GENERAL SITE PLAN NOTES

- ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING, PLACED AT THE DRIP LINE OF THE TREES, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (i.e. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE COB BOULEVARD AREA. SHOULD THE INSTALLATION OF BELOW GRADE SERVICES REQUIRE HOARDING TO BE REMOVED, OPEN SPACE STAFF(AT: open.space@brampton.ca) ARE TO BE CONTACTED PRIOR TO THE
- COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION. THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATION NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
- THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED. GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60M (2.00FT) IN HEIGHT OR ANY
- RETAINING WALL LOCATED ON A PROPERTY LINES SHOWN ON THE SITE PLAN AND GRADING THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE. AT THE ENTRANCE TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH
- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR THE MUNICIPAL SIDEWALK
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION
- ALL DAMAGED LANDSCAPED AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD FOLLOWING CONSTRUCTION ACTIVITIES.
- ANY COB BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH 70MM CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE COB AT THE OWNER'S EXPENSE. ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S
- 16. THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY

SITE PLAN LANDSCAPE NOTES

- THE CONTRACTOR MUST NOTIFY THE OPEN SPACE DEVELOPMENT SECTION OF THE CITY OF BRAMPTON PRIOR TO COMMENCEMENT OF ANY PLANTING THE LOCATIONS OF ALL THE TREES ON STREET FRONTAGES MUST BE APPROVED BY THE OPEN SPACE DEVELOPMENT SECTION OF THE CITY OF BRAMPTON PRIOR TO THEIR
- INSTALLATION THE OWNER IS REQUIRED, UPON COMPLETION OF ALL LANDSCAPE WORKS, TO SUBMIT AN ACCEPTANCE CERTIFICATE PREPARED BY A CERTIFIED AND REGISTERED OALA LANDSCAPE ARCHITECT TO THE OPEN SPACE DEVELOPMENT SECTION AN TO REQUEST AN INSPECTION BY THE OPEN SPACE SECTION ALL LANDSCAPE WORKS WILL BE GUARANTEED FOR ONE YEAR FOLLOWING INSPECTION.

GENERAL NOTES

STRUCTURE IS 1.2M.

NOT DISCHARGE ACROSS WALKWAYS.

AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS

SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%

SIDEWALK TO BE REMOVED AND REPLACED AS PER 0.P.S.D.310.010

THROUGH THE DRIVEWAY, THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING

DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL

LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 6%.

GRADE CHANGES IN EXCESS OF 1.0M ARE TO BE ACCOMPLISHED BY USE OF RETAINING WALL.

GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY WHERE NEW

GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT

DEVELOPMENTS ABUT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE

WHEREVER POSSIBLE, A 0.6M SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.

ENDORSED BY THE CITY OF OAKVILLE PLANNING DESIGN AND DEVELOPMENT DEPARTMENT,

ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A

15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO

16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD

DRAWINGS AND SPECIFICATIONS OF THE CITY OF OAKVILLE AND THE ONTARIO PROVINCIAL

LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF

THE CENTERLINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOP OF 2% AND A

IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A

WRITTEN APPROVAL FROM THE OWNER OF THE PROPERTY SHALL BE OBTAINED AND

ENGINEERING AND DEVELOPMENT SERVICES DIVISION, CITY HALL, 3RD FLOOR.

BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS.

THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELED PORTION OF THE ROAD

DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.

ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE FILL.

ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.

STANDARDS AND SPECIFICATIONS.

RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1.

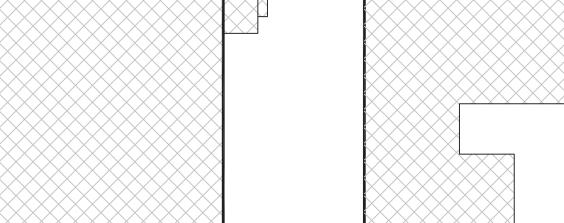
ALL DISTURBED AREAS MUST BE SEEDED OR SODDED. TOPSOIL TO BE AT LEAST 100MM.

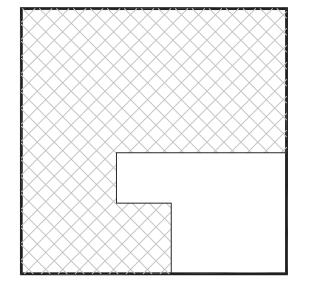
THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY

- PLANT MATERIAL, WHICH IS NOT IN HEALTHY GROWING CONDITION ONE YEAR AFTER INSPECTION, SHALL BE REPLACED TO THE SATISFACTION OF THE CITY OF BRAMPTON WITH AN ADDITIONAL ONE-YEAR MAINTENANCE GUARANTEE PERIOD. SUPPLY AND PLANT ALL REPLACEMENTS IN STRICT ACCORDANCE WITH PLANS AND SPECIFICATIONS. SOD THAT IS DAMAGED OR MISSING ON THE PUBLIC BOULEVARD IS TO BE REPAIRED/INSTALLED AT THE OWNER'S EXPENSE. ANY CHAIN LINK FENCING AND COMPONENTS THAT ARE INSTALLED SUBSEQUENT TO SITE
- PLAN APPROVAL SHALL HAVE BLACK GLOSS ENAMEL FINISH BY POWDER COATING APPLICATION. PRIOR TO APPLICATION OF FINISH, TREAT WITH PARKER BONDERITE AND CHLOROTHENE SOLVENT APPLIED IN A THICKNESS OF 4-5 MILS BY ELECTROSTATIC COAT AND OVEN CURED FOR A SMOOTH AND EVEN SURFACE. ALL CHAIN LINK FABRIC ALSO TO
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OS ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TREE PITS AND SHRUB BEDS. ALL T-BARS TO BE REMOVED AT THE CONCLUSION OF THE WARRANTY PERIOD, UNLESS
- OTHERWISE SPECIFIED BY THE OPEN SPACE SECTION OF THE CITY OF OAKVILLE. ANY TRANSFORMER INSTALLED SUBSEQUENT TO THE SITE PLAN APPROVAL SHALL BE SCREENED WITH PLANT MATERIAL TO THE SATISFACTION OF THE CITY OF OAKVILLE AND
- MEET ALL REQUIREMENTS OF HYDRO ONE OAKVILLE PLANTING SETBACKS. 10. ANY DAMAGE DUE TO CONSTRUCTION, INCLUDING, ANY DAMAGES BEYOND THE PROPERTY LINE WILL BE REQUIRED TO BE IDENTIFIED AND REINSTATED BY THE APPLICANT AND AT THEIR EXPENSE TO THE SATISFACTION OF THE CITY OF OAKVILLE.

LOT COVERAGE

216.60 SQM



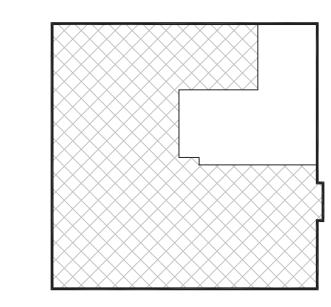


GFA FIRST FLOOR

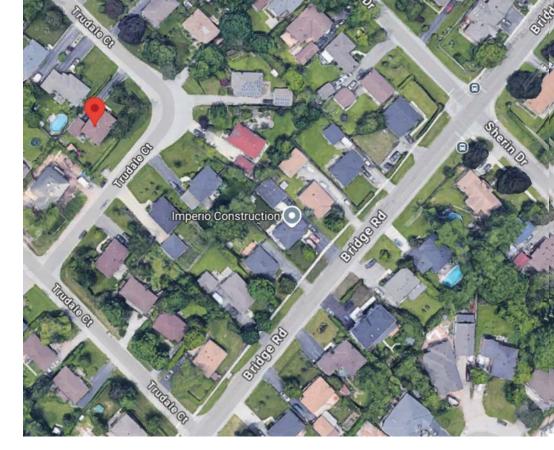
150.03 SQM

 $T_{0}p = 97.81$

Bottom=97.52/6



GFA SECOND FLOOR 157.83 SQM



KEY PLAN

98.02 0.09SW (P1&Ms) 0.10SE (P1&Ms) Hedge Edge of Gutter 98.44 8137 Edge of Asphalt 10598.40 98.41 Asphalt Driveway EXIST. TO BE-PORCH HENTRY DEMOLISHED 98.50 Edge of Asphalt 98.55 Edge of Gutter Frame Shed

