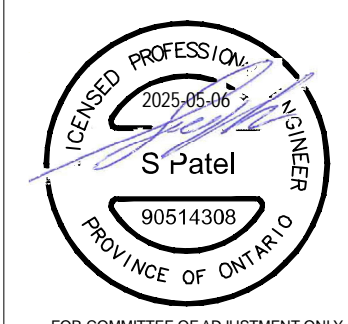


THIS SITE PLAN REFERENCES WORK PERFORMED BY:  
A.AZIZ SURVEYORS INC  
SURVEY PERFORMED ON DECEMBER 1, 2024  
PROJECT MARKED: 24-248 / 1321 DUNCAN ROAD (SR-PR)  
DATED: DECEMBER 8, 2024

	PERMITTED	ACTUAL
<b><u>RESIDENTIAL FLOOR AREA VARIANCE:</u></b>		
<b><u>RFA COVERAGE OVER VARIANCE</u></b>		
LOT SIZE MAX RFA ALLOWED	(Oakville Zoning By-law 2014-014 6.4.1(d))	
HOUSE RFA DIFFERENCE	37% of 1,057.6m <sup>2</sup> (11,350sqft) = 391.312m <sup>2</sup> (4,212.047sqft)	
	MAX = 391.312m <sup>2</sup> (4,212.047sqft)	423.224m <sup>2</sup> (4,555.544sqft) = <u>40.01%</u> or +31.912m <sup>2</sup> (343.497sqft)
<b><u>LOT COVER AREA VARIANCE:</u></b>		
MAX RESIDENTIAL LOT COVERAGE	(Oakville Zoning By-law 2014-014 6.4.2)	
	=LOT SIZE IS 1,057.6m <sup>2</sup> x 25% = 264.4m <sup>2</sup> (2,845.977sqft) MAX LOT COVERAGE	
FOUNDATION COVERAGE	=256.464m <sup>2</sup>	
SECOND FLOOR OVERHANG COVERAGE:	=+2.8955m <sup>2</sup> (31.875sqft)	
COVERED PORCH COVERAGE:	=+17.0581m <sup>2</sup> (183.611sqft)	
SHED COVERAGE	=8.290m <sup>2</sup> (100.00sqft)	
<b><u>LOT COVERAGE OVER VARIANCE</u></b>		
FOUNDATION COVERAGE	=1256.464m <sup>2</sup> (1,057.6m <sup>2</sup> )	=24.249%
INCLUDING SECOND FLOOR O/H	=1259.359m <sup>2</sup> (1,057.6m <sup>2</sup> )	=24.523%
INCLUDING 2ND FLR OH + CVRD PORCH	=1276.4171m <sup>2</sup> (1,057.6m <sup>2</sup> )	=26.136% or 1.136% OVER LOT COVERAGE MAX
INCLUDING 2ND + PORCH + PROP SHED	=1285.707m <sup>2</sup> (1,057.6m <sup>2</sup> )	=27.014% or 2.014% OVER LOT COVERAGE MAX



REVISIONS	
DATE	DESCRIPTION
LEGEND	
E	DENOTES EXISTING TO REMAIN
R	DENOTES EXISTING TO BE RELOCATED
D	DENOTES EXISTING TO BE REMOVED
N	DENOTES NEW TO BE PROVIDED



**LAKELAND**  
ENGINEERING

1100 Sutton Dr. Burlington, Unit#1  
**P-905-332-8888**  
[info@lakelandengineering.ca](http://info@lakelandengineering.ca)

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PROJECT:

NEW RESIDENTIAL  
DWELLING

1321 DUNCAN ROAD  
OAKVILLE L6J 29P

SHEET TITLE:

SITEPLAN

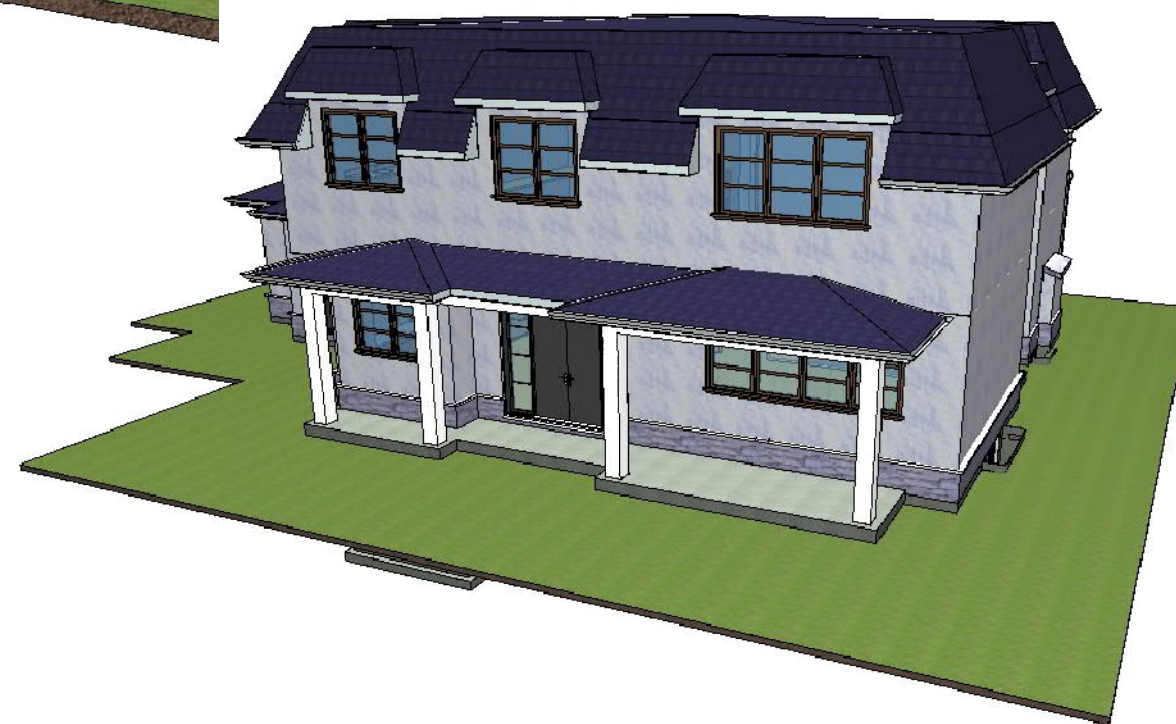
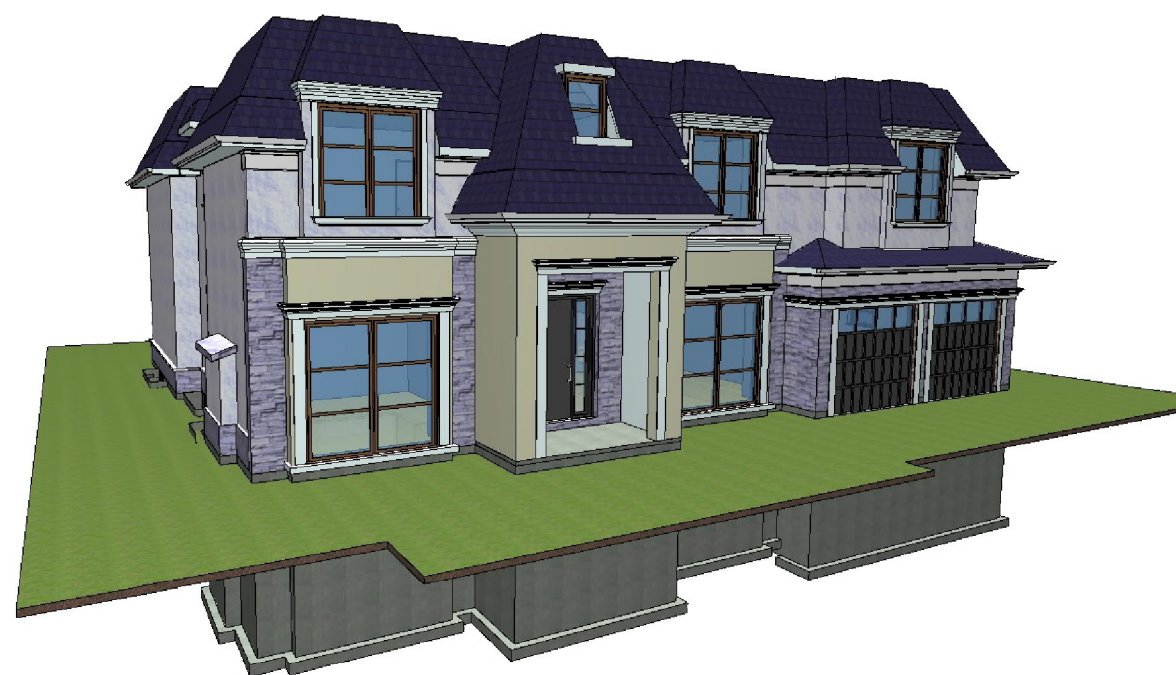
