

GENERAL SITE PLAN NOTES

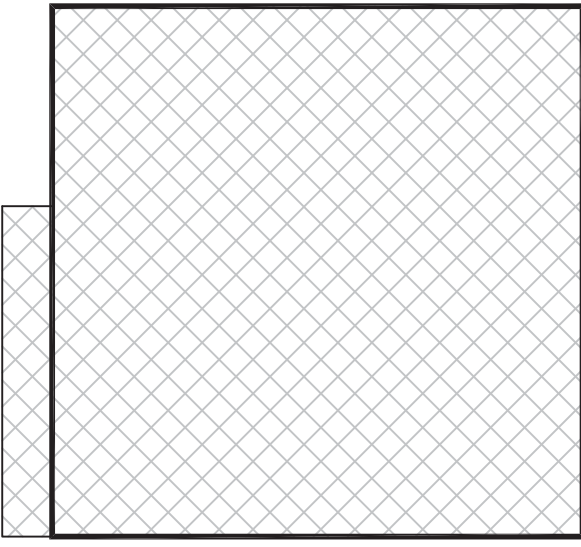
- ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING, PLACED AT THE DROP LINE OF THE TREES, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (e.g. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE CURB OF THE BOULEVARD AREA.
- SHOULD THE INSTALLATION OF BELOW GRADE SERVICES REQUIRE HOARDING TO BE REMOVED, OPEN SPACE STAFF AT: [open.space@brampton.ca](mailto:open.space@brampton.ca) ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
- THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATION NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
- GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6M (2'0") IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINES SHOWN ON THE SITE PLAN AND GRADING OF THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
- AT THE ENTRANCE TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR THE MUNICIPAL SIDEWALK.
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
- ALL DAMAGED LANDSCAPED AREAS WILL BE RESTORATED WITH TOPSOIL AND SOO FOLLOWING CONSTRUCTION ACTIVITIES.
- ANY CURB BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH 100MM CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CURB AT THE OWNER'S EXPENSE. ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
- THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

SITE PLAN LANDSCAPE NOTES

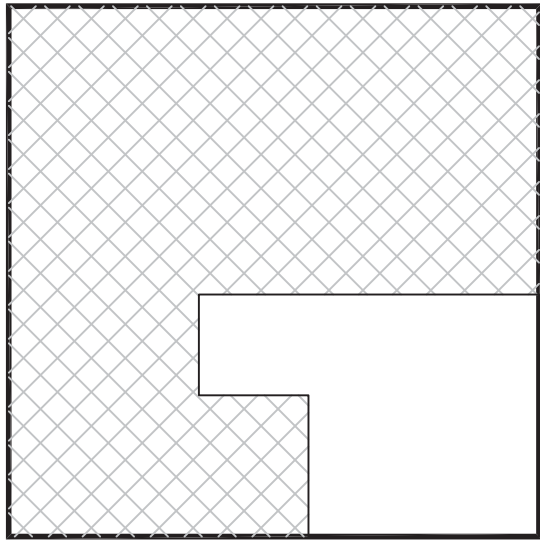
- THE CONTRACTOR MUST NOTIFY THE OPEN SPACE DEVELOPMENT SECTION OF THE CITY OF BRAMPTON PRIOR TO COMMENCEMENT OF ANY PLANTING.
- THE LOCATIONS OF ALL THE TREES ON STREET FRONTAGES MUST BE APPROVED BY THE OPEN SPACE DEVELOPMENT SECTION OF THE CITY OF BRAMPTON PRIOR TO THEIR INSTALLATION.
- THE OWNER IS REQUIRED, UPON COMPLETION OF ALL LANDSCAPE WORKS, TO SUBMIT AN ACCEPTANCE CERTIFICATE PREPARED BY A CERTIFIED AND REGISTERED GOLA LANDSCAPE ARCHITECT TO THE OPEN SPACE DEVELOPMENT SECTION AND TO REQUEST AN INSPECTION BY THE OPEN SPACE SECTION.
- ALL LANDSCAPE WORKS WILL BE GUARANTEED FOR ONE YEAR FOLLOWING INSPECTION. PLANT MATERIAL, WHICH IS NOT IN HEALTHY GROWING CONDITION ONE YEAR AFTER INSPECTION, SHALL BE REPLACED TO THE SATISFACTION OF THE CITY OF BRAMPTON WITH AN ADDITIONAL ONE-YEAR MAINTENANCE GUARANTEE PERIOD. SUPPLY AND PLANT ALL REPLACEMENTS IN STRICT ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- SOO THAT IS DAMAGED OR MISSING ON THE PUBLIC BOULEVARD IS TO BE REPAIRED/INSTALLED AT THE OWNER'S EXPENSE.
- ANY CHAIN LINK FENCING AND COMPONENTS THAT ARE INSTALLED SUBSEQUENT TO SITE PLAN APPROVAL, SHALL HAVE BLACK GLOSS ENAMEL FINISH BY POWDER COATING APPLICATION PRIOR TO APPLICATION OF FINISH. TREAT WITH PARKER CONCRETE AND CHLOROTHENE SOLVENT APPLIED IN A THICKNESS OF 4-5 MILS BY ELECTROSTATIC COAT AND OVER CURED FOR A SMOOTH AND EVEN SURFACE. ALL CHAIN LINK FABRIC ALSO TO BLACK VINYL COATED.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TREE PITS AND SHRUB BEDS.
- ALL T-BARS TO BE REMOVED AT THE CONCLUSION OF THE WARRANTY PERIOD, UNLESS OTHERWISE SPECIFIED BY THE OPEN SPACE SECTION OF THE CITY OF OAKVILLE.
- ANY TRANSFORMER INSTALLED SUBSEQUENT TO THE SITE PLAN APPROVAL SHALL BE SCREENED WITH PLANT MATERIAL TO THE SATISFACTION OF THE CITY OF OAKVILLE AND MEET ALL REQUIREMENTS OF HYDRO ONE OAKVILLE PLANTING SETBACKS.
- ANY DAMAGE DUE TO CONSTRUCTION, INCLUDING ANY DAMAGES BEYOND THE PROPERTY LINE, WILL BE REQUIRED TO BE IDENTIFIED AND REINSTATED BY THE APPLICANT AND AT THEIR EXPENSE TO THE SATISFACTION OF THE CITY OF OAKVILLE.

