

2025 April 23
Work 218: Ahead by (Almost) a Century
Committee of Adjustment Application: Minor Variance

To Whom it may concern,

We have been retained by [REDACTED] and [REDACTED] to complete full architectural services for alterations and additions to their home at 358 Pinehurst Avenue in Oakville. Prior to our involvement, [REDACTED] and [REDACTED] had been working with another office for similar services. They had completed the COA process for minor variances approved under CAV A/124/2024. The Owner's relationship with that previous practice has since ended amicably. We have restarted the design process and have generated a new design for Nick and Agnes, which involves variances that, while still fully expected to be considered minor, differ slightly from those approved under CAV A/124/2024. Our anticipated variances are outlined in the table on the following page, and are also shown in the included Proposed Site Plan.

The existing residential use is unchanged. The proposed development is the construction of front, side and rear additions to the existing one-storey detached dwelling. The existing building is already non-compliant due to the shape of the lot and the way the existing dwelling is situated. Therefore, it is not possible to achieve the proposed additions without the variances we are applying for. This proposal updates the dwelling for our clients' modern family life while continuing to maintain and preserve the established neighbourhood character.

Sincerely,

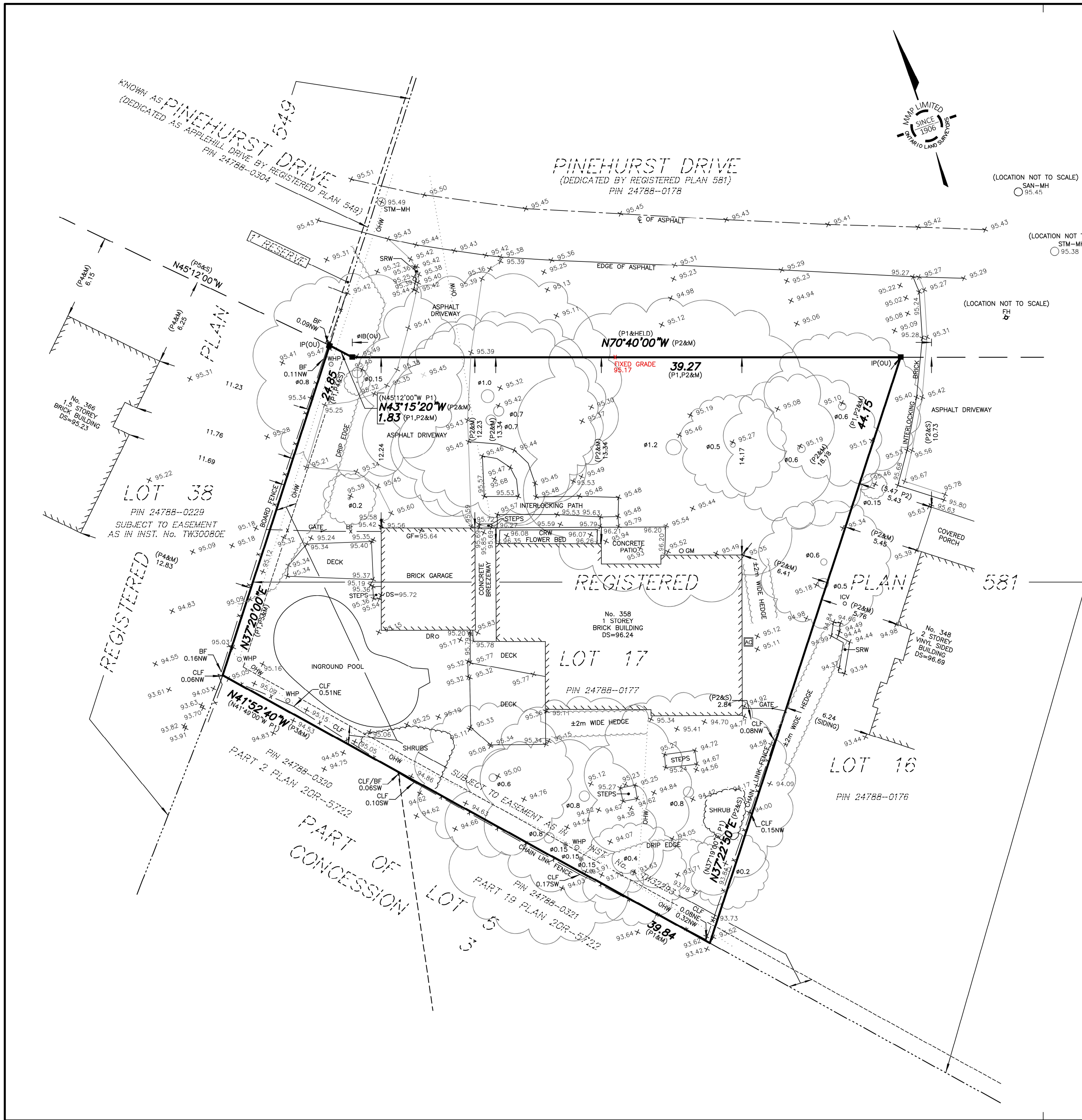


Brian O'Brian

WORKS OFFICE OF
BRIAN O'BRIAN ARCHITECT
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Under Section 45(1) of the Planning Act, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of front, side, and rear additions to the existing one-storey detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

No.	By-Law	Proposed
1	<i>Table 4.3 (Row 3)</i> The maximum encroachment into a minimum yard for canopies and eaves shall be 0.6m.	To increase the maximum encroachment into the minimum rear yard for the canopy/eaves to 1.32m
2	<i>Table 6.3.1 (Row 5, Column RL1)</i> The minimum interior side yard shall be 4.2m.	To reduce the minimum southerly interior side yard to 2.49m .
3	<i>Table 6.3.1 (Row 6, Column RL1)</i> The minimum rear yard shall be 10.5m.	To reduce the minimum rear yard to 6.45m for one canopy post only.



SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 17
REGISTERED PLAN 581
IN THE
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
SCALE 1:200

THE INTENDED PLOT SIZE OF THIS PLAN IS 590mm IN WIDTH BY 430mm IN HEIGHT
WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)
MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
© 2024

KNOWN AS MUNICIPAL No. 358 PINEHURST DRIVE

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)

LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING
BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - NOVEMBER 22, 2023

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

- SUBJECT TO EASEMENT AS IN INST. No. TW32293

ADDITIONAL REMARKS:

- REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MacKAY, MacKAY & PETERS LIMITED grants AGNES ZUKOWSKI & NICK PLASKOS ("The Client"),
their solicitor and other related parties permission to use "Original Copies" of the
Surveyor's Real Property Report in transactions involving "The Client".

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-70584



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29(3)

LEGEND

■ DENOTES A SURVEY MONUMENT FOUND

IB DENOTES IRON BAR

IP DENOTES IRON PIPE

P1 DENOTES REGISTERED PLAN 581

P2 DENOTES PLAN BY J.H. GELBLOOM SURVEYING LIMITED

DATED SEPTEMBER 7, 2017

P3 DENOTES PLAN 20R-5722

P4 DENOTES PLAN BY McCONNELL-JACKSON

DATED JUNE 5, 1968

P5 DENOTES REGISTERED PLAN 549

PIN DENOTES PROPERTY IDENTIFICATION NUMBER

(OU) DENOTES ORIGIN UNKNOWN

DS DENOTES DOOR SILL

GF DENOTES GARAGE FLOOR

GR DENOTES GRASS

ICV DENOTES IRRIGATION CONTROL VALVE

FH DENOTES FIRE HYDRANT

SAN-MH DENOTES SANITARY MANHOLE

STM-MH DENOTES STORM MANHOLE

GM DENOTES GAS METER

BF DENOTES BOARD FENCE

CLF DENOTES CHAIN LINK FENCE

CRW DENOTES CONCRETE RETAINING WALL

SRW DENOTES STONE RETAINING WALL

WHP DENOTES WOOD HYDRO POLE

OW DENOTES OVERHEAD WIRE

C DENOTES CENTRELINE

AC DENOTES AIR CONDITIONER

○ DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

✱ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES
UNLESS OTHERWISE NOTED

A ROTATION OF 00°35'00" HAS BEEN APPLIED TO BEARINGS ON P5

FIXED GRADE WAS INTERPOLATED AND ADDED BY MMP LTD. MAY 1, 2024

BENCHMARK NOTE

TOWN OF OAKVILLE BENCHMARK No. 32

ELEVATION = 96.089 METRES

SOUTHERLY EDGE OF SOUTHERLY CONCRETE GARAGE DOOR SILL AT

No. 379 MAPLE GROVE ROAD

BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PINEHURST
DRIVE AS SHOWN ON REGISTERED PLAN 581 HAVING A BEARING OF N70°40'00"W

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF DECEMBER, 2023.

JANUARY 30, 2024

DATE

ROY C. MAYO

ONTARIO LAND SURVEYOR

FOR MacKAY, MacKAY & PETERS LIMITED

E:\2024\Halton\Registered Plans\RP0581\LOT 17\23-283\23-283.dwg

MMP

MacKay, MacKay & Peters Limited

LAND SURVEYORS & MAPPERS

SINCE 1906

3380 South Service Road

Unit 101

Burlington, ON

L7N 3J5

(905) 639-1375

halton@mmplimited.com

mmplimited.com

DRAWN BY: G.S.

PARTY CHIEF: W.Y.

CHECKED BY:

PROJECT No:

23-293

ISSUES AND REVISIONS

ALMOST A CENTURY



358 PINEHURST DRIVE

OAKVILLE, ON L6J 4X5

DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

SITE SURVEY

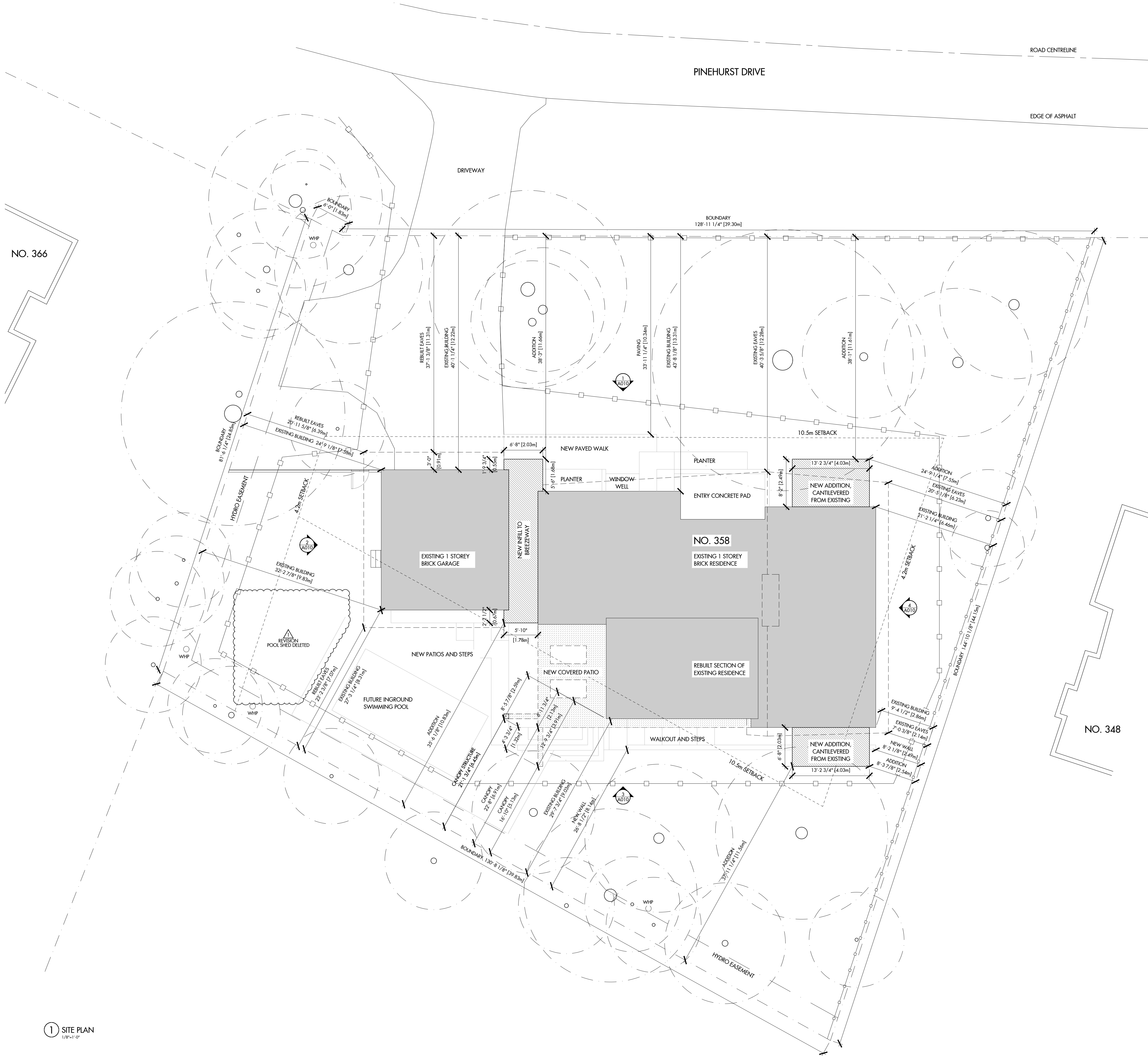
DATE 2025 APR 10

DRAWN BY AC

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A001.0

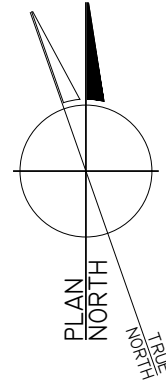


1 SITE PLAN
1/8"=1'-0"



2 LOCATION PLAN
1:2000

WORKS OFFICE OF
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OFFICE (416) 900-6862 WORKSOFFICE.COM



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ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

PROPOSED SITE PLAN

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GFA CALCULATIONS			
	EXISTING	PROPOSED MODIFICATION	PROPOSED TOTAL
FIRST FLOOR	232.39 SQM (2,501.38 SF)	32.39 SQM (348.62 SF)	264.78 SQM (2,850.00 SF)
BASEMENT	146.69 SQM (1,578.97 SF)	37.27 SQM (401.14 SF)	183.96 SQM (1,980.11 SF)
TOTAL	379.08 SQM (4,080.35 SF)	69.66 SQM (749.76 SF)	448.74 SQM (3,806.73 SF)
LOT AREA: 1,334.17 SQM (14,360.89 SF)	17.42% COVERAGE	2.43% COVERAGE	19.85% COVERAGE

RENOVATION AND ADDITION CALCULATIONS			
	EXISTING PROPOSED FOR RENOVATION	AREA OF PROPOSED ADDITION	NOTES
FIRST FLOOR	232.39 SQM (2,501.38 SF)	32.39 SQM (348.62 SF)	ACCESSORY BUILDING NOT INCLUDED IN ANY AREAS
BASEMENT	146.69 SQM (1,578.97 SF)	37.27 SQM (401.14 SF)	
TOTAL	379.08 SQM (4,080.35 SF)	69.66 SQM (749.76 SF)	

NOTES REGARDING THE GENERATION OF THIS DOCUMENT:

ALL PROPERTY LINES AND BUILDING LOCATION DIMENSIONS ARE EXTRAPOLATED FROM MAP LAND SURVEYORS & MAPPERS SURVEY DATED 30 JANUARY, 2024 AND/OR FROM INFORMATION PROVIDED BY ARBORCORP ARBORIST REPORT.

WHILE ARCHITECT HAS MADE ALL EFFORTS TO ACHIEVE ACCURACY WITH THESE DIMENSIONS, PRECISION IS NOT GUARANTEED.