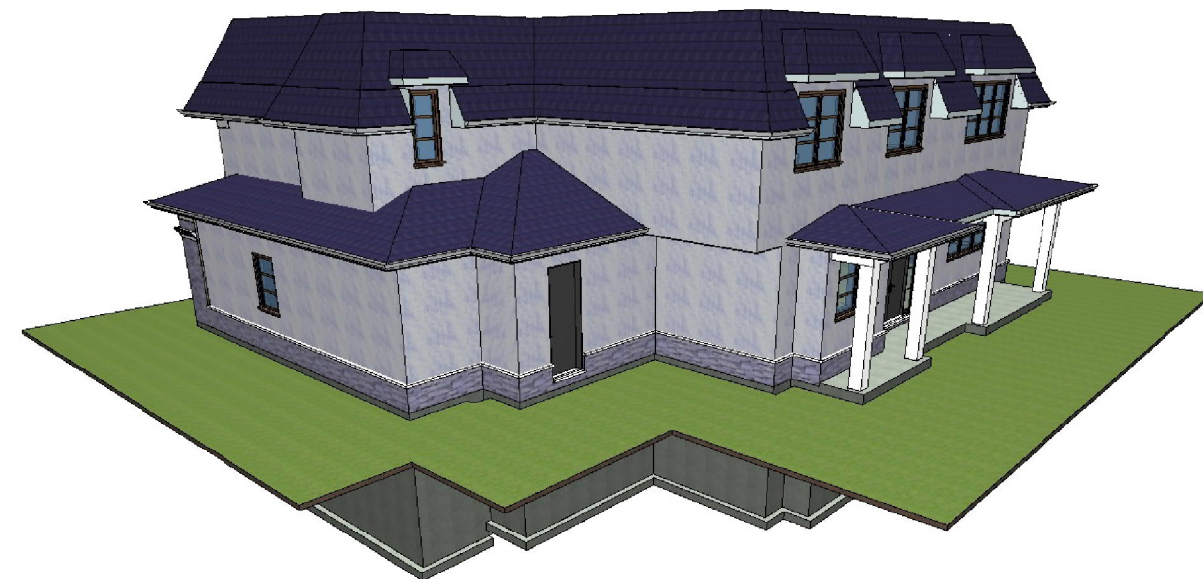
DRAWN BY: SP & MB