 \bowtie \bowtie Top=97.83 Bottom=97.48

6.0 MT WIDE ASPHALT DRIVEWAY Ø0.30 98.37 2 CAR GARAGE

97.60 MB MB MB 97.62 Interlock 99.13 98.17 Top=97.44 97.60 97.63 97.26

PROPOSED 2 STOREY BUILDING

97.49 97.57

97.63 97.67

99.67 Ø0.10

98.17

0.81 -

Contro

Valve

97.45

97.93

Q OF ROAD

Ditch

Edge of Asphalt



SITE PLAN SCALE=1:100

SURVEYOR'S REAL PROPERTY REPORT (PART 1) SHOWING TOPOGRAPHIC FEATURES LOT 114, REGISTERED PLAN 646 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

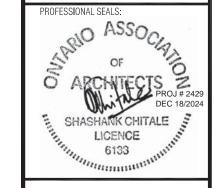
SCALE 1:200 10 Metres

GRAD SURVEYING LTD. ONTARIO LAND SURVEYORS © 2024

> <u>LEGEND</u> LV-LIGHT WELL DENOTES NEW BUILDING

SITE STATISTICS = R3L-0= 7.5-1 = 6.5M FRONT SETBACK REQUIRED = 10.53MFRONT SETBACK PROPOSED REAR SETBACK REQUIRED = 7.50M REAR SETBACK PROPOSED = 7.50MSIDE YARD REQUIRED IF ATTACHED GARAGE = 1.20M SIDE YARD PROPOSED = 2.15MFLANKING SIDE YARD REQUIRED = 3.50M FLANKING SIDE YARD PROPOSED = 4.00MMAXIMUM BUILDING HEIGHT BUILDING HEIGHT PROPOSED = 9.00M = 9.99MLOT AREA = 712.28 SQM (7,667 SFT) = 249.29 SQM (2,683 SFT) LOT COVERAGE ALLOWED @35 % LOT COVERAGE PROPOSED (30.4%) = 216.60 SQM (2,332 SFT)ALLOWABLE RESIDENTIAL FLOOR AREA @41% = 292.03 SQM (3,143 SFT) FIRST FLOOR RESIDENTIAL FLOOR AREA = 150.03 SQM (1,615 SFT)SECOND FLOOR AREA = 157.83 SQM (1,699 SFT) PROPOSED RESIDENTIAL FLOOR AREA @43.2% = 307.86 SQM (3,314 SFT)

BUILDING PERMIT NO. DESCRIPTION DRAWING ISSUE and/or REVISION NOTE CONTRACTOR SHALL CHECK AND VERIFY AL LAYOUT CONDITIONS, DIMENSIONS AND OTHER CONDITIONS WHICH AFFECT THE LAYOUT AND CONSTRUCTION OF THE WOR CONTRACTOR SHALL REPORT ALL DIMENSIONAL AND/OR INFORMATION AND/O INSTRUCTION DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH T WORK. ANY WORK NECESSARY TO COMPLY WITH THE LATEST ONTARIO BUILDING CODE SHALL BE PERFORMED AT NO EXTRA COST OWNER. DRAWINGS ARE NOT TO BE SCALED CONTRACT DOCUMENTS SHALL REMAIN THE PROPERTY OF THE CONSULTANTS AND SHA BE RETURNED UPON COMPLETION OF THE PROJECT. NO PORTION(S) OF THE CONTRA DOCUMENTS MAY BE USED IN ANY FORM FOI ANY DESIGN AND/OR CONSTRUCTION PRO-OTHER THAN THE PROJECT FOR WHICH THES



DOCUMENTS WERE ORIGINALLY PREPARED

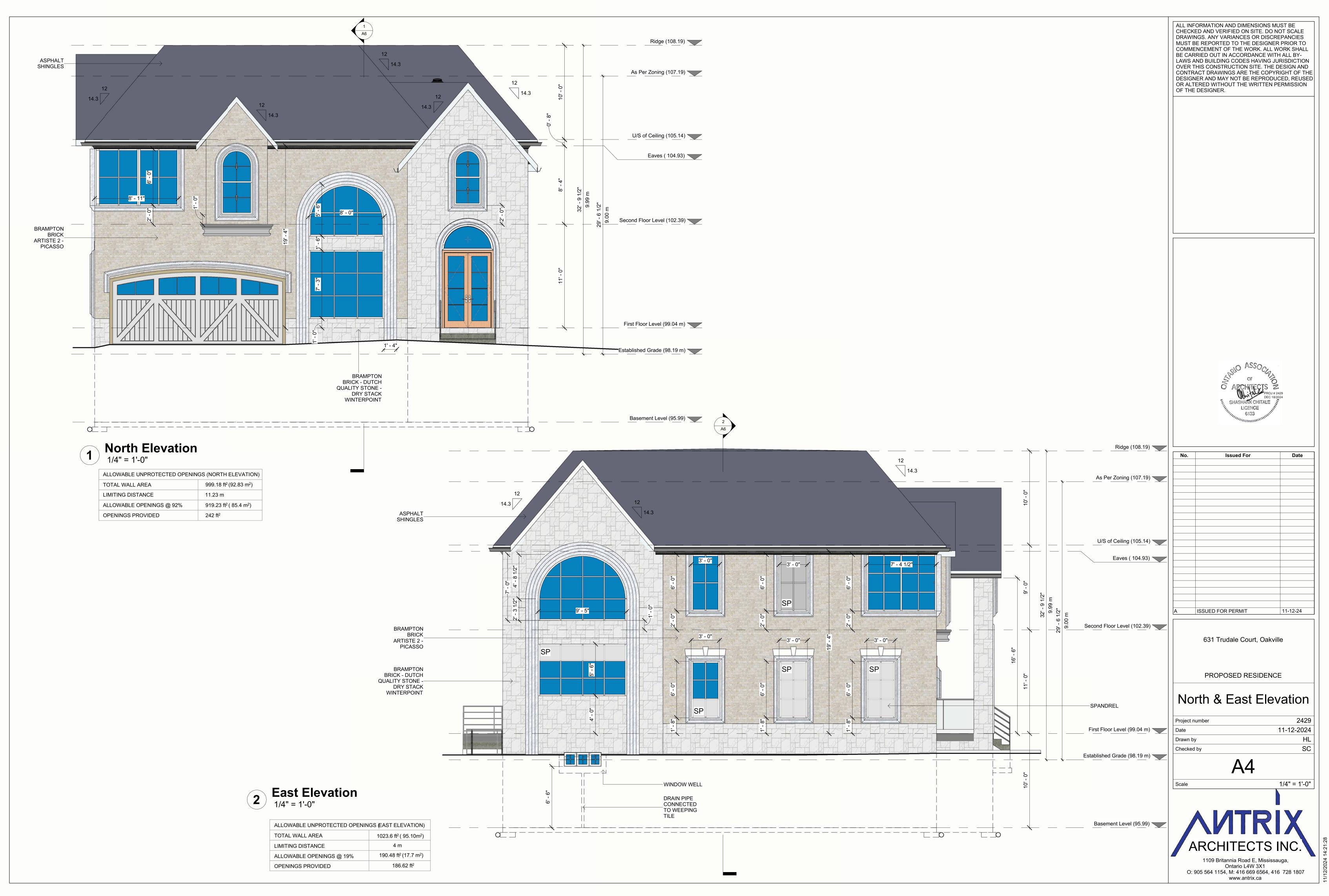
AND ISSUED BY THE CONSULTANTS.

PROPOSED RESIDENCE 631 TRUDALE COURT OAKVILLE

AUTRIX ARCHITECTS 1109 BRITANNIA ROAD EAST, MISSISSAUC ON L4W 3X1, PHONE 905 564 1154

2429 CAD FILE NAME: DRAWN/CHECKED: HL/SC SCALE:
AS MENTIF DRAWING NO.:

TRUDALE COURT





SMOKE ALARM -O.B.C. 9.10.19.3-PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.

CARBON MONOXIDE DETECTOR -O.B.C. 9.33.4-** CHECK LOCAL BY-LAWS FOR REQUIREMENTS * CMD CARBON MONOXIDE DETECTOR(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SOLID BEARING (6X6 OR 4-2X6)

POINT LOAD

DS

DOWNSPOUT

CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED) -ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (OBC) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL THERMAL RESISTANCE VALUES BASED ON ZONE1

TYPICAL STRIP FOOTING

O.B.C. 9.15.3 -BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH -MIN. 2200 psi (15MPa) CONCRETE AFTER 28 DAYS -SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 21.8psi (150kPa) BEARING CAPACITY -FTG. TO HAVE CONTINUOUS KEY -FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

TYPICAL STRIP FOOTING -(EXTERIOR WALLS)

-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE -TYPICAL 24" X 8" (610mm X 203mm) -UNLESS SPECIFIED -SEE DETAILS

DRAINAGE TILE OR PIPE O.B.C. 9.14.3 -4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BTM. OF FLR. SLAB. -COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL -TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

BASEMENT SLAB O.B.C. 9.13. & 9.16.

