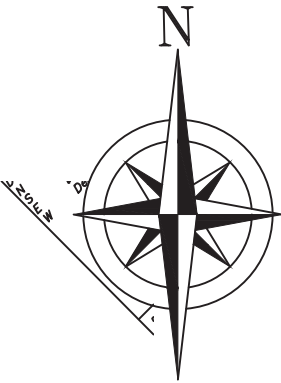


NOTE:  
EXISTING SIDE YARD SETBACK DOES NOT  
COMPLY WITH THE MINIMUM SETBACK  
OUTLINED IN THE BY-LAW BUT IS LEGAL  
NON-CONFORMING AND CAN REMAIN AS IS.



SITE STATISTICS – ZONE RL1–0

- 1. LOT AREA = 1,903.80 m2 (1,393.5 m2 Minimum).
- 2. LOT FRONTAGE = 26m (30.50m Minimum).
- 3. AREAS FOR COVERAGE =349.96
  - (A) MAIN DWELLING (Includes Garage)300.80
  - (B) FRONT PORCH =6.03
  - (C) REAR DECK =43.13
- 4. LOT COVERAGE = 18.38% (25.0% Maximum).
- 5. ESTABLISHED GRADE =91.18m.
- 6. BUILDING HEIGHTS:
  - ROOF RIDGE = 8.99m (9.00m Maximum);
- 7. SETBACKS:
  - FRONT =10.77m (10.5m Minimum)
  - REAR =19.05m (10.50m Minimum);
  - SIDES: 4.80m & 2.75m (4.20m Min. Each Side);
- 8. FLOOR AREA = 435.41m2.
- 9. FA/LOT RATIO = 22.87% (29% Maximum).
- 10. DWELLING DEPTH =18.51

CONSERVATION HALTON CALCULATIONS:  
EXISTING HABITABLE AREA==5040.90sq.ft (468.31 m2)  
PROPOSED HABITABLE AREA==7291.97sq.ft (677.44 m2)  
INCREASE IN HABITABLE AREA==2251.07sq.ft (209.13 m2)=41.96%

VARIANCE REQUESTED

- 1. SIDE YARD SETBACK  
PERMITTED=4.2m  
PROPOSED=2.75m  
VARIANCE=1.45m

ROCK CLIFF  
CUSTOM HOMES

LUXURY CUSTOM HOMES  
110 DUNN STREET, OAKVILLE  
905-618-0007

PROJECT NAME AND ADDRESS:

RESIDENCE AT  
296 Alsco Cres  
OAKVILLE

DRAWINGS TITLE

PROPOSED  
SITE PLAN

DATE  
MAR 4, 2025

SCALE  
NOTED

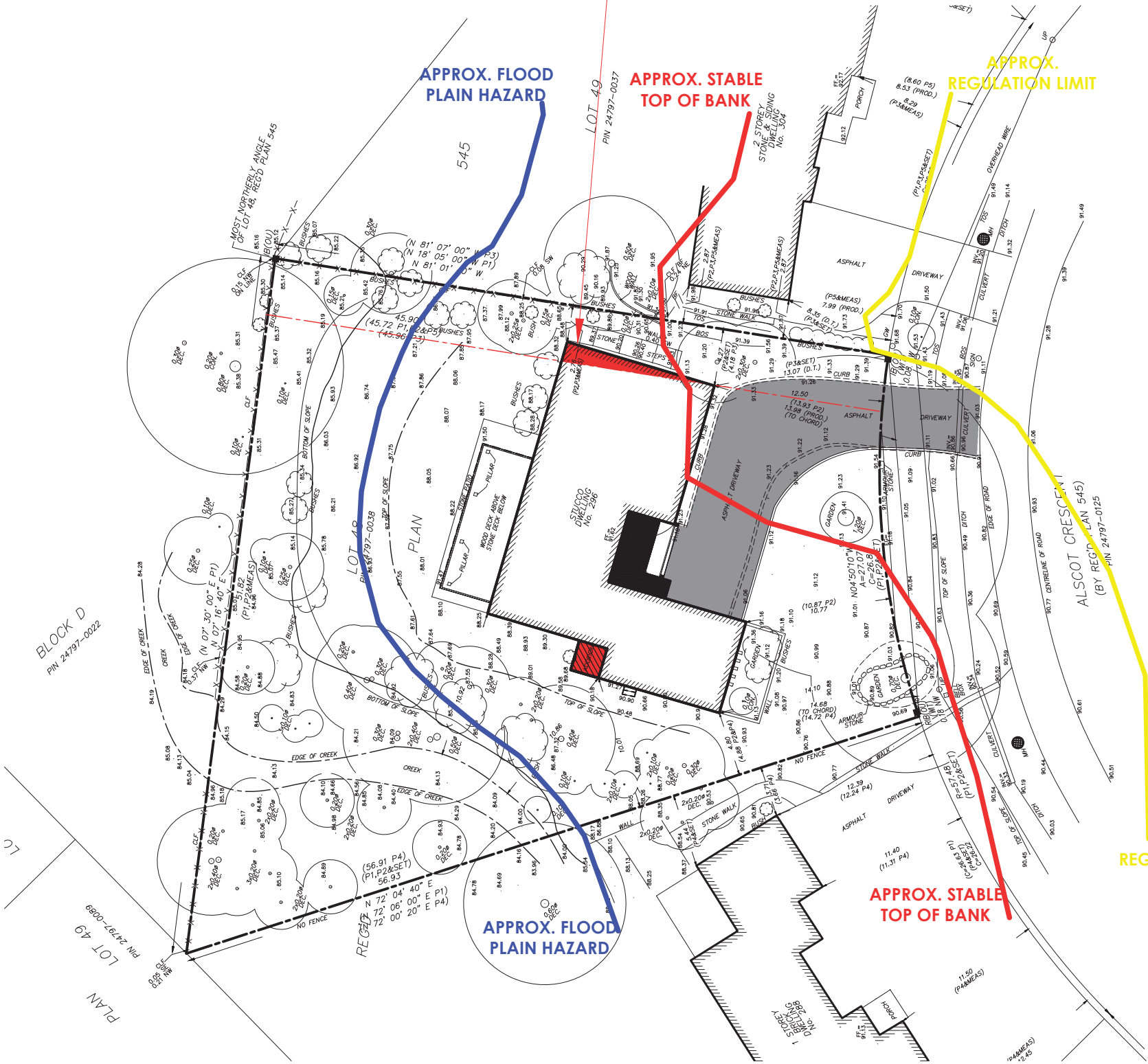
SHEET NO.