GENERAL NOTES

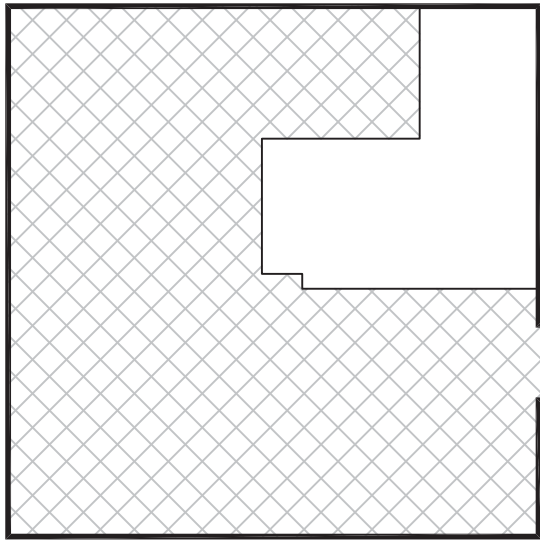
- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D.310.010
- DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- LAWN AND SHALES SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 6%.
- WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1.
- GRADE CHANGES IN EXCESS OF 10M ARE TO BE ACCOMPLISHED BY USE OF RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL DISTURBED AREAS MUST BE SEEDED OR SOOED. TOPSOIL TO BE AT LEAST 100MM.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 12M.
- GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY WHERE NEW DEVELOPMENTS ADJACENT TO EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STORING A 3% GRADE BETWEEN THE UNITS.
- DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE FILL.
- WHEREVER POSSIBLE, A 6M SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
- IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THE PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF OAKVILLE PLANNING DESIGN AND DEVELOPMENT DEPARTMENT, ENGINEERING AND DEVELOPMENT SERVICES DIVISION, CITY HALL, 3RD FLOOR.
- ALL SURFACE DRAINAGE SHALL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTERLINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOP OF 2% AND A MAXIMUM SLOPE OF 6%.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF OAKVILLE AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.