BUILDING HATCH LEGEND

	EXISTING BUILDING
	NEWLY PROPOSED ADDITIONS
	NEWLY PROPOSED ADDITION CANOPY

TREE PROTECTION LEGEND

	TRUNK LOCATION
	MPZ CIRCLES (TREE PROTECTION ZONE)
	TREE PROTECTION BARRIERS / FENCING
	SILTATION FENCING

A200.1



① NORTH ELEVATION TO ROAD



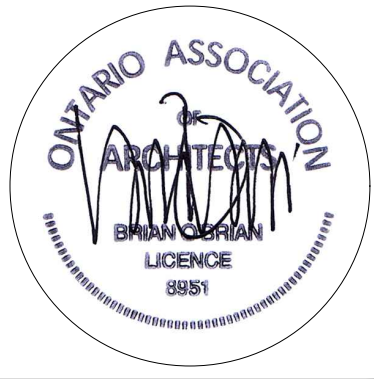
② NORTHWEST CORNER



③ SOUTH ELEVATION



④ SOUTHWEST CORNER



ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

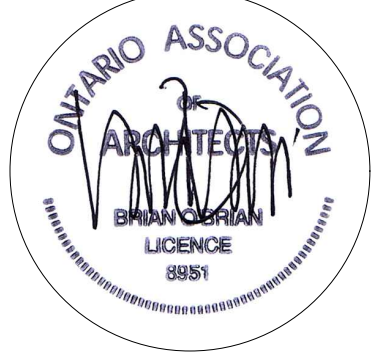
COMMITTEE OF
ADJUSTMENT

EXISTING
PHOTOGRAPHS

DATE 2025 APR 10
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ISSUES AND REVISIONS
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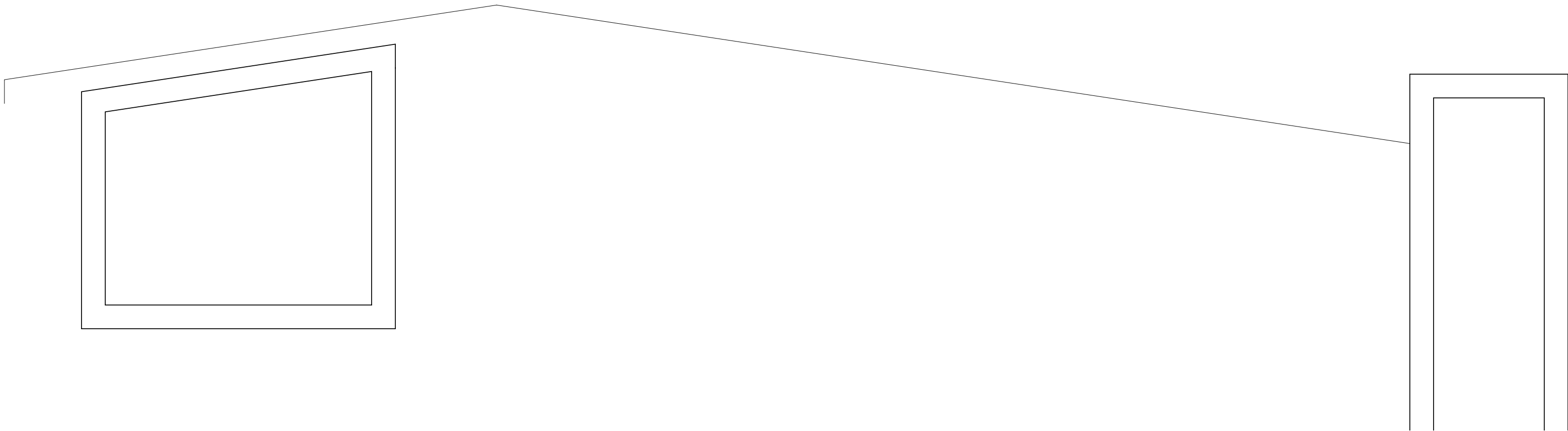
358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
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EXISTING AERIAL
PHOTOGRAPH

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AHEAD BY (ALMOST) A CENTURY

10 APRIL, 2025
ADDITIONS TO THE HOUSE AT
358 PINEHURST AVENUE
OAKVILLE, ON, L6J 4X5

LIST OF DRAWINGS

ARCHITECTURAL	
A000	COVER SHEET
A001	SITE SURVEY
A002	EXISTING PHOTOGRAPHS
A003	EXISTING AERIAL PHOTOGRAPH
A100	EXISTING SITE PLAN
A101	EXISTING FIRST FLOOR PLAN
A102	EXISTING BASEMENT PLAN
A103	EXISTING ROOF PLAN
A104	EXISTING ELEVATIONS
A200	PROPOSED SITE PLAN
A201	PROPOSED FIRST FLOOR PLAN
A202	PROPOSED BASEMENT PLAN
A203	PROPOSED ROOF PLAN
A204	PROPOSED ELEVATIONS
A205	PROPOSED 3D MODEL VIEWS



ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

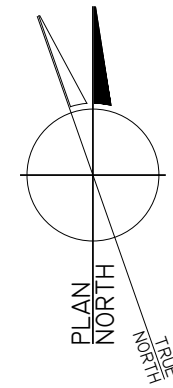
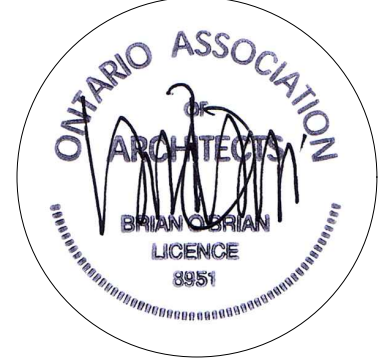
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COVER SHEET

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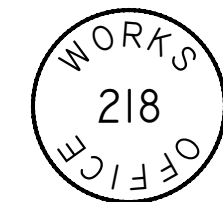
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ISSUES AND REVISIONS