-3" (75mm) CONCRETE SLAB UNLESS MENTIONED OTHERWISE -2200 psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5 -DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS. -DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS

3600 psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS -4" (100mm) OF COURSE GRANULAR MATERIAL -PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB &

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO OBC - 9.13.3. -FLOOR DRAIN PER O.B.C. 9.31.4.4. -UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL

CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

GARAGE WALL & CEILING O.B.C. 9.10.9.16.(3)

-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R24 (RSI 4.23) INSULATION IN WALLS, -R32 (RSI 5.64) INSULATION IN CEILINGS W/ FLOOR ABOVE -R60 (RSI 10.56) INSULATION IN ATTIC WITH ROOF -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE -INSULATION AROUND DUCTS & PIPING NOT TO ENCROACH MIN. REQ'D GARAGE AREA (REFER TO MUNICIPAL STANDARDS)

GASPROOFING NOTES ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.

-PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT

COMPOUND AT ALL WALLS ADJACENT TO DWELLING. -CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT. -CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ ACOUSTIC SEALANT. -DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHERSTRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. -DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING. -GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS

WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE CARRY DRYWALL UP TO ROOF SHEATHING & BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE

CAULK W/ ACOUSTIC SEALANT. -UNIT MASONRY WALLS FORMING THE SEPARATION PROVIDED W/ 2 COATS OF A SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.

STEEL PIPE COLUMN O.B.C. 9.15.3.4. & 9.17.3

- MAX. 9'-10" (2997mm)

-FIXED COLUMN -MIN. 3-1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS. -FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BTM. PLATE -FOR WOOD BEAMS, MIN. 4" X 4" X 1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM

-ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 kN (O.B.C. 9.17.3.4.) COL. SPACING FTG. SIZE 2 STOREY

-34" X 34" X 16"

-(860mm X 860mm 400mm) - MAX. 16'-0" (4880mm) -44" X 44" X 21" -(1120mm X 1120mm X 530mm) 3 STOREY -MAX. 9'-10" (2997mm) -40" X 40" X 19"

-(1010mm X 1010mm X 480mm) -MAX 16'-0" (4880mm) -50" X 50" X 24" -(1280mm X 1280mm X 610mm)

-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS BASEMENT COLUMN: 3 1/2" (90)Ø x0.25" (6.4) NON-ADJUSTABLE STEEL COL. WITH

9"x9"x1/4" (225x225x6.4) STL. PLATE TOP & BOTTOM. FIELD WELD BM/COL. CONNECTION. ANCHOR BOLTS: 4-15M, 42"x42"x12" (1067x1067x305) CONC. FOOTING WITH 5-15M BARS EACH WAY AT BOTTOM ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kPa MINIMUM AND AS PER SOILS REPORT.

O.B.C. 9.8.4 -MAX. RISE = 7.7/8" (200mm) -MIN. RUN = $8 \frac{1}{4}$ " (210mm) -MIN. TREAD = $9 \frac{1}{4}$ " (235mm) -MAX. NOSING = 1" (25mm) -MIN. HEADROOM = 6'-5" (1950mm) -RAIL @ LANDING = 2'-7" (800mm) -RAIL @ STAIR = 2'-7" (800mm)

-MIN. WIDTH = 2'-10" (860mm) (BETWEEN ALL FACES) -MIN. WIDTH = 2'-11" (900mm) (EXIT STAIRS, BETWEEN GUARDS) ANGLED TREADS -MIN. RUN = 5.7/8" (150mm)

-MIN. AVG. RUN =7 7/8" (200mm) -FIN. RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS -EXT. CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) RUN & MAX. 7 7/8" (200mm) RISE -FDN. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2 -FTG. FOR FDN. WALL TO BE MIN. 4'-0" (1220mm) BELOW

INTERIOR GUARDS O.B.C. SB-7 & 9.8.8.3. -GUARDS WITHIN DWELLING UNITS TO BE 2'-11" -INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS -PICKETS TO HAVE 4" (100mm) MAX. SPACING

08 EXTERIOR GUARDS O.B.C. SB-7 & 9.8.8.3. -GAURDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8"(600mm) -GAURD HEIGHT WILL BE A MIN. 2'-11" (900mm) HIGH -GAURD HEIGHT WILL BE A MIN. 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE -MAXIMUM 4" OPENING BETWEEN PICKETS OR SAFETY GLASS AS PER O.B.C. 9.8.8.7 -CONSTRUCTION REQUIREMENT FOR GUARDS TO CONFORM W/

SECTION SG-7 OF THE SUPPLEMENTARY GUIDELINES

EXTERIOR GUARDS @ JULIET BALCONY -FOR RAILINGS SPANNING MAXIMUM 6'-0" -PROVIDE PREFIN. METAL RAILING W/76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX -GAURDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8"(600mm) -TOP OF HORIZONTALHEIGHT TO BE A MIN. 2'-11" (900mm) HIGH WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2

TO THE 2012 OBC

PLATE CONNECTION.

W/ MIN. R-24 (RSI 4.23)

9.8.7.7.(2)

-TOP OF HORIZONTALHEIGHT TO BE A MIN. 3'-6" (1070mm) HIGH WHERE FLOOR TO GRADE DIFFERENCE IS GREATER THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2 -VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8" MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS. -PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE

STUD WALL REINFORCEMENT O.B.C. 9.5.2.3. -WALL STUD ADJACENT TO WATER CLOSETS AND SHOWERS ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8. (1)(d) & 3.8.3.13. (1)(f) -GRAB BARS TO BE INSTALLED AS PER O.B.C.

-FOR COLD CELLARS PROVIDE THE FOLLOWING: -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD -FLOOR DRAIN AS PER OBC 9.31.4.4 -4" (89mm) PVC PIPE VENT W/ BUG SCREEN -WALL-MOUNTED LIGHT FIXTURE -2'-6" X 6'-10" EXTERIOR TYPE DOOR (MIN. R-4 RSI 0.7) -INSULATE FULL HEIGHT OF INTERIOR BASEMENT

<u>SILL PLATE</u> O.B.C. 9.23.7 -2" X 6" (38mm X 140mm) PLATE -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN. WALL -SILL PLATE TO BE CAULKED OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

BRIDGING O.B.C. 9.23.9.4. -a) STRAPPING -1" X 3" (19mm X 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C. -FASTENED TO SILL OR HEADER @ ENDS -b) BRIDGING -1" X 3" (19mm X 64mm) OR 2" X 2" (38mm X 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C. -c) BRIDGING AND STRAPPING a) & b) USED TOGETHER OR -1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a) -d)FURRING OR PANEL TYPE CEILING -STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

FLOOR ASSEMBLY -3/4" (19mm) T&G PLYWOOD SUBFLOOR(SCREWED) OR EQUIVALENT AS PER OBC 9.23.14.5 -FLOOR JOISTS AS PER FLOOR PLANS -FLOOR JOISTS 12" (300mm) O.C. WHEN CERAMIC TILE -PANEL TYPE UNDERLAYMENT S REQUIRED FOR RESILIENT FLOORING, OVER WAFER BOARD, STRAND BOARD, AND UNDER CERAMIC TILE APPLIED W/ ADHESIVE -PANEL - TYPE UNDERLAYMENTS SHALL CONFORM TO OBC 9.30.2.2 & 9.30.2.3, & 9.30.2.4 -CERAMIC TILES SET IN A MORTAR BED SHALL CONFORM TO OBC 9.30.6.2 -CERAMIC TILES APPLIED TO MORTAR BED W/ ADHESIVE SHALL CONFORM TO OBC 9.30.6.3 & 9.30.6.4

O.B.C. 9.40.1.4. -REINFORCED CONC. SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED -4 7/8" (125mm) 4650psi (32Mpa) CONC. SLAB W/ 5-8% AIR -REINFORCE W/ 10M BARS @ 7 7/8" (200mm) EACH WAY -1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE -3" (75mm) END BEARING ON FOUNDATION WALL -23 5/8" X 23 5/8" (600mm X 600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

PORCH SLABS ABOVE COLD CELLAR

GARAGE SLAB / EXTERIOR SLABS -4" (100mm) CONCRETE SLAB -4650 psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -O.B.C.9.3.1.6. -6" X 6" (W2.9 X W2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL. SHALL BE COMPACTED

[17] LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

-WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR (O.B.C. 9.32.1.3.(3)

-CAPPED DRYER VENT OBC 9.32.1.3(3)

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE

-MAIN DOOR TO BE OPERABLE FROM INSIDE W/O KEY -PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR SIDELIGHT IS PRESENT -R4 (RSI 0.70) WHERE STORM DOOR IS NOT PROVIDED.

-GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHER-STRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15. -R4 (RSI 0.70)

FRAME CONSTRUCTION -ALL FRAMING LUMBER TO BE No. 1 AND No. 2 SPF **UNLESS NOTED OTHERWISE** -ROOF LOADING IS BASED ON 1.5 kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS -JOISTS TO HAVE MIN. 1 1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3 1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXT. WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m)

IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m)

BEARING PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOAD BEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A LOAD BEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS -APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE

CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND

CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND

SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER

SUPPORTS FOR 2" X 8" (38mm X 184mm)

-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH

-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON LOAD

-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE

24 EXTERIOR COLUMN -MIN. 6"x6" (140mmx140mm) WOOD POST OR STEEL COLUMN CLAD W/DECOR. SURROUND (PER ELEVATION DRAWINGS). ANCHORED TO PORCH SLAB W/ METAL SADDLE. -NOTE: DECORATIVE COLUMNS MAY REPLACE 6"x6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

O.B.C. 9.19.2.1. -21 1/2" X 23" (546mm X 585mm) ATTIC HATCH WITH WEATHER-STRIPPING AND BACKED W/ R60 (RSI 10.56)

INSULATION FOUNDATION WALLS @ UNSUPPORTED OPENINGS -2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0"

OPENING) -4-20M BARS IN TOP PORTION OF WALL (10'-0" - 15'-0" OPENING) -BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL. -BARSTO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF

-3-20M BARS IN TOP PORTION OF WALL (8'-0" - 10'-0"

CONVENTIONAL FRAMING O.B.C. TABLE A6 OR A7 -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm) -2" X 4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mm X 140mm) @ 16" (400mm0 O.C. UNLESS OTHERWISE NOTED -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK FLAT ROOF FRAMING SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS. -1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED 2% TO ROOF SCUPPER OR ROOF -3/8' EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR BY OTHERS AS NOTED

TYPICAL ROOF O.B.C. 9.26.

ON PLAN)

OPENING.

-NO. 210 (30.5 KG/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL -EAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7.2 -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3) -1/2" (13mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH 'H' CLIPS -APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURERS LAYOUT) -TRUSS BRACING AS PER TRUSS MANUFACTURER -EAVESTROUGH ON PRE FINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM) -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA

-R60 (RSI 10.56) INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/OBC 9.25.3 & 9.25.4 -1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -5/8" (13mm) GYPSUM BOARD W/ TEXTURED CEILING (OBC 9.25.3.)

VAULTED OR CATHEDRAL CEILING

-R31 (RSI 5.46) INSULATION

WITH, 50% AT SOFFIT

OBC 9.26. & TABLE A4 -NO. 210 (30.5 KG/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL -EAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7.2. -STARTER STRIP NOT REQUIRED IF TYPE 'M' ROLL ROOFING IS USED FOR EAVES PROTECTION -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) W/ 'H' CLIPS -2" X 8" (38mm X 184mm)@16" O.C. W/ 2"x2" (38mmx38MM) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR -2" X 10" (38mm X 235mm) @16" O.C. W/ 2"x2" (38mmx38MM) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)

-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3 & 9.25.4 -1/2" (12.7mm) GYPSUM BOARD

[31] FLAT ROOF

SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS. -1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED 2% TO ROOF SCUPPER. -3/8' EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)

REQUIRED OVER HEATED SPACES:

-ADD 2"X2" (38mm X 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS. -ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4. -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.

[32] FIRE BLOCKS

PROVIDE 1/2" GYPSUM BOARD WALL TO ONE SIDE OF ROOF TRUSS AS A FIRE BLOCK AS PER O.B.C. 9.10.16.1 IN THE ATTIC SPACE TO MAKE DIVISION OF CONCEALED SPACE

Component	Thermal Values(8)	Compliance Package
		A1
	Min. Nominal R ⁽¹⁾	60
Ceiling with Attic Space	Max. U ⁽²⁾	0.017
	Min. Effective R(2)	59.22
Cailing Mithaut Attia	Min. Nominal R ⁽¹⁾	31
Ceiling Without Attic Space	Max. U ⁽²⁾	0.036
Орасс	Min. Effective R(2)	27.65
	Min. Nominal R ⁽¹⁾	31
Exposed Floor	Max. U ⁽³⁾	0.034
	Min. Effective R(3)	29.80
	Min. Nominal R ⁽¹⁾	22
Walls Above Grade	Max. U ⁽³⁾	0.059
	Min. Effective R(3)	17.03
	Min. Nominal R ⁽¹⁾	20 ci
Basement Walls(6)	Max. U ⁽⁴⁾	0.047
	Min. Effective R(4)	21.12
Below Grade Slab	Min. Nominal R ⁽¹⁾	1
Entire Surface > 600 mm	Max. U ⁽⁴⁾	-
Below Grade	Min. Effective R(4)	Ţ
Heated Slab or	Min. Nominal R ⁽¹⁾	10
Slab ≤ 600 mm Below	Max. U ⁽⁴⁾	0.090
Grade	Min. Effective R ⁽⁴⁾	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10
Windows and Sliding	Max. U ⁽⁵⁾	0.28
Glass Doors	Energy Rating	25
Skylights	Max. U ⁽⁵⁾	0.49
Space Heating Equipment	Min. AFUE	96%
HRV	Min. SRE	75%
Domestic Water Heater ⁽⁷⁾	Min. EF	0.80
Column 1	2	3

SNOW LOAD: 1.1 kPA WIND LOAD: 0.47 kPA

W5 (GARAGE BASEMENT WALL)

- GYPSUM WALL BOARD

-TOTAL THICKNESS: 10-1/2"

W6 (10" CONCRETE WALL)

- CONCRETE WALL

- CONCRETE WALL

<u>INSULATION))</u>

@ 400 O.C.

- SHEATHING

-TOTAL THICKNESS: 10"

W7 (EXTERIOR STONE

- GYPSUM WALL BOARD

- AIR/VAPOUR BARRIER

MORTAR SETTING BED

-TOTAL THICKNESS: 11-1/4"

- STONE CLADDING

CLADDING WALL WITHOUT

- 6 MIL POLY VAPOUR BARRIER

- 2" x 8" WOODEN STUD FRAMING

- LATH + MORTAR SCRATCH COAT +

Building Assembly Schedule 1/4" = 1'-0"