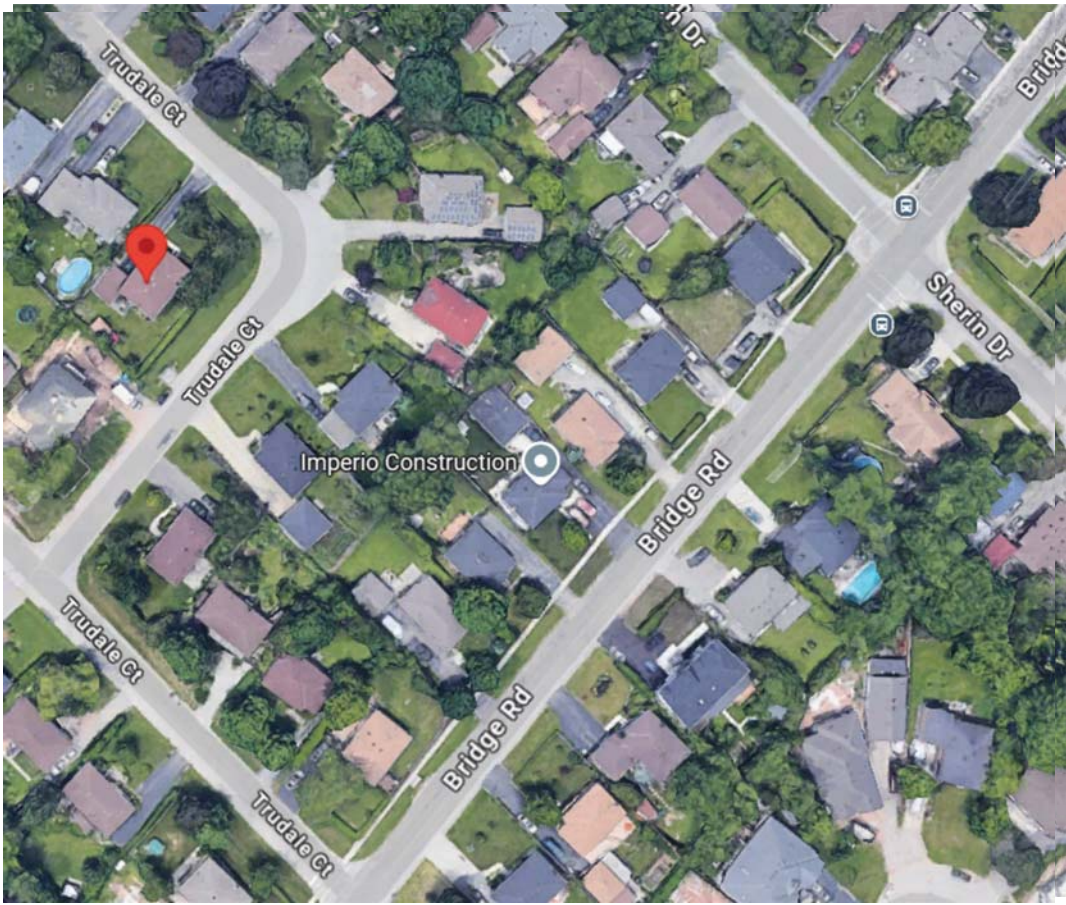
LOT COVERAGE  
216.60 SQM



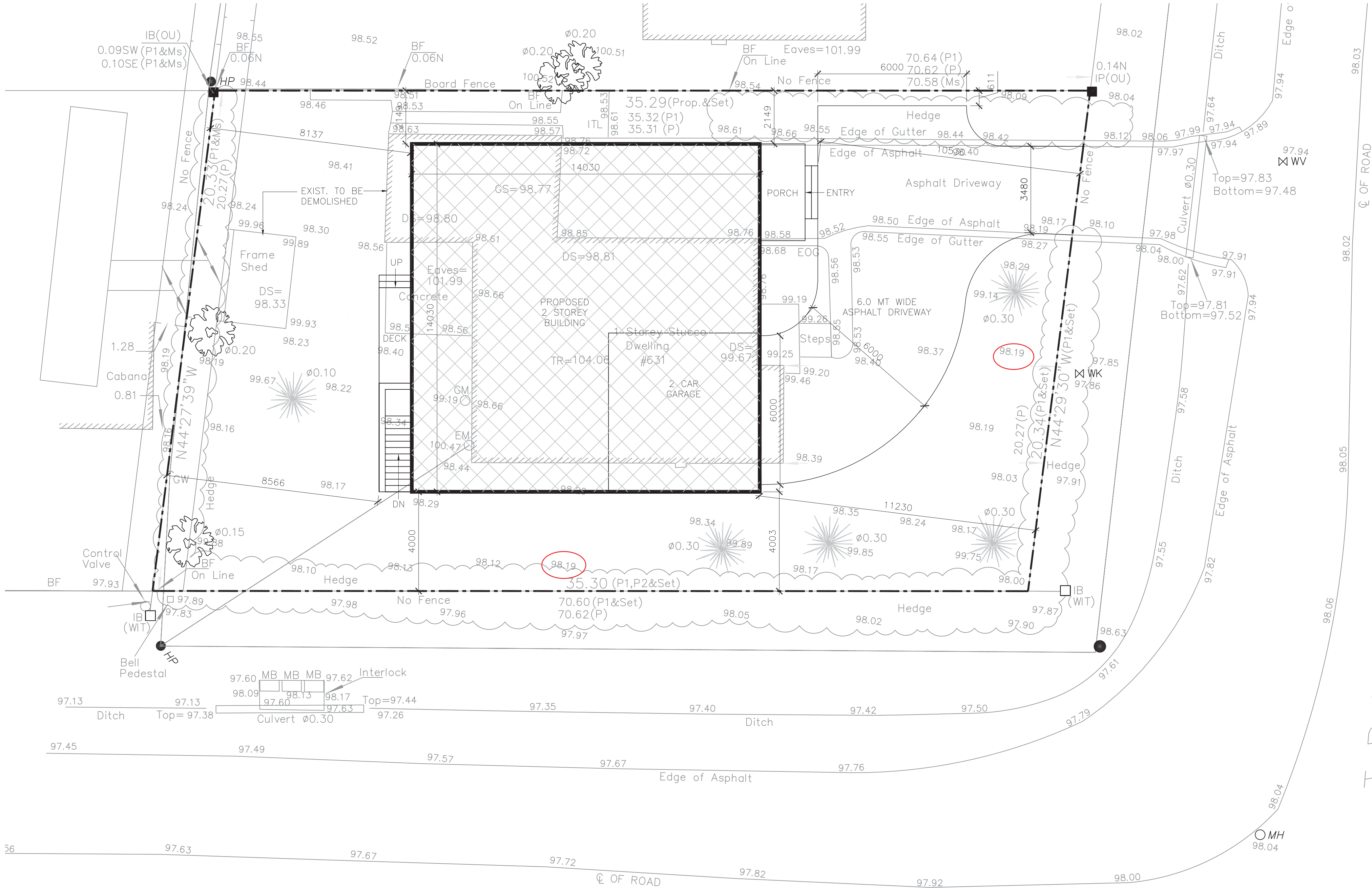
GFA FIRST FLOOR  
150.03 SQM



GFA SECOND FLOOR  
157.83 SQM



KEY PLAN  
NTS



SURVEYOR'S REAL PROPERTY REPORT (PART 1)  
SHOWING TOPOGRAPHIC FEATURES  
LOT 114, REGISTERED PLAN 646  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1:200  
5 0 5 10 Metres

GRAD SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
© 2024

LEGEND

LV-LIGHT WELL

--- DENOTES PROPERTY LINE

--- DENOTES DEMOLITION

--- DENOTES ASPHALT

--- DENOTES NEW BUILDING

X TREE TO BE REMOVED

SITE STATISTICS

ZONE	= R3L-0
FRONT SETBACK REQUIRED	= 7.5-11 = 6.5M
FRONT SETBACK PROPOSED	= 10.53M
REAR SETBACK REQUIRED	= 7.50M
REAR SETBACK PROPOSED	= 7.50M
SIDE YARD REQUIRED IF ATTACHED GARAGE	= 1.20M
SIDE YARD PROPOSED	= 2.15M
FLANKING SIDE YARD REQUIRED	= 3.50M
FLANKING SIDE YARD PROPOSED	= 4.00M
MAXIMUM BUILDING HEIGHT	= 9.00M
BUILDING HEIGHT PROPOSED	= 9.99M
LOT AREA	= 712.28 SQM (7,667 SFT)
LOT COVERAGE ALLOWED @35 %	= 249.29 SQM (2,683 SFT)
LOT COVERAGE PROPOSED (30.4%)	= 216.60 SQM (2,332 SFT)
ALLOWABLE RESIDENTIAL FLOOR AREA @41%	= 292.03 SQM (3,143 SFT)
FIRST FLOOR RESIDENTIAL FLOOR AREA	= 150.03 SQM (1,615 SFT)
SECOND FLOOR AREA	= 157.83 SQM (1,699 SFT)
PROPOSED RESIDENTIAL FLOOR AREA @43.2%	= 307.86 SQM (3,314 SFT)