A100

1  
A100

PROPOSED SITE PLAN

1/32"=1'-0"







**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
PLAN OF SURVEY AND TOPOGRAPHY OF  
**LOT 48**  
**REGISTERED PLAN 545**  
**TOWN OF OAKVILLE**  
REGIONAL MUNICIPALITY OF HALTON  
0 5 10 15 20 Metres  
SCALE 1 : 200  
J. H. Gelbloom Surveying Limited  
Ontario Land Surveyor 2 0 2 4

©COPYRIGHT 2024 J. H. Gelbloom Surveying Limited.  
The reproduction, alteration, or use of this REPORT in whole or in part, without the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
**REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY**  
None

**NOTABLES**  
Note the location of the fences around the Subject Property.  
Note the location of the Wood wall along the Northerly Property Line of Subject Property.

**LEGEND**  
■ Survey Monument Found  
□ Survey Monument Set  
SIB Standard Iron Bar  
IB Iron Bar  
RIB Round Iron Bar  
(OU) Origin Unknown  
P1 Registered Plan 545  
P2 Plan of Survey by Sewell and Sewell, O.L.S., dated June 22, 1973  
P3 Plan of Survey by Young & Young Surveying, O.L.S., dated February 22, 1994  
P4 Plan of Survey by McConnell and Maughan, O.L.S., dated October 21, 1974  
P5 Plan of Survey by Sewell and Sewell, O.L.S., dated August 11, 1972  
P6 Plan of Survey by Rabideau & Czerwinski, O.L.S., dated June 26, 2000  
FF Finished Floor  
CLF Chain Link Fence  
BF Board Fence  
UP Utility Pole  
DEC. Deciduous  
CON. Coniferous  
PROD. Denotes Production Distance  
TOS Top of Slope  
BOS Bottom of Slope  
MH Maintenance Hole  
UP Utility Pole  
EG Established Grad  
GW Guy Wire  
CSP Corrugated Steel Pipe  
DT Direct Tie  
N Denotes North  
S Denotes South  
E Denotes East  
W Denotes West

**BENCHMARK**  
Elevations are Referred to the Geodetic Surveys of Canada Benchmark No. 16, having an Elevation of 79.980 m. (CGVD28, 1978 Adjustment)

**NOTE**  
This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
All building lines are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Decoral Capitol Inc. and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
Bearings are astronomic, and are referred to the Westerly limit of Alscot Crescent as shown on Reg'd Plan 545, having a Bearing of N44°46'00"W.

