Trim w/ 2" Top Edge Reveal
- 6 8" Stucco Trim w/ 2" Top Edge Reveal
- 7 10" Cut Stone Trim
- 7a 10" Stucco Trim
- 7b 8" Stucco Trim
- 8 4" Stucco Trim Recessed 1 1/2"
- 8a 6" Cut Stone Trim Recessed 1 1/2"
- 9 4" Cut Stone Sill c/w 2" Projection
- 9a 4" Cut Stone Coping Cap w/ 2" Projection
- 9b 4" Stucco Sill c/w 2" Projection
- 10 2" Cut Stone Sill Projected 2"

**4.0 Railing, Post**

- 11 12"x12" Cut Stone Clad Post As Shown
- 12 Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect OF OBC, 9.8. & SB-13 Of The Supplement

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario building code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2024 Ontario building code.

Peter Giordano   
 Name: Peter Giordano BCN 29961  
 Registration information required unless the design is exempt under Division C - 3.2.5.1. of the 2024 Ontario Building Code.  
 David W. Small Designs Inc. BCN 29990  
 Firm Name: David W. Small Designs Inc.

no.	date	revision / comment
2	Mar 20/25	Revised As Per Zoning Comments
1	Oct 9/24	Issued To Owner For Zoning Approvals

Project: **2375 Carrington Place**  
 Part of Lot 40  
 Registered Plan 1522  
 Regional Municipality of Halton

Drawing: **Rear & Left-Side Elevations**

Scale: 1/4"=1'-0"  
 Date: Oct 2024  
 Dwn by: BS  
 Proj. no.: 24-2103

**A6**

**Unprotected Openings Calculations - Left-Side**

Limiting Distance	4.20m
Wall Area	1252.7 sf (116.4 sm)
Opening Area Allowed	159.1 sf (12.7 %)
Opening Area Proposed	134.1 sf (10.7 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