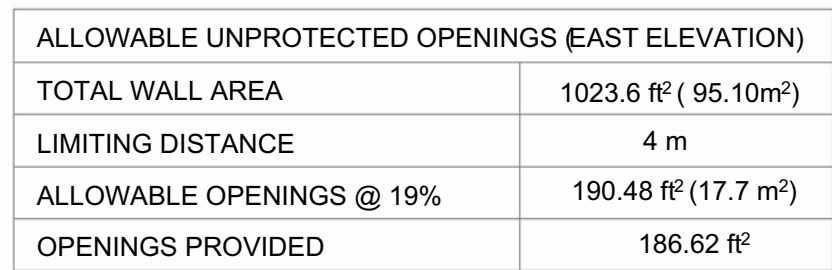
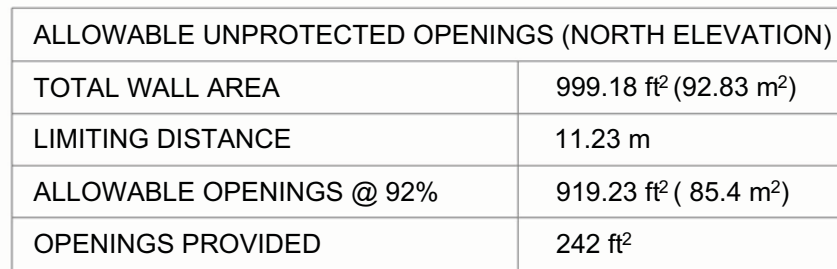
1	BUILDING PERMIT	NOV 25/2024
NO.	DESCRIPTION	DATE
DRAWING ISSUE AND/OR REVISION NOTES		
CONTRACTOR SHALL CHECK AND VERIFY ALL LAYOUT CONDITIONS, DIMENSIONS AND OTHER CONDITIONS WHICH AFFECT THE LAYOUT AND CONSTRUCTION OF THE WORK. CONTRACTOR SHALL REPORT ALL DIMENSIONAL AND/OR INFORMATION AND/OR INSTRUCTION DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. ANY WORK NECESSARY TO COMPLY WITH THE LATEST ONTARIO BUILDING CODE SHALL BE PERFORMED AT NO EXTRA COST TO OWNER. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS SHALL REMAIN THE PROPERTY OF THE CONSULTANTS AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT. NO PORTIONS OF THE CONTRACT DOCUMENTS MAY BE USED IN ANY FORM FOR ANY DESIGN AND/OR CONSTRUCTION PROJECT OTHER THAN THE PROJECT FOR WHICH THESE DOCUMENTS WERE ORIGINALLY PREPARED AND ISSUED BY THE CONSULTANTS.		
PROFESSIONAL SEALS:		
PROPOSED RESIDENCE 631 TRUDALE COURT OAKVILLE		
PROJECT NO:	2429	
CAD FILE NAME:	HLS/SC	
DRAWN/CHECKED:	SCALE: AS NOTED	
DRAWING NO:	A1	



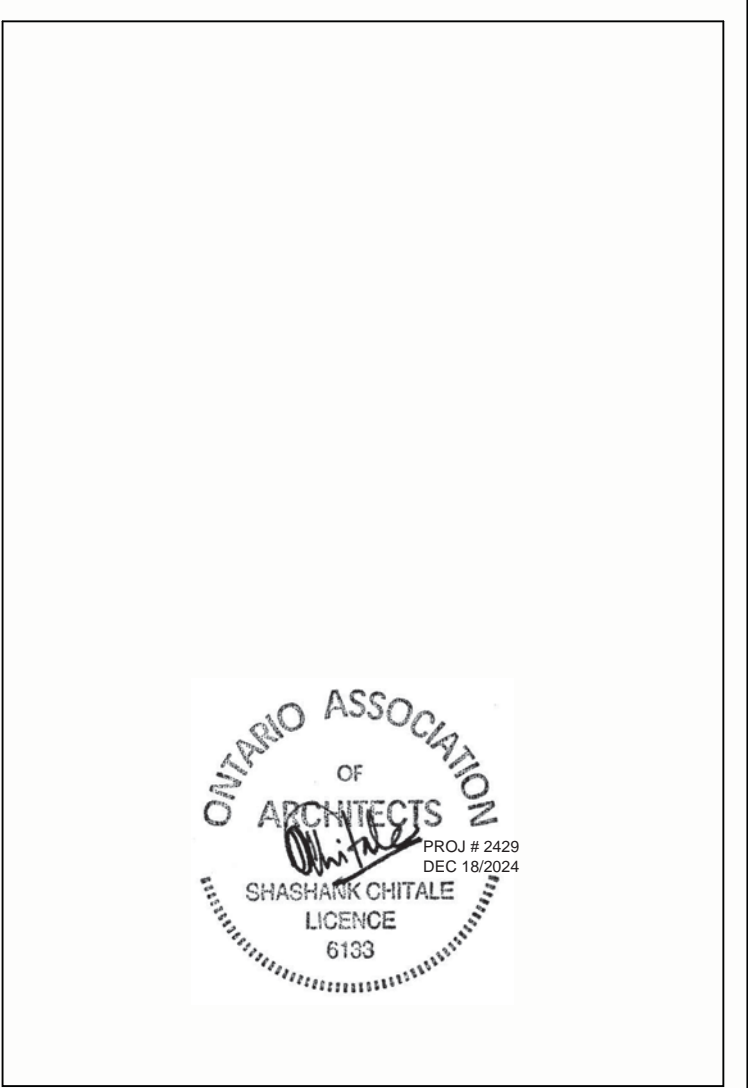

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
PROJ # 2429  
OAC 185024  
SHASHANK CHITALE  
LICENCE  
6133