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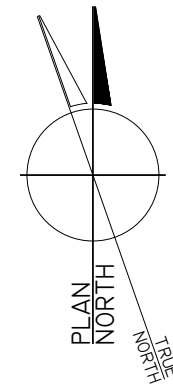
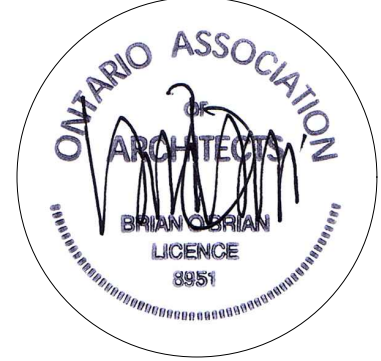
358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

EXISTING ROOF PLAN

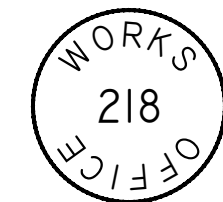
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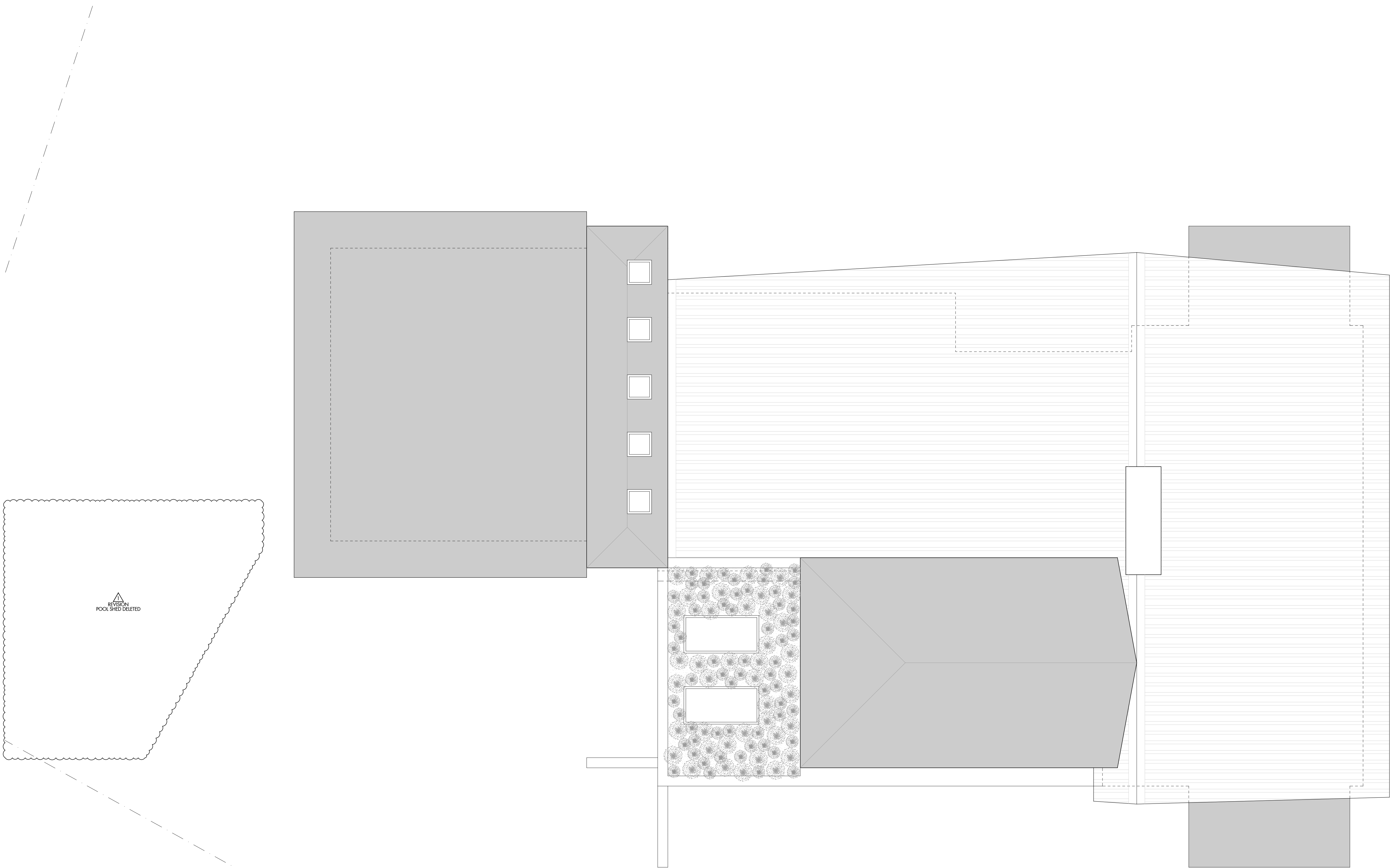
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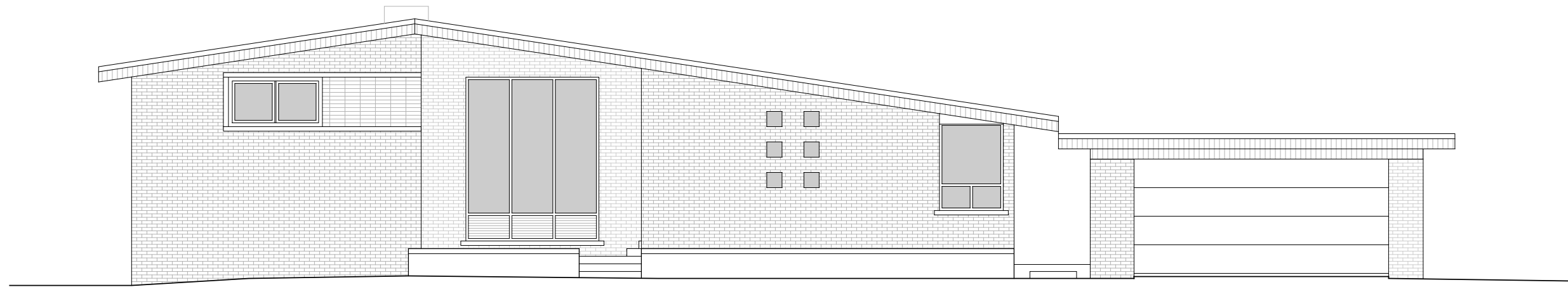
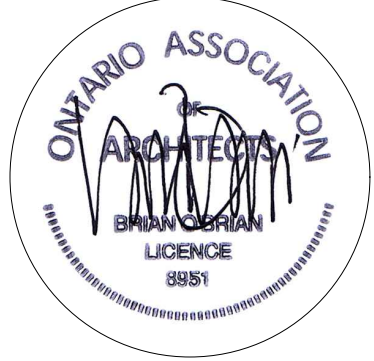
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PROPOSED
ROOF PLAN