## Rear Elevation - 3D Render



2375 Carrington Place, Oakville ON

Proj # 2105

SCAFFOLDS  
MARCH 27, 2025

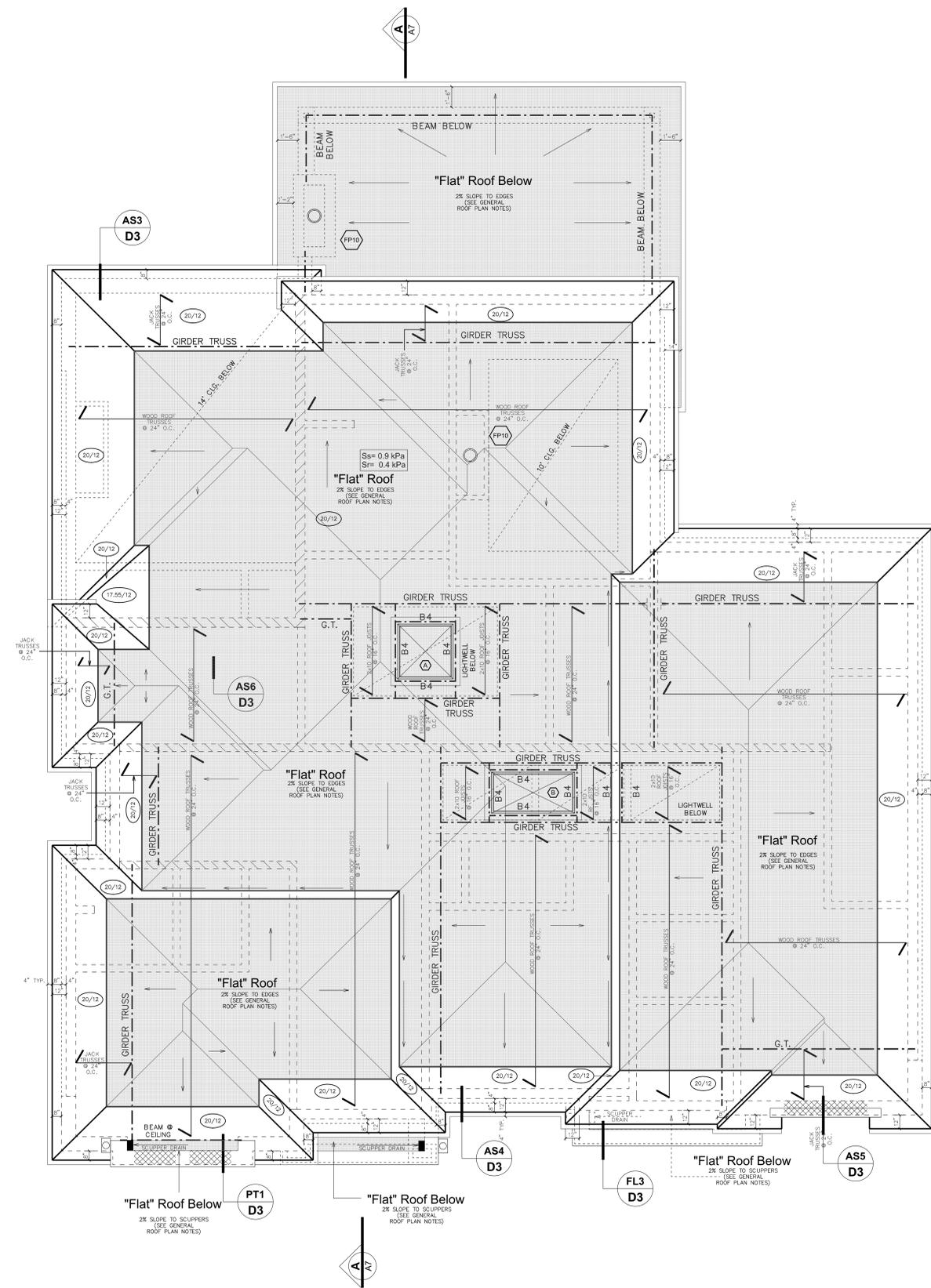
## Left Elevation - 3D Render



2375 Carrington Place, Oakville ON

Proj #: 2105

SCAFFOLDS  
MARCH 27, 2025



**Percentage Flat Roof Area**  
 Total Roof Area - 3,615.90 sf.  
 Flat Roof Area - 2,576.50 sf.  
 % Flat Roof Area - 71.25%

For Structural Design Only

REGISTERED PROFESSIONAL ENGINEER  
 L. W. K. TSE  
 MAR 20/25  
 PROVINCE OF ONTARIO

TSE TAG No. DS 1481

Structural Engineering Design By:  
 Tse Consultants Inc. 416 543-3088

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario building code for a designer.

Qualification information required unless the design is exempt under Division C - 3.2.4.1. of the 2024 Ontario Building Code.

Peter Giordano 25061  
 Name Signature BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2024 Ontario Building Code.

David W. Small Designs Inc. 3999  
 Firm Name BCIN

**Roof Notes**

Note: all over-hangs are 4" inset from stone facing on ground floors (typical)

Note: all upper roof overhangs are to be 1'-0" U.N.O.

All roof slopes to be 20/12 unless noted otherwise

A 4'-0"x4'-0" skylight installed w/ curb & flashing as req'd by manuf. specs.

B 3'-0"x6'-0" skylight installed w/ curb & flashing as req'd by manuf. specs.

Interior Load-Bearing Walls

Flat Roof - 2% Slope to Edges (See General Roof Plan Notes)

Flush Lintel - See Detail

**Drawing Legend**

Joist direction

Floor drain

Interconnected smoke alarm w/ visual indicator

CO Alarm

Post above

20"X28" Attic access hatch

Typical "P3" post UNO

no.	date	revision / comment
2	Mar 20/25	Revised As Per Zoning Comments
1	Oct 9/24	Issued To Owner For Zoning Approvals

Project:

**2375 Carrington Place**

Part of Lot 40  
 Registered Plan 1522  
 Town of Oakville  
 Regional Municipality of Halton

Drawing:

**Roof Plan**

Scale: 1/4" = 1'-0"

Date: Oct 2024

Drawn by: TK/BS

Proj. no.: 24-2103

**A4**

**David Small Designs**

Architecture + Interior Design

## **2375 Carrington Place – Why It Is Not Possible To Comply**

This rationale addresses the proposed minor variances for 2375 Carrington Place, detailing the reasons why each variance is appropriate, minor, and in keeping with the character of the neighbourhood. The requested variances include:

### **1. Dwelling Depth Variance**

- **Variance Requested:** The proposed dwelling exceeds the maximum permitted dwelling depth of 20.00 metres, with a proposed depth of 23.49 metres.
- **Rationale:** The additional depth is due to the living space below the rear-covered porch. The building itself, from the front exterior wall to the rear exterior wall, complies with the 20-metre depth requirement. The longest depth of the 'true footprint' represents only 1/3<sup>rd</sup> of the floor footprint while the remaining 2/3<sup>rd</sup> of the footprint is significantly shorter. This variance is related to a below grade design feature and does not result in any increase in the overall mass of the dwelling.

### **2. Garage Area Variance**

- **Variance Requested:** The proposed garage exceeds the maximum permitted area of 56.00 square metres, with a proposed area of 63.38 square metres.
- **Rationale:** The increased garage area is designed to accommodate two garage bays and one tandem space, offering ample parking and storage. From the street perspective the Garage appears to be only a 2-car garage. The garage is well-integrated into the dwelling, maintaining the aesthetic harmony of the neighbourhood. Please note, the home is still under the maximum floor space index, even with the 63.38sm garage area. Given the context of other large homes with substantial garages in the area, we believe this variance is appropriate and minor.

### **Conclusion:**

The requested variances are minor in nature, and their approval will not result in any negative impact on the character of the neighbourhood. If these two variances were eliminated, the exterior design – massing and scale – would be the exact same. We believe these variances are minor and appropriate. We respectfully request approval of these minor variances.