1109 Britannia Road E, Mississauga,  
Ontario L4W 3X1  
O: 905 564 1154, M: 416 669 6564, 416 728 1807  
[www.antrix.ca](http://www.antrix.ca)








No.	Issued For	Date
A	ISSUED FOR PERMIT	11-12-24

631 Trudale Court, Oakville	
PROPOSED RESIDENCE	
<h1>South &amp; West Elevation</h1>	
Project number	2429
Date	11-12-2024
Drawn by	HL
Checked by	SC
<h1>A5</h1>	
Scale	1/4" = 1'-0"

South & West Elevation	
Project number	2429
Date	11-12-2024
Drawn by	HL
Checked by	SC
A5	
Scale	1/4" = 1'-0"

Project number	2429
Date	11-12-2024
Drawn by	HL
Checked by	SC
	
Scale	1/4" = 1'-0"

A5	
Scale	1/4" = 1'-0"



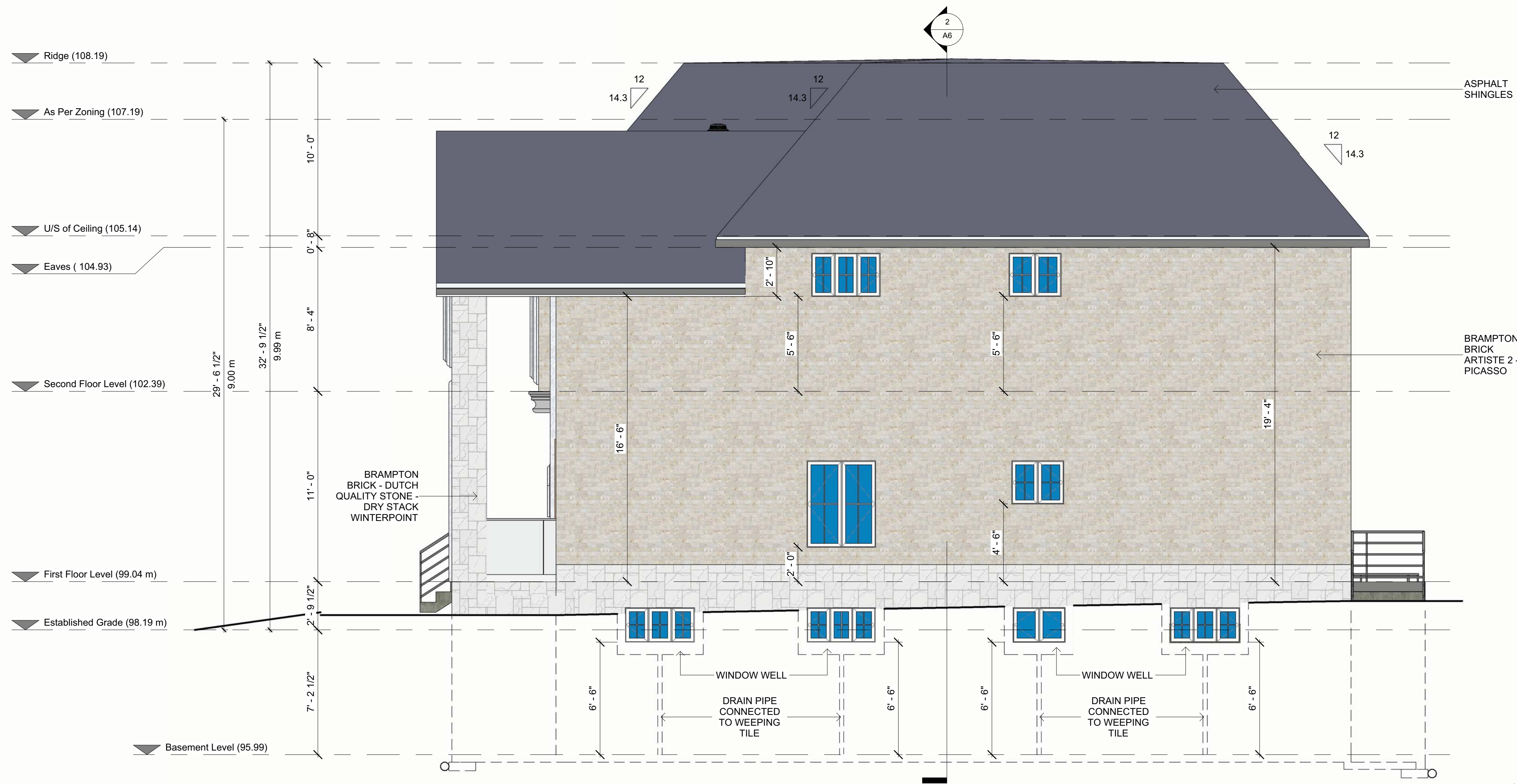
**ANTRIX**  
ARCHITECTS INC.

1109 Britannia Road E, Mississauga,  
Ontario L4W 3X1  
O: 905 564 1154, M: 416 669 6564, 416 728 1807  
[www.antrix.ca](http://www.antrix.ca)