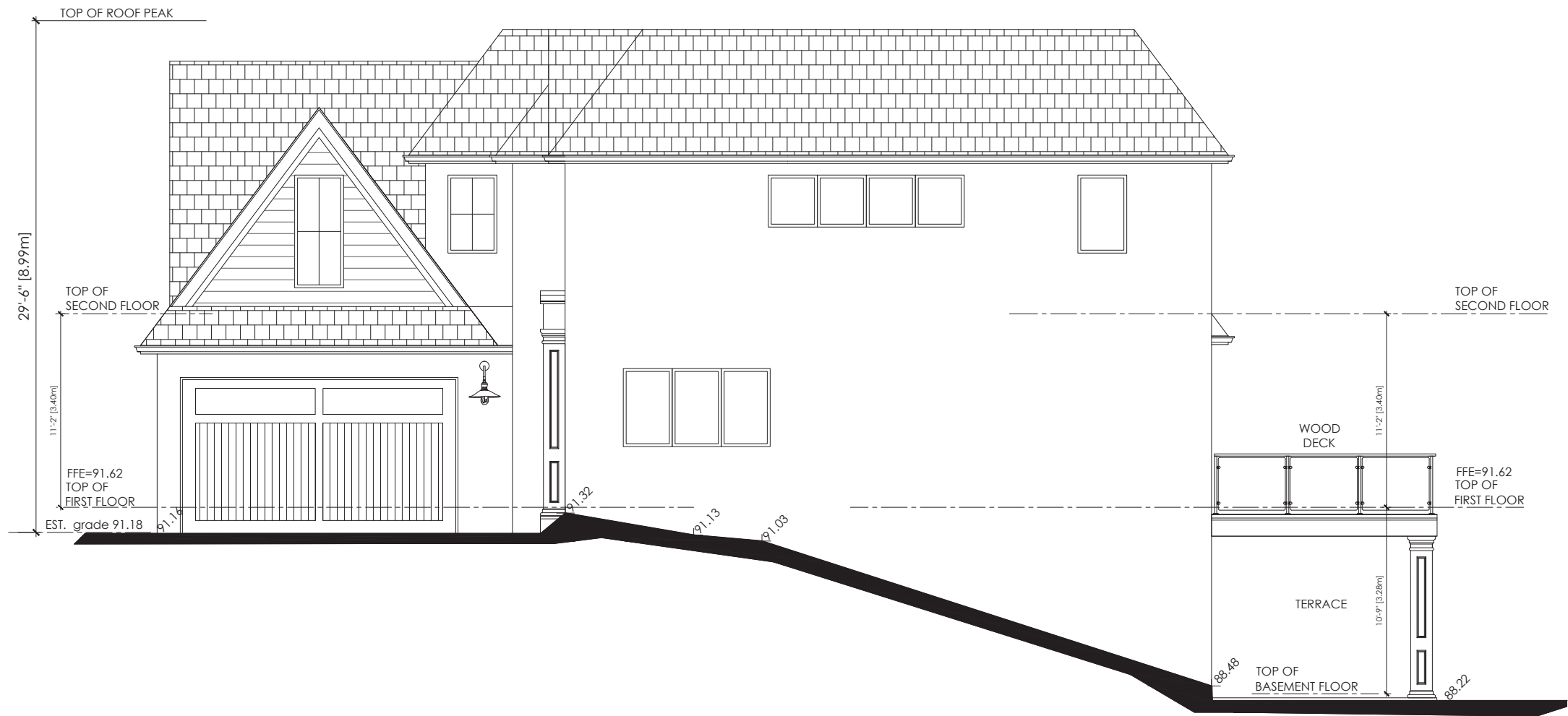
**SURVEYOR'S CERTIFICATE**  
I certify that:  
1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
2: The survey was completed on the 12th day of August, 2024.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-85954  
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1026, Section 29(3).

September 11, 2024  
Date  
Andrew Musil, O.L.S.  
Party Chief: Y.S. Drawn By: M.D. Checked By: A.M. Project: 24-137  
J. H. Gelbloom Surveying Limited  
Ontario Land Surveyor  
478 Morden Road, Unit 102, Oakville, Ont., L6K 3W4  
office@jhgsurveying.ca  
Phone: (905) 338-8210







PROPOSED NORTH ELEVATION

1/8"=1'-0"

1  
A201

ROCK CLIFF  
CUSTOM HOMES

LUXURY CUSTOM HOMES  
110 DUNN STREET, OAKVILLE  
905-618-0007

PROJECT NAME AND ADDRESS:

RESIDENCE AT  
296 Alscot Cres  
OAKVILLE

DRAWINGS TITLE  
PROPOSED  
ELEVATION

DATE  
MAR 4, 2025

SCALE  
NOTED

SHEET NO.