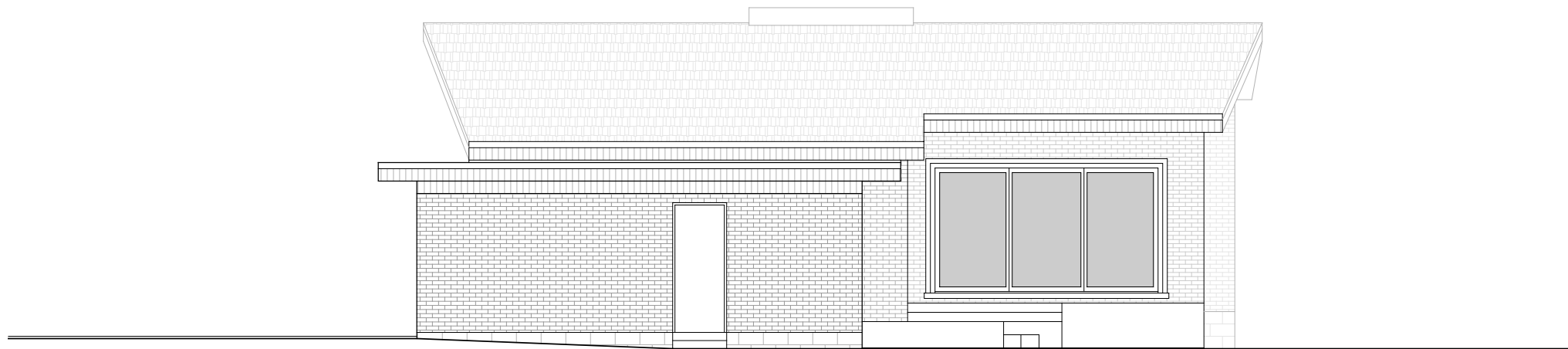
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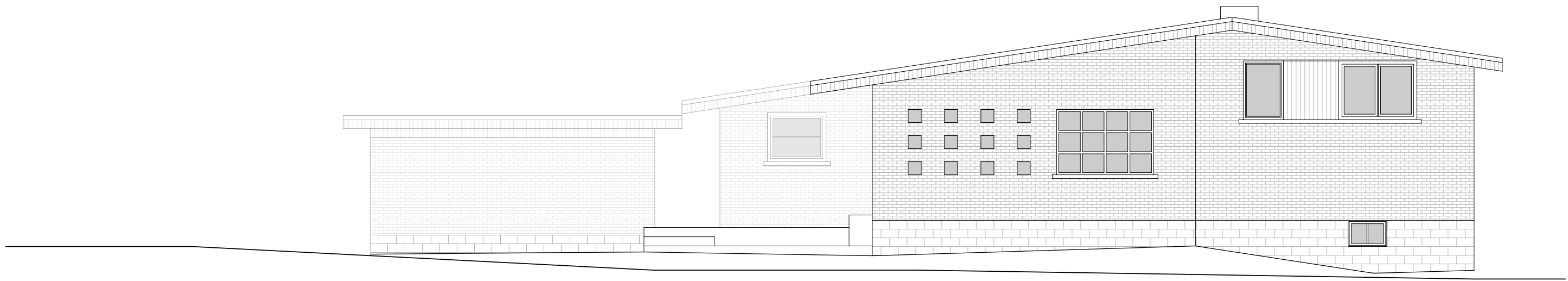