DATE:	2025-05-06
SCALE:	AS SHOWN
PROJECT:	24-103

SP.1

# SP.1

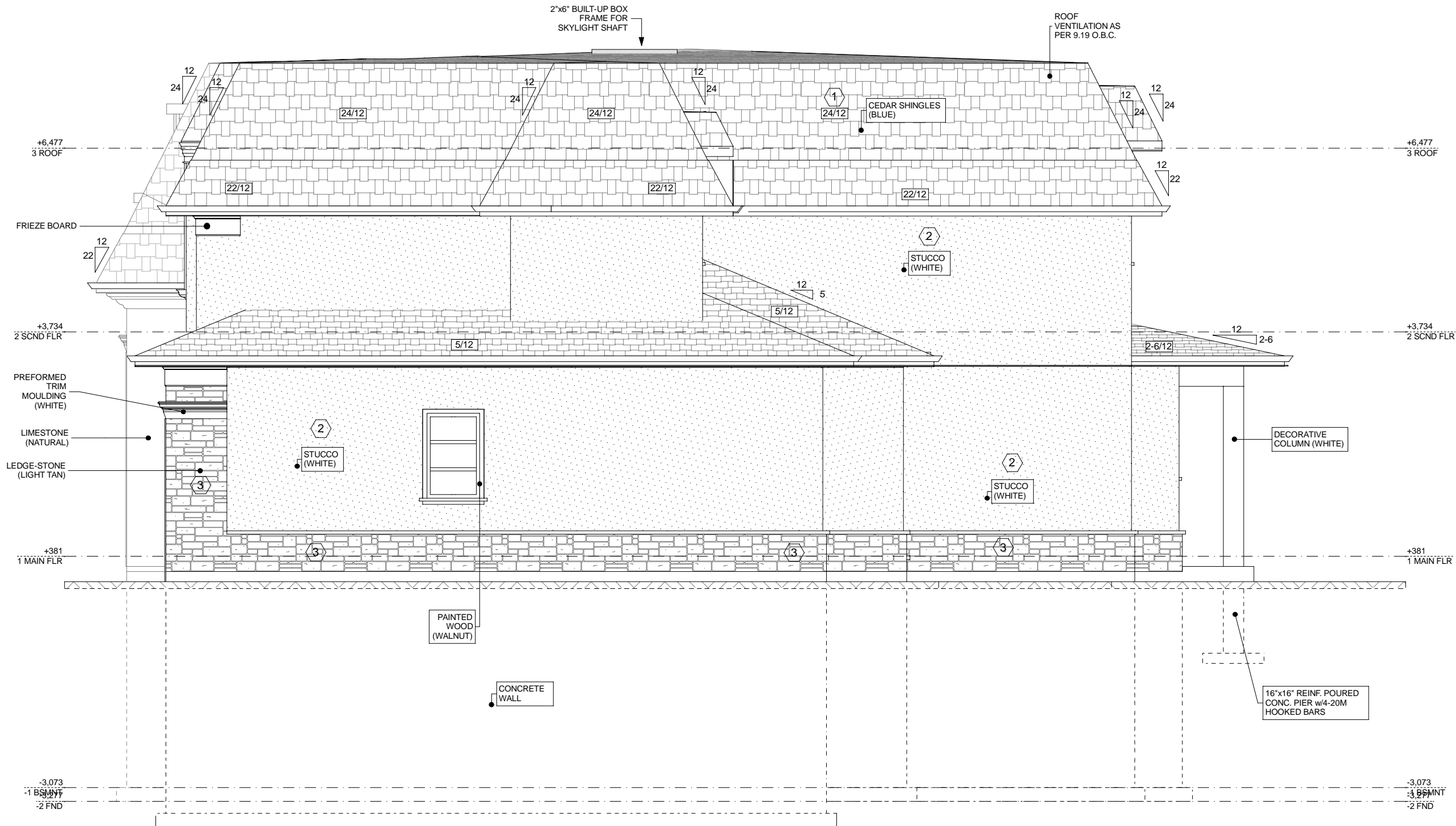








EXPOSED BUILDING FACE: 59.1334m<sup>2</sup>  
AREA OF UNPROTECTED OPENINGS: 1.2542m<sup>2</sup>  
LIMITING DISTANCE: 2.4527m  
AUO%: 2.09%(MAX:10%)



FOR COMMITTEE OF ADJUSTMENT ONLY

Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings	
REVISIONS	



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PROJECT:

**NEW RESIDENTIAL  
DWELLING**  
1321 DUNCAN  
ROAD OAKVILLE  
L6J 29P

SHEET TITLE: SCALE: 3/16" = 1'-0"