A201



ROCK CLIFF  
CUSTOM HOMES

LUXURY CUSTOM HOMES  
110 DUNN STREET, OAKVILLE  
905-618-0007

PROJECT NAME AND ADDRESS:

RESIDENCE AT  
296 Alscot Cres  
OAKVILLE

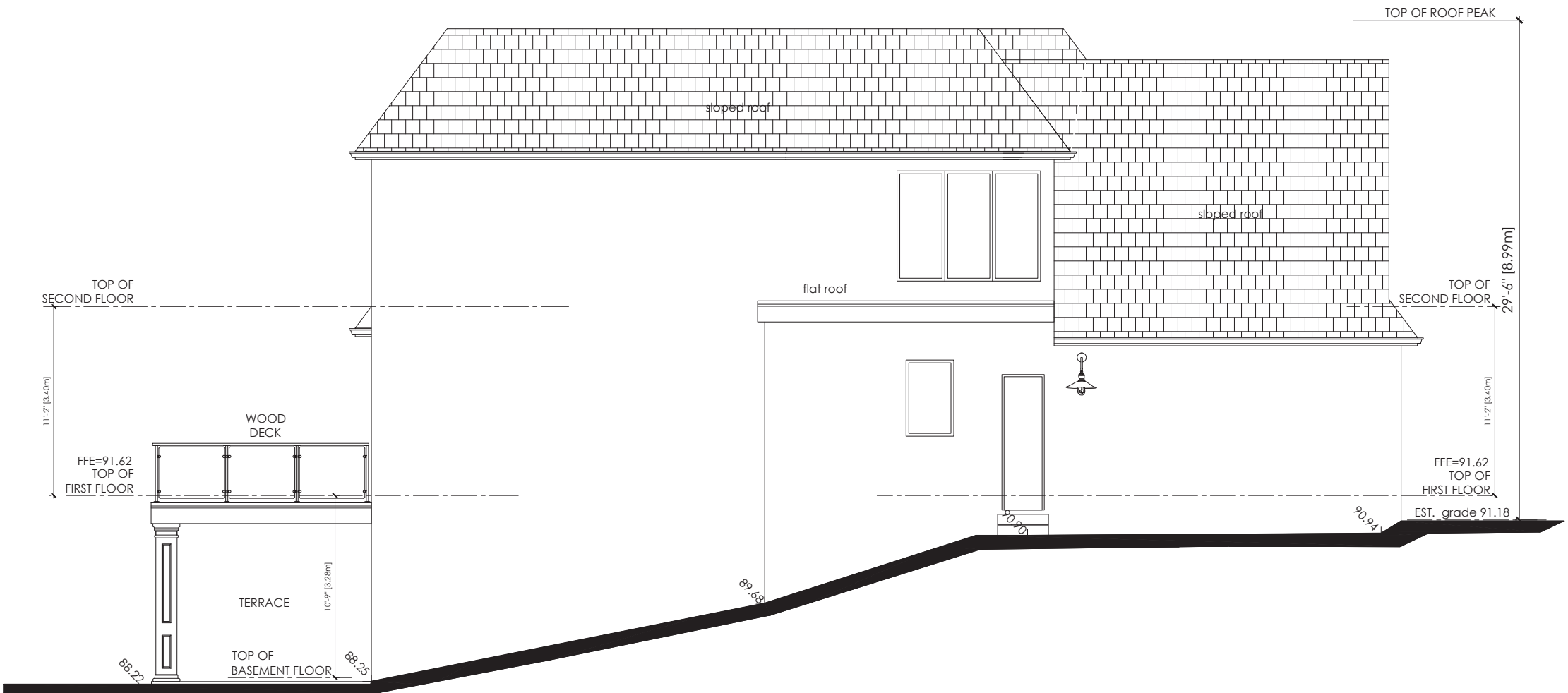
DRAWINGS TITLE  
PROPOSED  
ELEVATION

DATE  
MAR 4, 2025

SCALE  
NOTED

SHEET NO.

A202



PROPOSED SOUTH ELEVATION

1/8"=1'-0"

1  
A203

ROCK CLIFF  
CUSTOM HOMES

LUXURY CUSTOM HOMES  
110 DUNN STREET, OAKVILLE  
905-618-0007

PROJECT NAME AND ADDRESS:

RESIDENCE AT  
296 Alscot Cres  
OAKVILLE

DRAWINGS TITLE PROPOSED ELEVATION	SHEET NO.  <b>A203</b>
DATE MAR 4, 2025	
SCALE NOTED	

## **TOWN OF OAKVILLE**

### **SCHEDULE A     296 ALSCOT CRESCENT**

#### **VARIANCE REQUESTS AND REASONS FOR VARIANCES**

##### **SIDE YARD SETBACK**

The existing house on the property does not conform to the current side yard setbacks required of 4.2m whereas it only has a setback of 2.75 m.

The owner is doing substantive renovations inside and is also adding a second floor. The best manner to add this floor is to use the existing structural exterior side wall and thus the new addition of the second floor will not meet the current side yard setback of 4.2M

We thus believe this request is certainly consistent with the Op and the zoning bylaw and given that none of the addition exceeds the width or height or depth of the bylaw that the proposed single variance meets all four tests and would seek the approval of the committee of adjustment for this application.

Yours Truly

William R Hicks

B Arch, OAA, MRAIC