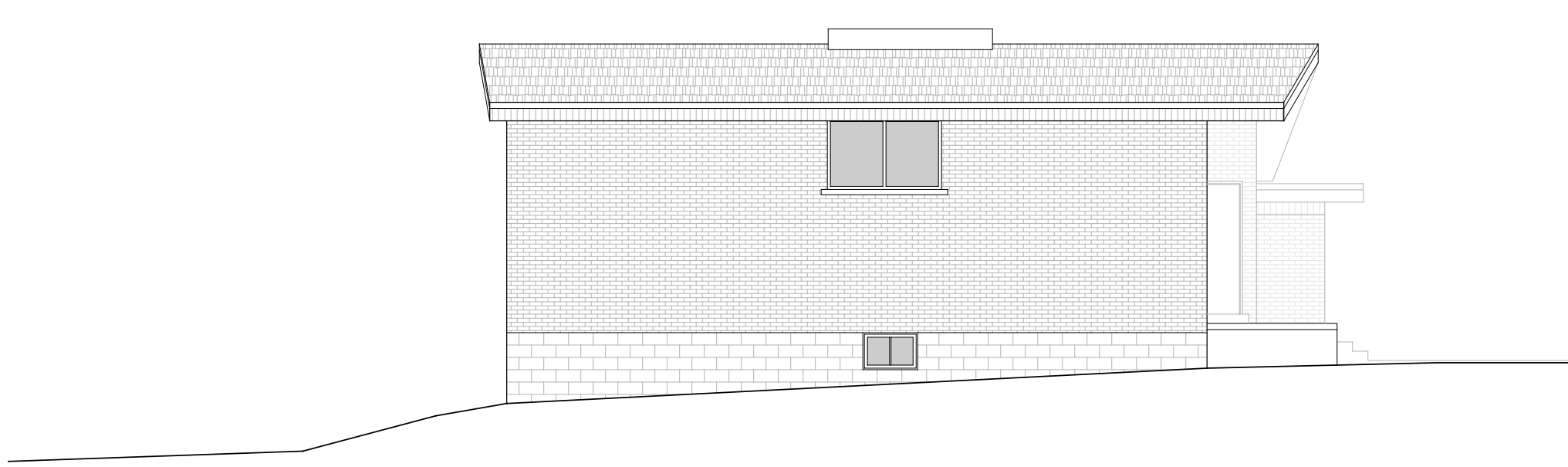
① NORTH ELEVATION
1/8"=1'-0"



② WEST ELEVATION
1/8"=1'-0"



③ SOUTH ELEVATION
1/8"=1'-0"



④ EAST ELEVATION
1/8"=1'-0"

ISSUES AND REVISIONS
ALMOST A CENTURY



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OAKVILLE, ON L6J 4X5
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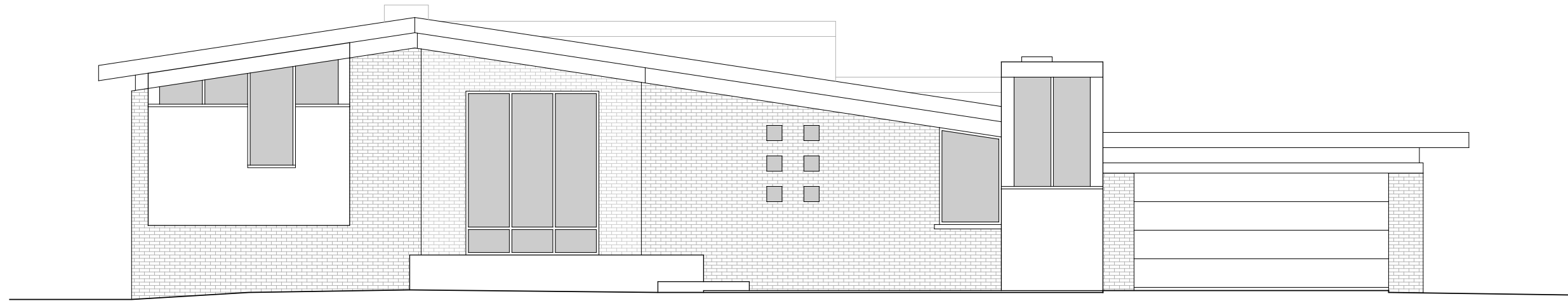
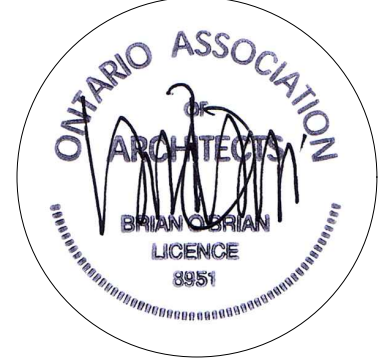
COMMITTEE OF
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EXISTING ELEVATIONS