W1 (EXTERIOR WALL) - 1/2" - GYPSUM WALL BOARD - GYPSUM WALL BOARD - 1/2" - 6 MIL POLY VAPOUR BARRIER - 2" x 4" WOODEN STUD - 3 1/2" - 2" x 6" WOODEN STUD FRAMING - GYPSUM WALL BOARD - 1/2" @ 400 O.C. WITH R-22 BATT INSULTION - 5 1/2" -TOTAL THICKNESS: 4 1/2" - 3/4" - SHEATHING - AIR/VAPOUR BARRIER - LATH + MORTAR SCRATCH COAT + MORTAR SETTING BED <u>P2</u> - 1/2" - 3 1/2" mm - STONE CLADDING - GYPSUM WALL BOARD - 1/2" -TOTAL THICKNESS: 11-1/4" - 2" x 6" WOODEN STUD - 5 1/2" GYPSUM WALL BOARD -TOTAL THICKNESS: 6 1/2" W2 (GARAGE WALL) - GYPSUM WALL BOARD - 1/2" - 2" x 6" WOODEN STUD FRAMING - 5 1/2" - 1/2" - GYPSUM WALL BOARD - CONCRETE SLAB BY STRUCTURAL ENGINEER 3/4" - SUBFLOOR BY OTHERS -TOTAL THICKNESS: 6-1/2" - WOODEN FLOORING (AS PER OWNER'S CHOICE) 4 4 4 **W3 (BASEMENT EXTERIOR WALL)** - GYPSUM WALL BOARD - 1/2" - CONCRETE SLAB BY STRUCTURAL ENGINEER - 2" x 4" FILLED WITH R12 BATT INSULATION - 4" - PANEL TYPE UNDERLAYMENT OVER WAFER BOARD 3/4" - R10 RIGID INSULATION - 2" - TILE FLOORING (AS PER OWNER'S CHOICE) - 10" CONC. WALL -TOTAL THICKNESS: 1' 4-1/2" W4 (EXTERIOR WALL) - GYPSUM CEILING 1/2" - WOODEN JOIST BY OTHERS - SUBFLOOR BY OTHERS 3/4" - GYPSUM WALL BOARD - 1/2" - WOODEN FLOORING (AS PER OWNER'S CHOICE) - 6 MIL POLY VAPOUR BARRIER - 2" x 8" WOODEN STUD FRAMING @ 400 O.C. WITH R-22 BATT INSULTION - 7 1/2" - SHEATHING - 3/4" 1/2" - GYPSUM CEILING - AIR/VAPOUR BARRIER - WOODEN JOIST BY OTHERS - LATH + MORTAR SCRATCH COAT + - PANEL TYPE UNDERLAYMENT OVER WAFER BOARD MORTAR SETTING BED - 1/2" - TILE FLOORING (AS PER OWNER'S CHOICE) - STONE CLADDING - 3 1/2" mm -TOTAL THICKNESS: 1' 1-1/4" F5 (BASEMENT FURNACE ROOM, COLD ROOM, GARAGE & BELOW GRADE SLAB)

- 1/2"

- 10"

- 10"

- 1/2"

- 7 1/2"

- 3/4"

- 1/2"

- 3 1/2"

- CONCRETE SLAB BY OTHERS

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ALL INFORMATION AND DIMENSIONS MUST BE



Description

Date

PROPOSED **RESIDENCE**

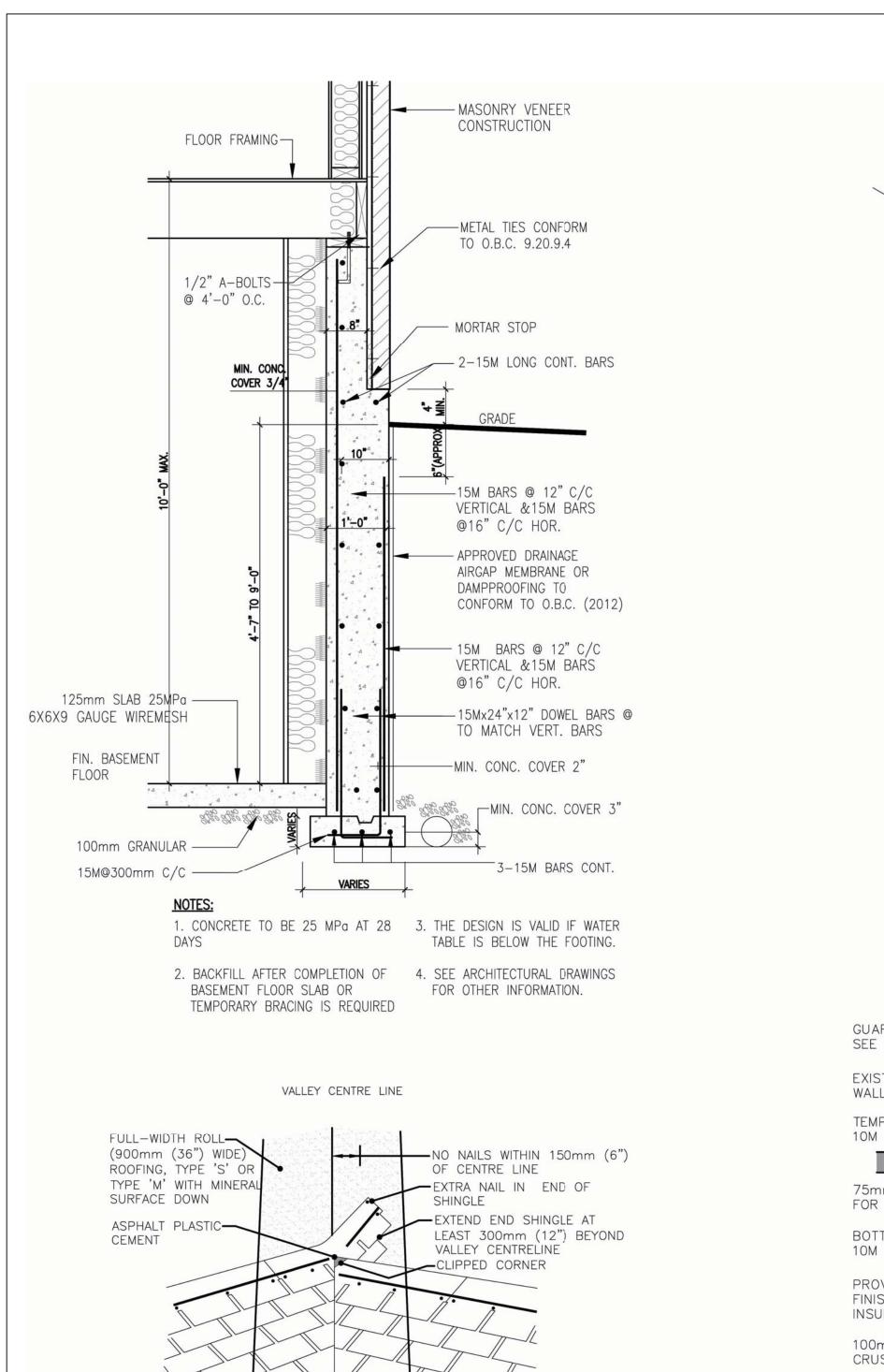
631 Trudale Court, Oakville

Notes

2429 Project number 11-12-2024 Drawn by Checked by

As indicated

1109 Britannia Road E, Mississauga, Ontario L4W 3X1 O: 905 564 1154, M: 416 669 6564, 416 728 1807



SHINGLES TRIMMED BACK 50mm

CLOSED, CUT VALLEY

WOVEN VALLEY

VALLEY CENTRE LINE

(2") FROM VALLEY CENTRE LINE

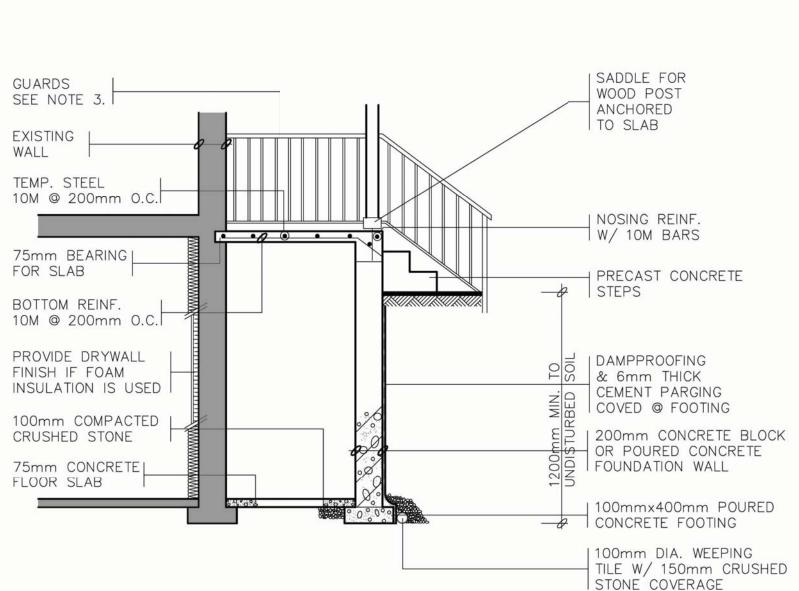
-NO NAILS WITHIN 150mm (6")

LEAST 300mm (12") BEYOND

-EXTEND END SHINGLE AT

VALLEY CENTRE LINÉ

OF CENTRE LINE



SADDLE FOR WOOD POST ANCHORED TO SLAB 10M DOWELS 600x600mm @ 600mm O.C. MASONRY EXTERIOR FACING, FILL SPACE . . BETWEEN WALL & FACING W/ MORTAR & PROVIDE METAL TIES SEE NOTE '4' 200mm CONCRETE BLOCK OR POURED CONCRETE FOUNDATION WALL

GENERAL NOTES

1. EXTERIOR STAIRS

SECTION 'A'

125mm - 200mm RISE 210mm - 355mm RUN 235mm - 355mm TREAD STEPS ARE TO BE UNIFORM THROUGHOUT FLIGHT

2. HANDRAILS

ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS. HANDRAIL HEIGHT 800mm - 965mm 3. GUARDS

COLLAR COMPRESSION FIT

MECHANICALLY FASTEN WIT

STANDARD LARGE-HEADED

COLLAR OVER-

ROOFING NAILS.