**RIGHT ELEVATION**

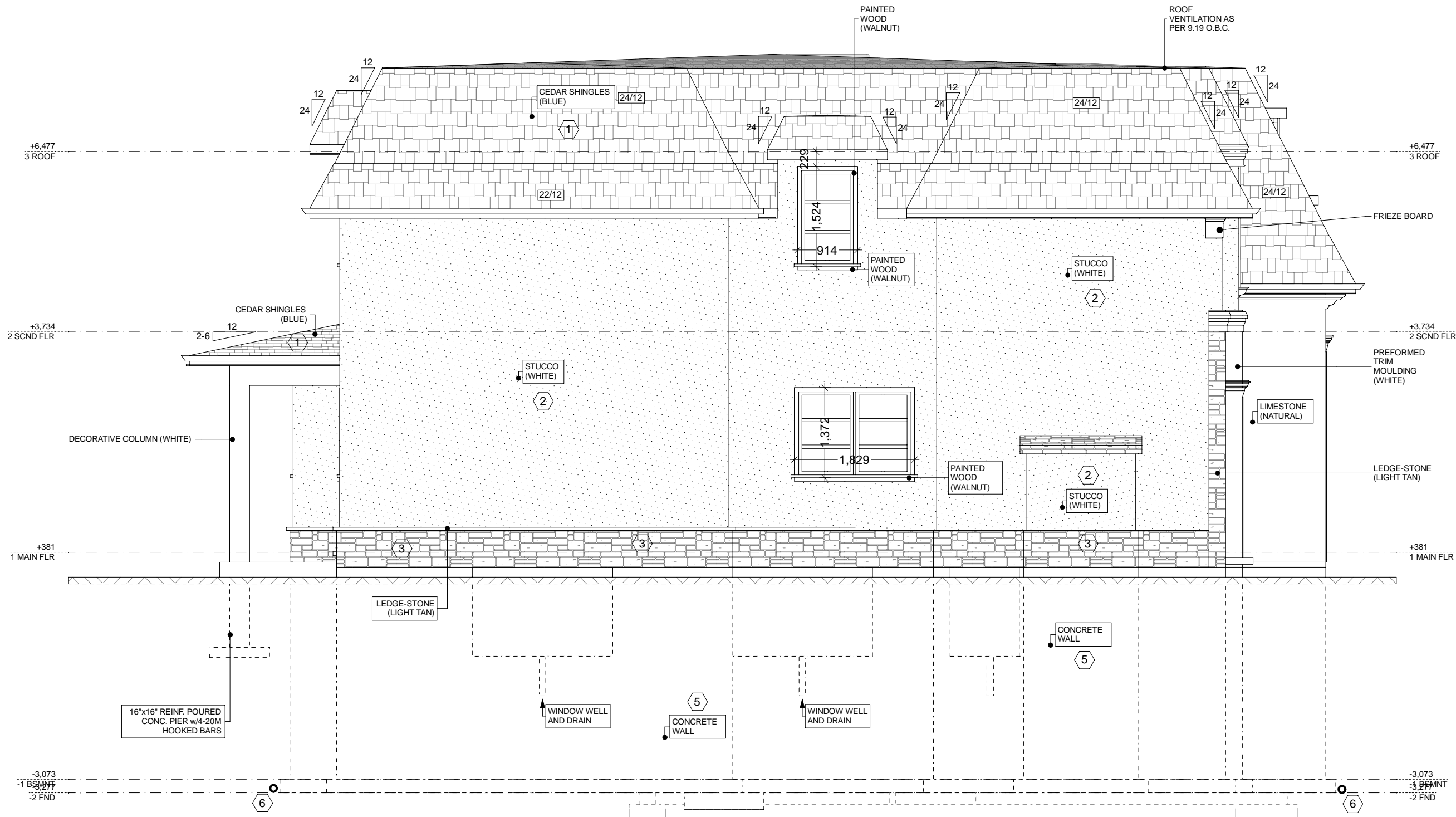
DRAWN BY: SJ & MB

DATE: 2025-05-06

SHEET 11  
OF 17

**A.11**

EXPOSED BUILDING FACE: 73.9855m<sup>2</sup>  
AREA OF UNPROTECTED OPENINGS: 3.9019m<sup>2</sup>  
LIMITING DISTANCE: 1.2m  
AUO%: 5.27%(MAX:7%)