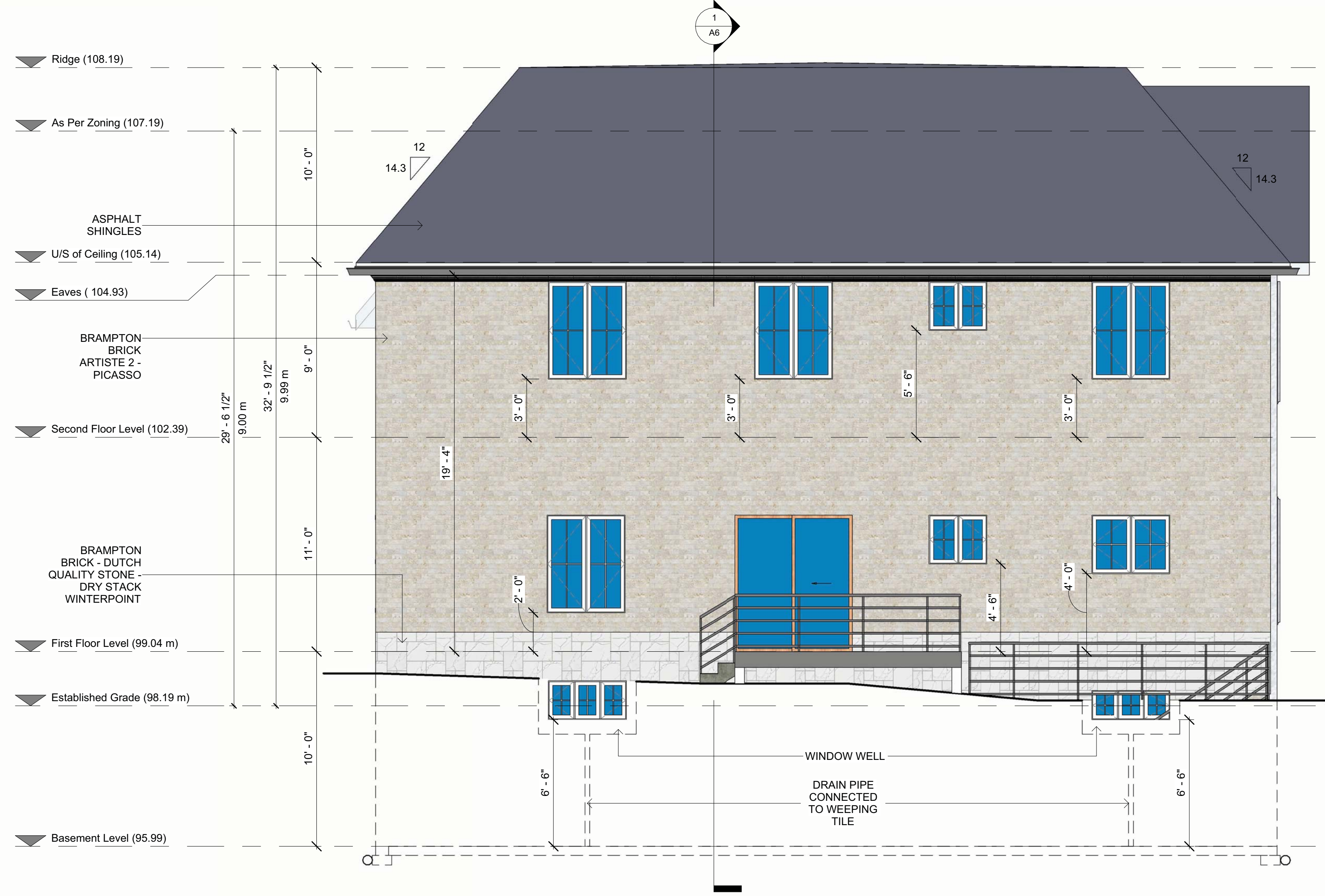
**ANTRIX**  
ARCHITECTS INC.

1109 Britannia Road E, Mississauga,  
Ontario L4W 3X1  
O: 905 564 1154, M: 416 669 6564, 416 728 1807  
[www.antrix.ca](http://www.antrix.ca)



**1 West Elevation**  
1/4" = 1'-0"

ALLOWABLE UNPROTECTED OPENINGS (EAST ELEVATION)	
TOTAL WALL AREA	953.43 ft <sup>2</sup> (88.58 m <sup>2</sup> )
LIMITING DISTANCE	2.15 m
ALLOWABLE OPENINGS @ 10%	95.3 ft <sup>2</sup> (8.8 m <sup>2</sup> )
OPENINGS PROVIDED	44.73 ft <sup>2</sup>



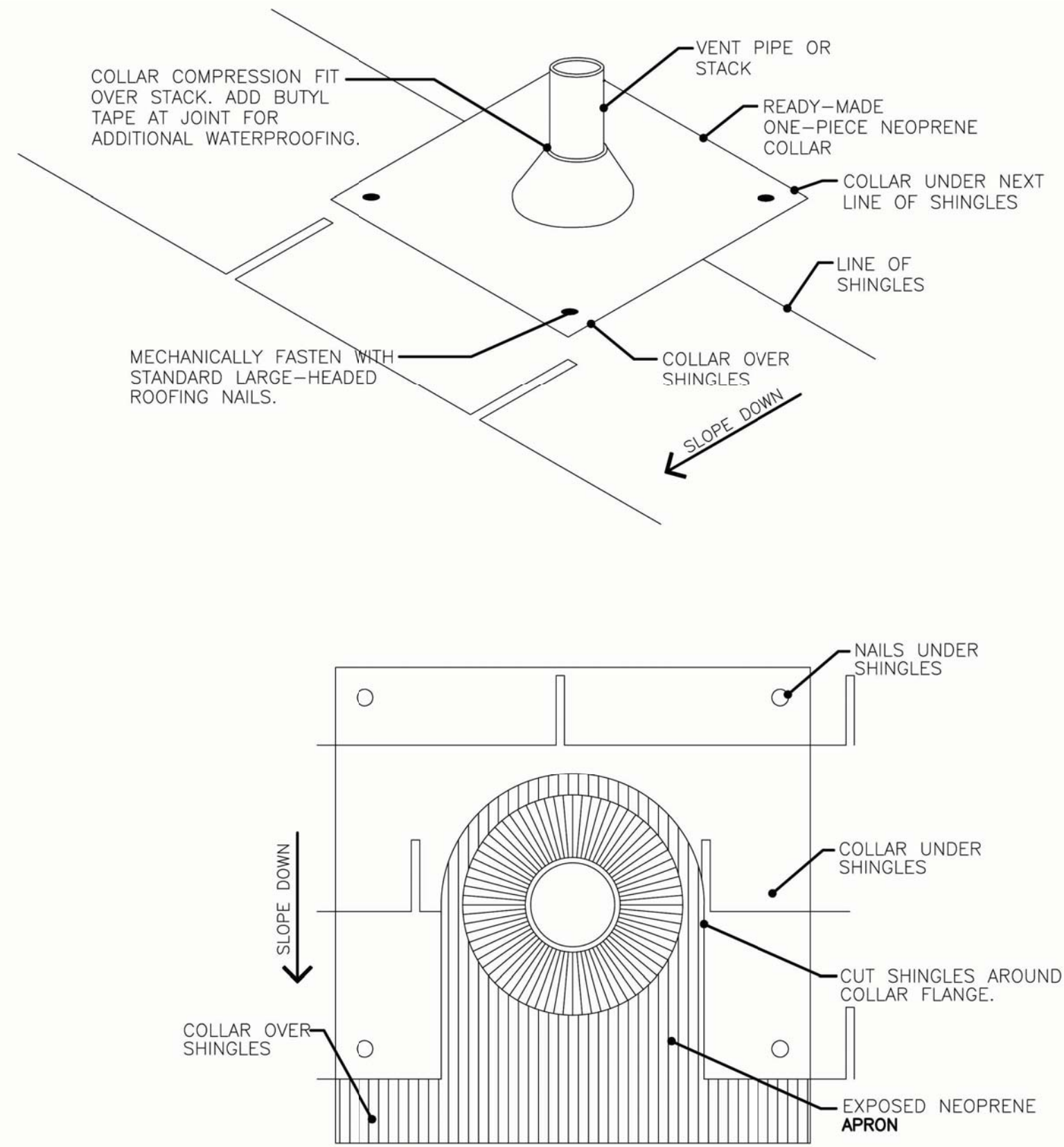
**2 South Elevation**  
1/4" = 1'-0"