OVER STACK. ADD BUTYL

ADDITIONAL WATERPROOFING.

TAPE AT JOINT FOR

ARE REQUIRED AROUND CONCRETE

SLAB IF MORE THAN 600mm ABOVE GRADE & ON BOTH SIDES OF STAIRS MINIMUM 900mm HIGH FOR STAIRS MINIMUM 900mm HIGH FOR PORCHES UP TO 1800mm ABOVE GRADE. MINIMUM 1070mm HIGH FOR GREATER HTS. MAXIMUM 100mm BETWEEN PICKETS AND NO MEMBER DESIGNED TO FACILITATE CLIMBING BETWEEN 140mm & 900mm

4. MASONRY TIES

WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 0.76mm THICK & 22mm WIDE CORROSION RESISTANT METAL TIES @ 600mm HORIZ. & 500mm VERTICAL

-VENT PIPE OR

COLLAR OVER

SHINGLES

READY-MADE

ONE-PIECE NEOPRENE

COLLAR UNDER NEXT LINE OF SHINGLES

SHINGLES

-NAILS UNDER

COLLAR UNDER

-CUT SHINGLES AROUND

EXPOSED NEOPRENE

COLLAR FLANGE.

SHINGLES

5. FOUNDATION WALLS

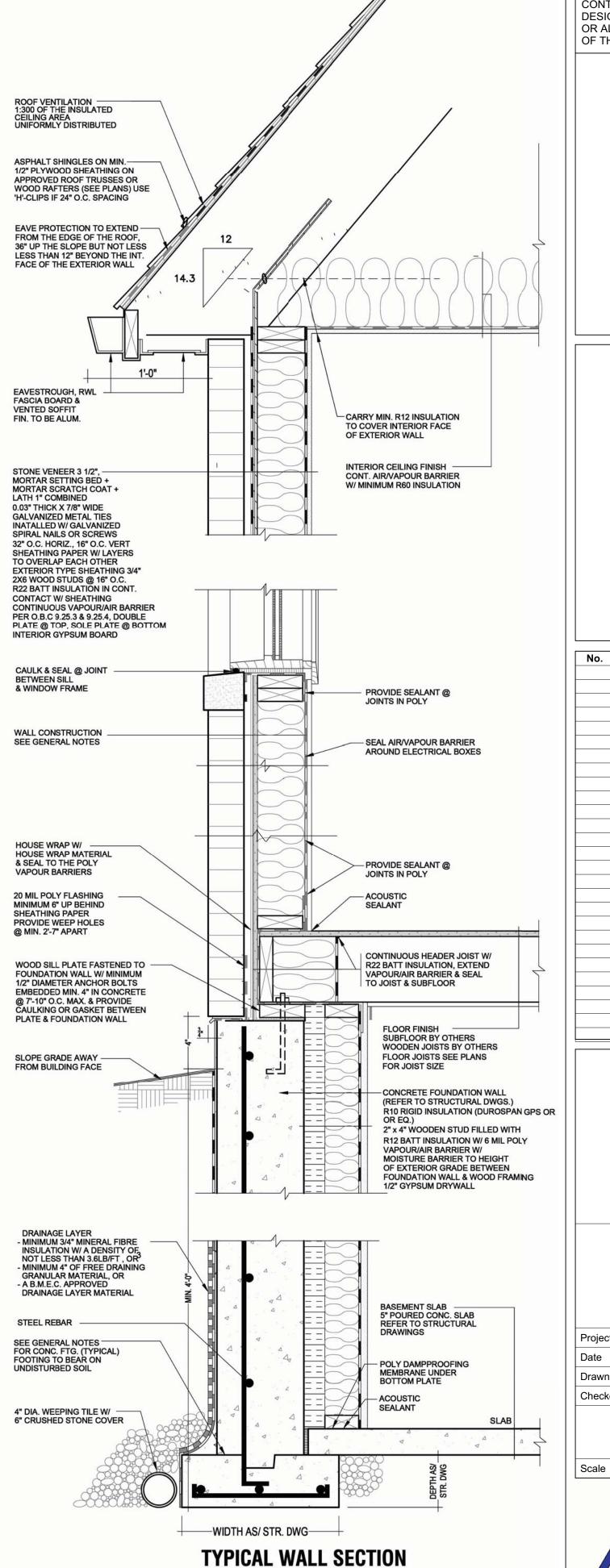
THICKNESS OF UNREINFORCED FOUNDATION WALLS LATERALLY SUPPORTED AT THE TOP ARE DEPENDANT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR

SECTION 'B'

UNIT MASONRY THICKNESS 190mm - MAX. HEIGHT 1200mm UNIT MASONRY THICKNESS 240mm - MAX. HEIGHT 1800mm UNIT MASONRY THICKNESS 290mm - MAX. HEIGHT 2200mm

6. CONCRETE

MINIMUM CONCRETE STRENGTH SHALL BE 32Mpa W/ 5%-8% AIR ENTRAINMENT CONCRETE SLAB THICKNESS 125mm PROVIDE MIN. 30mm CLEAR CONCRETE COVER TO REINFORCING BARS



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Description Date

PROPOSED RESIDENCE

631 Trudale Court, Oakville

Details

2429 Project number 11-12-2024 Drawn by Author Checked by Checker **A7**

ARCHITECTS INC.

Details

FULL WIDTH ROLL -

EXTRA NAIL IN END -

(900mm (36") WIDE) ROOFING,

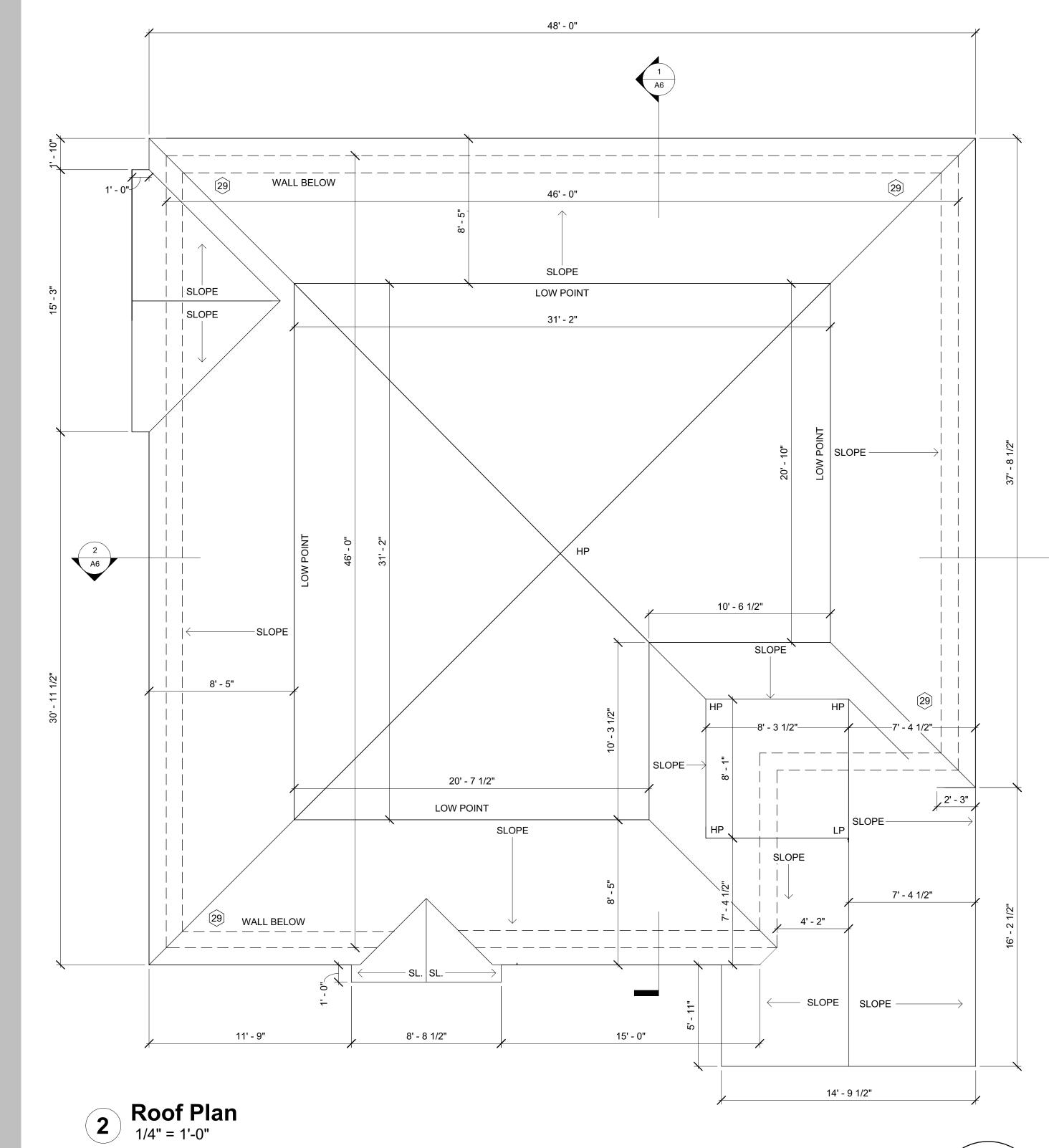
TYPE 'S'