FOR COMMITTEE OF ADJUSTMENT ONLY

Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings REVISIONS	

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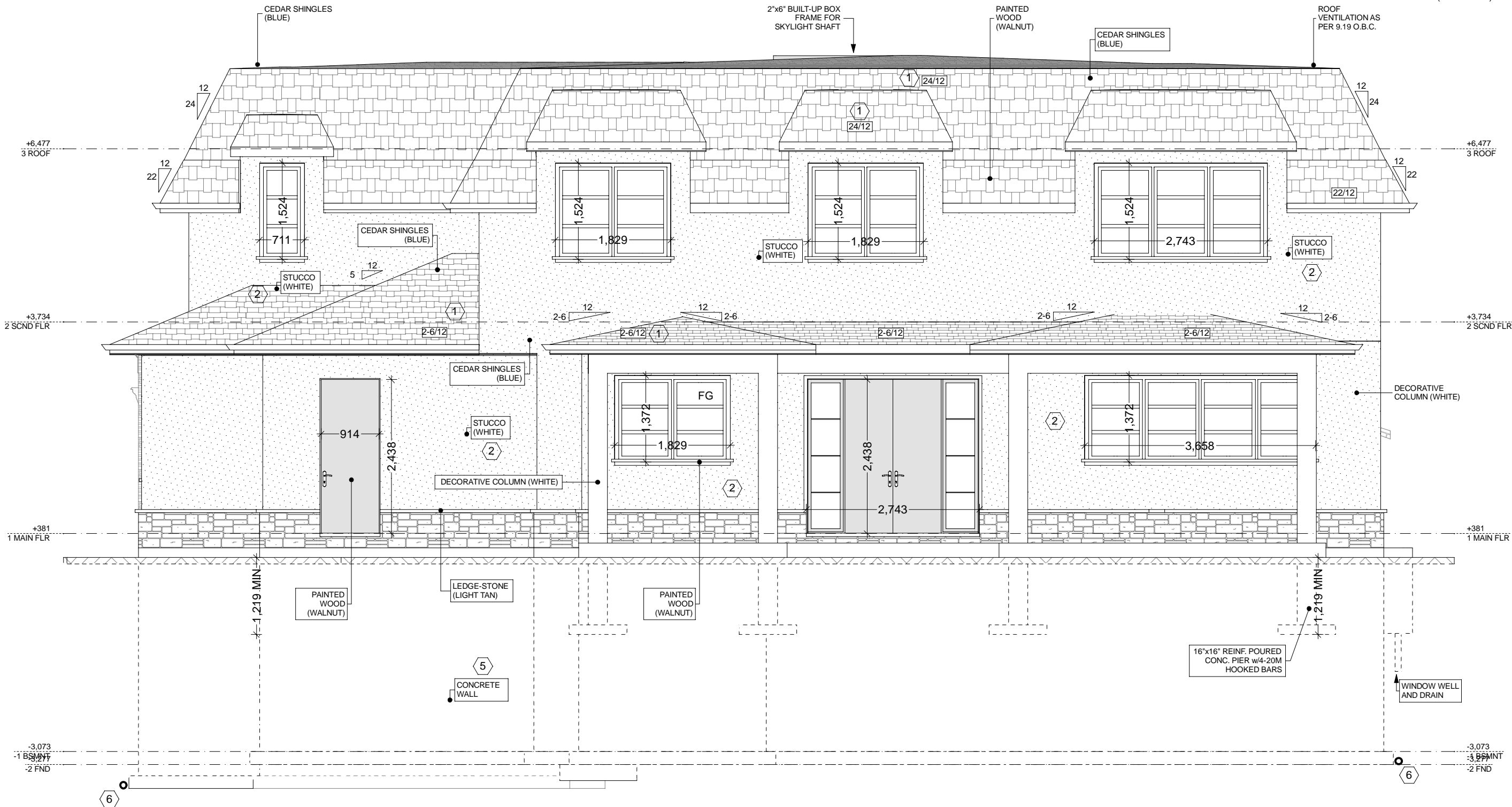
PROJECT:  
**NEW RESIDENTIAL  
DWELLING**  
1321 DUNCAN  
ROAD OAKVILLE  
L6J 29P

SHEET TITLE: SCALE: 3/16" = 1'-0"	
LEFT ELEVATION	
DRAWN BY: SJ & MB	A.10
DATE: 2025-05-06	
SHEET 10 OF 17	





EXPOSED BUILDING FACE: 98.0119m<sup>2</sup>  
AREA OF UNPROTECTED OPENINGS: 26.1987m<sup>2</sup>  
LIMITING DISTANCE: 14.2427m  
AUO%: 26.73%(MAX:100%)



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REVISIONS	

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PROJECT:  
**NEW RESIDENTIAL DWELLING**  
1321 DUNCAN ROAD OAKVILLE  
L6J 29P

SHEET TITLE: SCALE: 3/16" = 1'-0"	
REAR ELEVATION	
DRAWN BY: SJ & MB	A.9
DATE: 2025-05-06	
SHEET 9 OF 17	



EXPOSED BUILDING FACE: 119.7749m<sup>2</sup>  
AREA OF UNPROTECTED OPENINGS: 46.4515m<sup>2</sup>  
LIMITING DISTANCE: 12.0024m  
AUO%: 38.78%(MAX:55%)



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings	
REVISIONS	



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PROJECT:  
**NEW RESIDENTIAL DWELLING**  
1321 DUNCAN ROAD OAKVILLE  
L6J 29P

SHEET TITLE: SCALE: 3/16" = 1'-0"	
FRONT ELEVATION	
DRAWN BY: SJ & MB	A.8
DATE: 2025-05-06	
SHEET 8 OF 17	