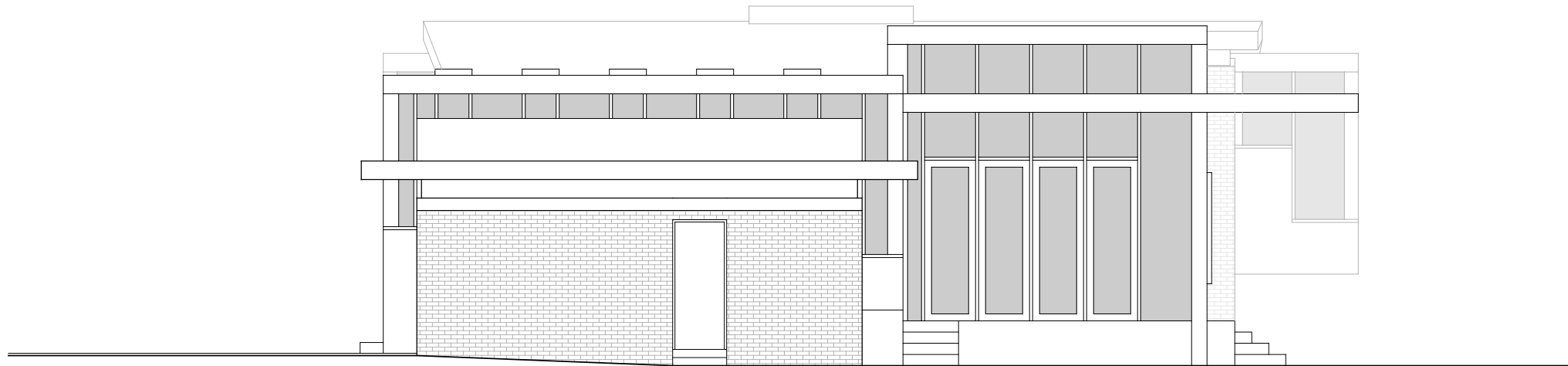
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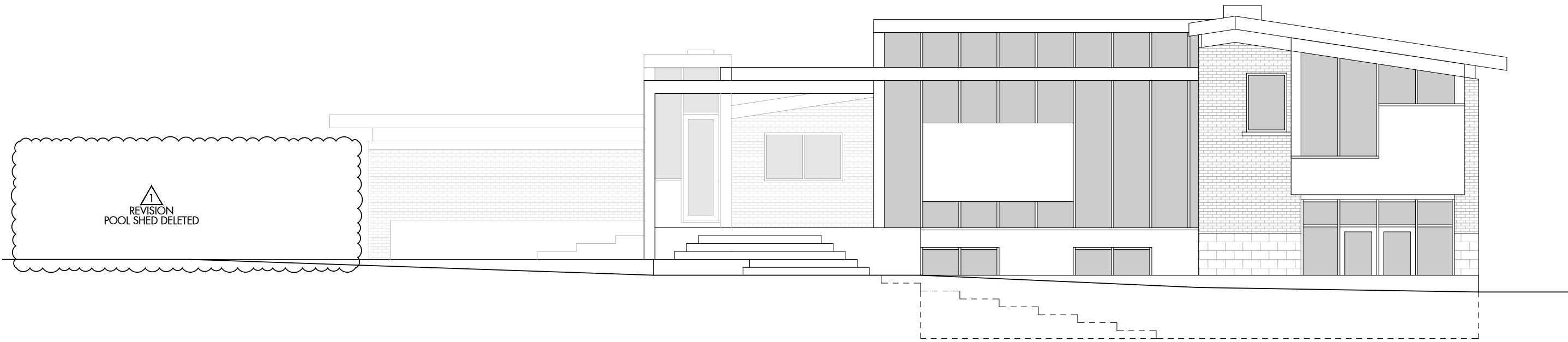
A104.0



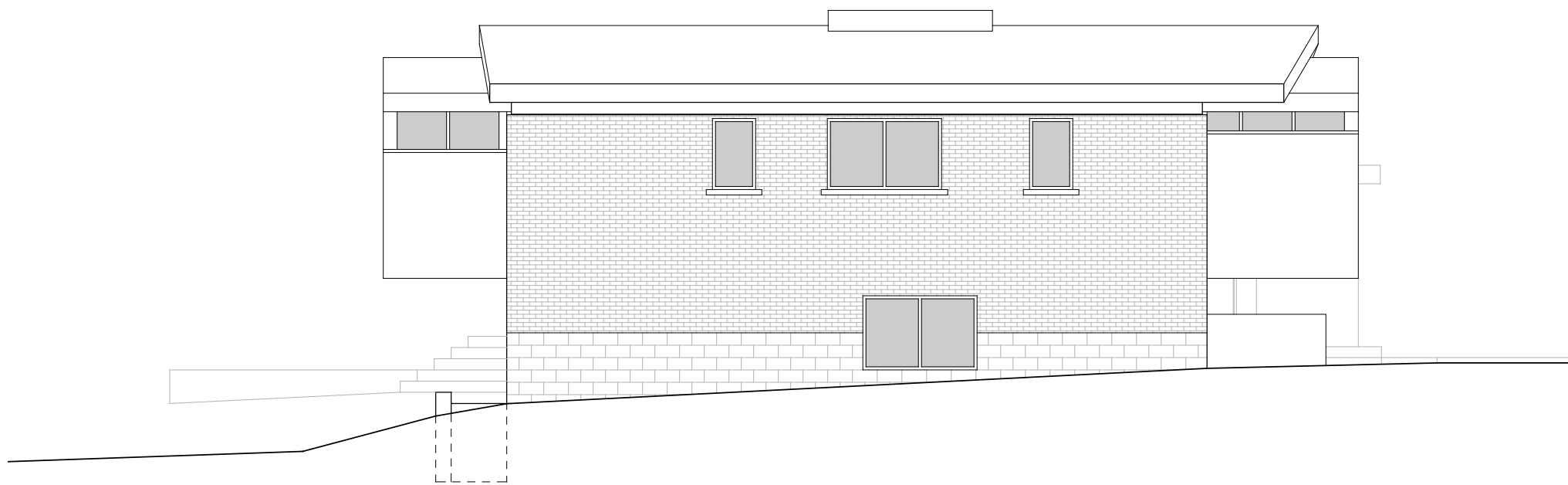
① NORTH ELEVATION
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② WEST ELEVATION
1/8"=1'-0"

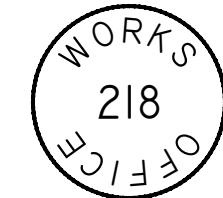


③ SOUTH ELEVATION
1/8"=1'-0"



④ EAST ELEVATION
1/8"=1'-0"

ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
DRAWING STATUS

COMMITTEE OF
ADJUSTMENT

PROPOSED
ELEVATIONS

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A204.1



① NORTHEAST CORNER



② NORTH (STREET) ELEVATION



③ WEST ELEVATION



④ AERIAL VIEW



⑤ SOUTH ELEVATION



① SOUTHWEST CORNER



ISSUES AND REVISIONS
ALMOST A CENTURY



358 PINEHURST DRIVE
OAKVILLE, ON L6J 4X5
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PROPOSED
3D MODEL VIEWS

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A205.0