TYPICAL

OF SHINGLE,

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NTS



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COMMENCEMENT OF THE WORK. ALL WORK SHALL
BE CARRIED OUT IN ACCORDANCE WITH ALL BYLAWS AND BUILDING CODES HAVING JURISDICTION
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No.	Issued For	Date
	ISSUED FOR PERMIT	11-12-24

631 Trudale Court, Oakville

PROPOSED RESIDENCE

Basement & Roof Plan

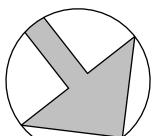
Project number	24
Date	11-12-20
Drawn by	I
Checked by	5

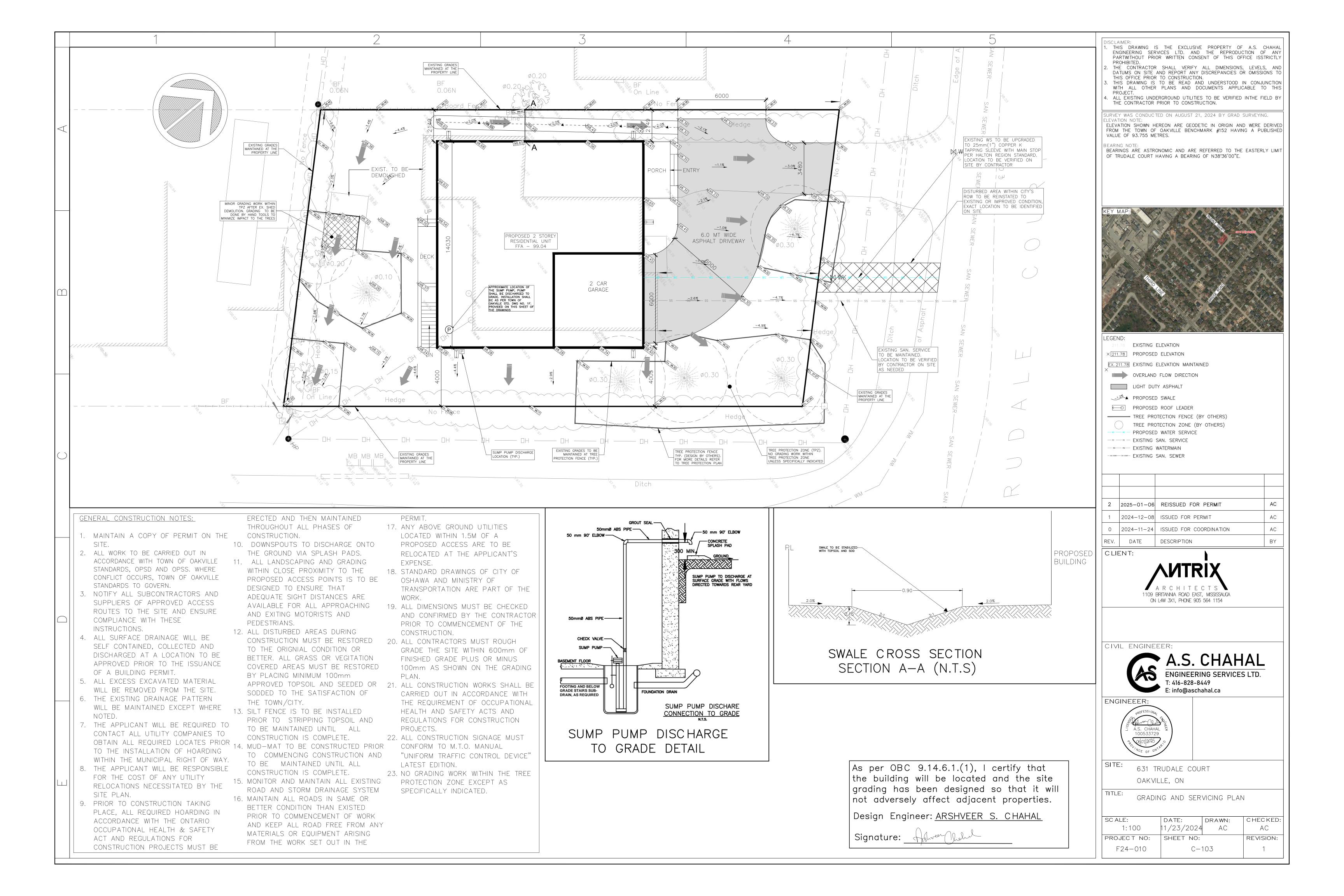
A3

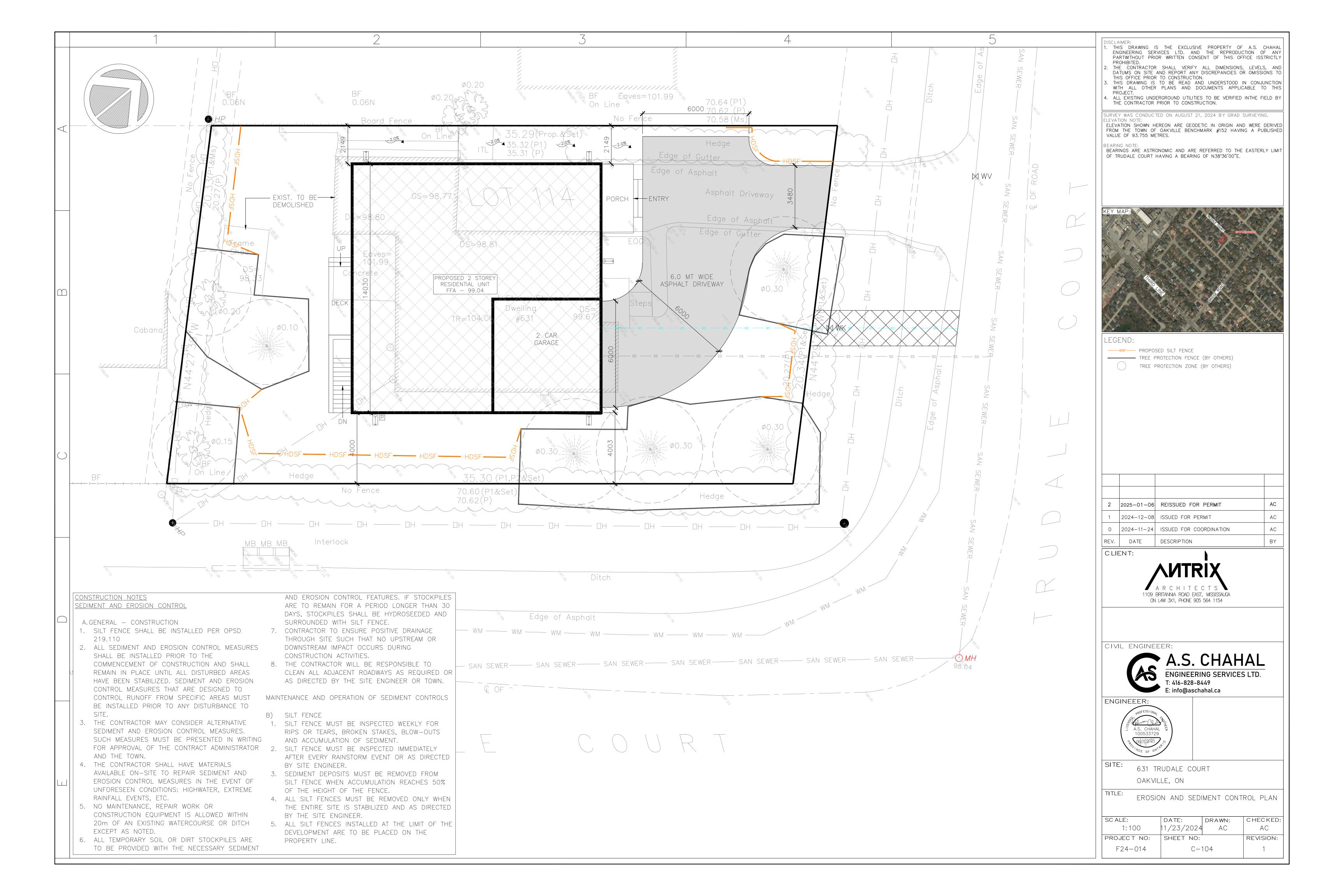
1/4" = 1'-0"



1109 Britannia Road E, Mississauga, Ontario L4W 3X1 O: 905 564 1154, M: 416 669 6564, 416 728 1807









THE PLANNING HUB

Address: 3050 Yorkville St, London, ON Contact: +1-647-937-9524 Email: saeshcorp@gmail.com

To,

The Secretary Treasurer,

Committee of Adjustment

Town of Oakville 1225 Trafalgar Road Oakville, ON L6H 0H3

Subject: Minor Variance Application for 631 Trudale Court, Oakville

Dear Secretary-Treasurer and Members of the Committee,

I am writing to submit a Minor Variance Application for the property located at 631 Trudale Court, Oakville. The current owner recently purchased this property with the intent to build a spacious and functional home that can accommodate a growing, multi-generational family while ensuring a high standard of living and architectural integrity. The proposal includes the demolition of the existing single detached dwelling unit and the construction of a new two-storey detached dwelling.

The proposed development maintains the permitted use of a single detached dwelling unit, in keeping with the established residential character of the surrounding neighbourhood. The community comprises a mix of original one- and two-storey dwellings, along with newly constructed two-storey homes that reflect contemporary living standards. Trudale Court is a quiet residential street with no sidewalks, and the subject property, being a corner lot, has a unique orientation that has influenced the proposed site layout.

The subject lands are designated 'Low Density Residential' as per Schedule F Southwest Land Use of the Official Plan of the Town of Oakville. Section 11.1.9 of the Official Plan sets out criteria to ensure that new developments within stable residential communities maintain and protect existing neighbourhood character.

The proposal has been evaluated against the applicable policies of Section 11.1.9, which states:

- a) The built form of development, including scale, height, massing, architectural character, and materials, must be compatible with the surrounding neighbourhood.
- b) Development should be compatible with setbacks, orientation, and separation distances within the surrounding neighbourhood.
- h) Impacts on adjacent properties should be minimized concerning grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.

The subject lands are zoned **Residential Low (RL3-0)** under **Zoning By-law 2014-014**. The following table compares the **permitted zoning regulations** under the **Residential Low (RL3-0) Zone** with the **proposed development parameters** for the subject property:

Zoning Regulation	Permitted	Proposed	Variance Required
Minimum Lot Area	557.5 sqm	712.28 sqm	No
Minimum Lot Frontage	18m	20.34m	No
Minimum Front Yard Setback	7.5m	10.53m	No
Minimum Flankage Yard Setback	3.5m	4.0m	No
Minimum Interior Side Yard Setback	1.2m (if garage attached)	2.15m	No
Minimum Rear Yard Setback	7.5m	7.5m	No
Maximum Number of Storeys	2 storeys	2 storeys	No
Maximum Building Height	9.0m	10.02m	Yes
Maximum Dwelling Depth	N/A	N/A	No
Maximum Residential Floor Area Ratio (FAR)	41%	43.20%	Yes
Maximum Lot Coverage for Dwelling Unit	35%	30.40%	No
Maximum Driveway Width	9.0m	9.13m	Yes

This table demonstrates that the proposed development complies with the majority of zoning regulations, with only three minor variances requested to enhance design functionality, efficiency, and site safety while preserving the integrity of the surrounding community.

Requested Variances:

- 1. To permit a maximum building height of 10.02 meters, whereas 9.0 meters is permitted as per Zoning By-law 2014-014.
- 2. To permit a maximum driveway width of 9.13 meters, whereas 9.0 meters is permitted as per Zoning By-law 2014-014.
- 3. To permit a maximum residential floor area ratio of 43.2%, whereas 41% is permitted as per Zoning By-law 2014-014.

Planning Justification:

In accordance with Section 45(1) of the Planning Act, we have assessed these variances against the four required tests:

1. Consistent with the General Intent and Purpose of the Official Plan

The Liveable Oakville Plan aims to preserve and enhance neighbourhood character while supporting a range of housing options to meet diverse community needs.

 Building Height & FAR: The proposed height and floor area ratio support the construction of a functional and efficient home that incorporates modern building standards, HVAC systems, enhanced insulation, and optimized ceiling heights. The additional height requested aims to accommodate these services and systems within concealed ceiling on each floor and the floor area is necessary for a well-balanced home design that meets the living requirements of a multi-generational household. The massing is proportionate to the lot size and respects the scale of other homes in the neighbourhood.

Driveway Width: The proposed driveway width marginally exceeds the by-law standard to
facilitate better vehicular access and manoeuvrability, particularly given the property's
corner lot configuration. This slight modification is beneficial for safe entry and exit, while
maintaining compatibility with surrounding properties and street safety.

2. General Intent and Purpose of the Zoning By-law

- Building Height: The height restriction in the Zoning By-law aims to ensure consistent
 massing and avoid excessive overshadowing of adjacent properties. The requested variance
 of 1.02 meters is primarily to accommodate modern mechanical systems and energyefficient insulation requirements while maintaining comfortable ceiling heights. The
 increased height will not negatively impact sunlight access or privacy for neighbouring
 properties, as it aligns with recently approved homes of similar scale in the area.
- **Driveway Width:** The by-law limitation on driveway width is meant to prevent unnecessary hardscaping and protect streetscape aesthetics. The increase of 0.13 meters (1.44%) is negligible and will not impact pedestrian pathways, traffic flow, or sightlines. The variance is necessary to enhance manoeuvrability and provide a safer turning radius for vehicles entering and exiting the property.
- **FAR:** The requested 2.2% increase in floor area ratio ensures the home remains functional and well-proportioned while allowing for essential interior living spaces that accommodate a larger household. The proposed architectural design includes articulated facades, varied rooflines, and high-quality materials to ensure compatibility with surrounding properties and avoid an overbearing presence.

3. Desirability for the Appropriate Development and Use of the Land

The proposal reflects a high-quality, thoughtfully designed home that enhances the liveability of the property while maintaining compatibility with the neighbourhood.

- The additional height accommodates modern HVAC systems and functional living spaces, ensuring the home is energy-efficient and comfortable for a multi-generational family.
- The FAR increase allows for an optimized layout that provides ample living space while maintaining appropriate setbacks and massing.
- The driveway width adjustment improves vehicular access and circulation while ensuring safe ingress and egress, particularly considering the property's corner lot constraints.

4. Minor in Nature

Each variance request represents a small deviation from the existing by-law provisions but will greatly contribute to day-to-day aspects of the people living in it:

- The 1.02-meter height increase remains consistent with the evolving neighbourhood context and does not introduce adverse shadowing effects.
- The 0.13-meter driveway width increase (1.44% change) is negligible and does not interfere with traffic or pedestrian safety.
- The 2.2% FAR increase is a modest adjustment that aligns with the scale of existing and approved developments in the surrounding area.

Conclusion

The requested variances align with the principles of good planning, urban design, and the Town of Oakville's Official Plan and Zoning By-law. The proposed home is well-integrated within the neighbourhood context and designed to accommodate a modern, multi-generational household.

By permitting these minor adjustments, the Town can facilitate the construction of a thoughtfully designed residence that enhances the neighbourhood, meets modern family living needs, and aligns with the Town's vision for sustainable and high-quality residential development.

I sincerely appreciate the Committee's time and consideration in reviewing this application. Attached to this submission are the required supporting documents, including the Site Plan, Architectural Drawings, and Application Form.

Should you require any additional information, I would be happy to provide further details.

Sincerely,

Mahesh Sharma

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