ALLOWABLE UNPROTECTED OPENINGS (EAST ELEVATION)	
TOTAL WALL AREA	1013 ft <sup>2</sup> (94.11 m <sup>2</sup> )
LIMITING DISTANCE	8.13 m
ALLOWABLE OPENINGS @ 59.5%	602.73 ft <sup>2</sup> (56 m <sup>2</sup> )
OPENINGS PROVIDED	148.2 ft <sup>2</sup>

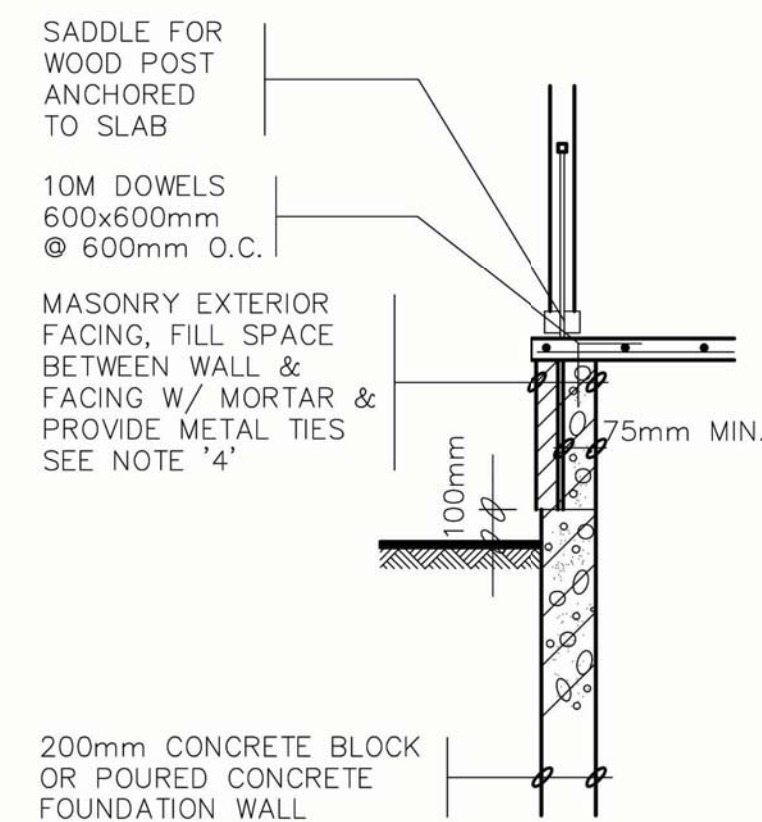
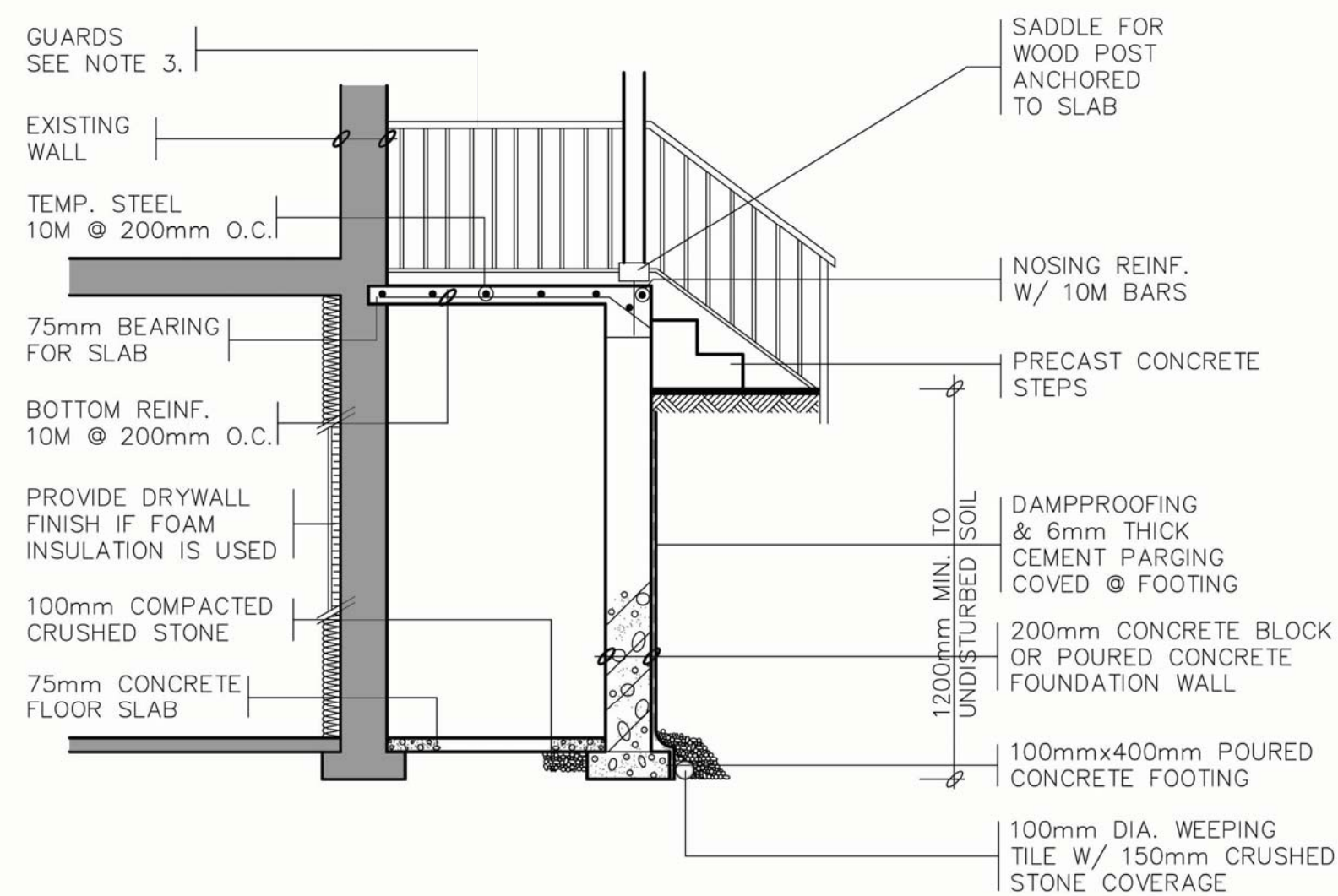
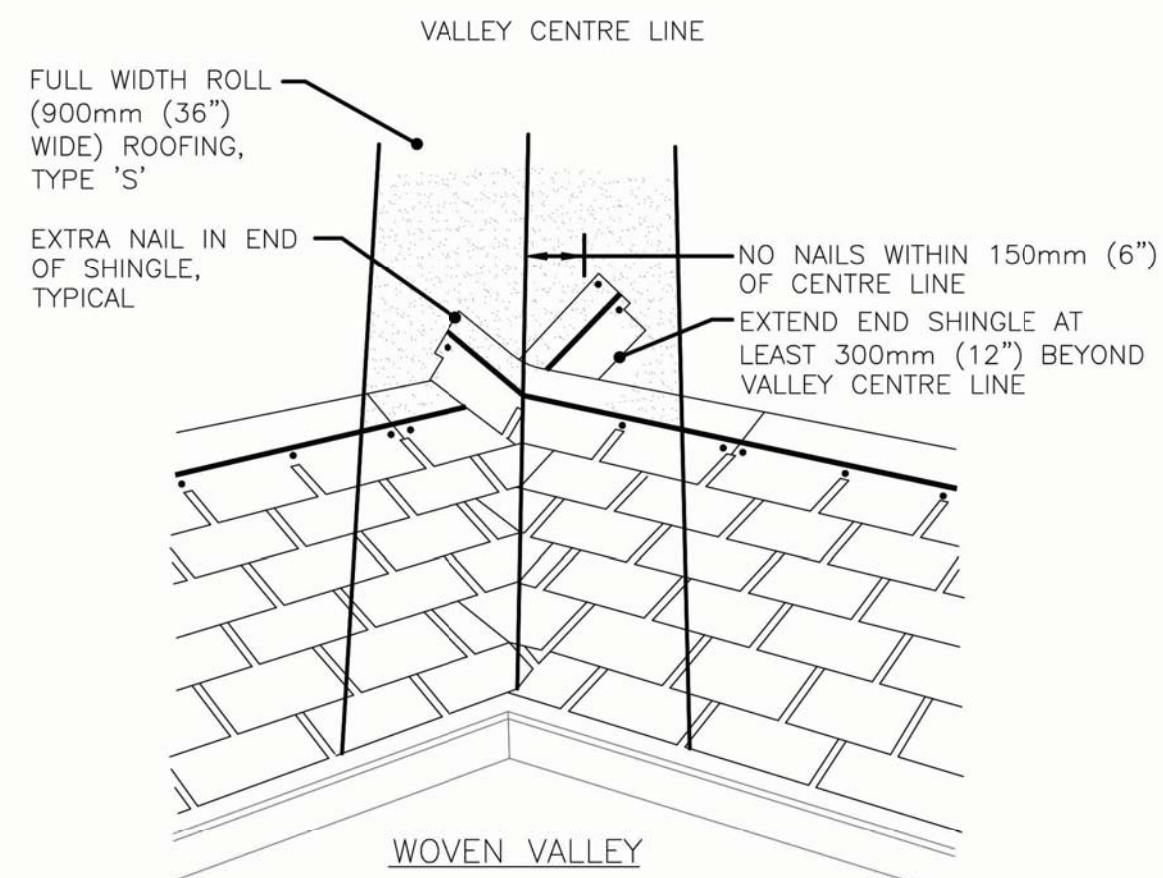








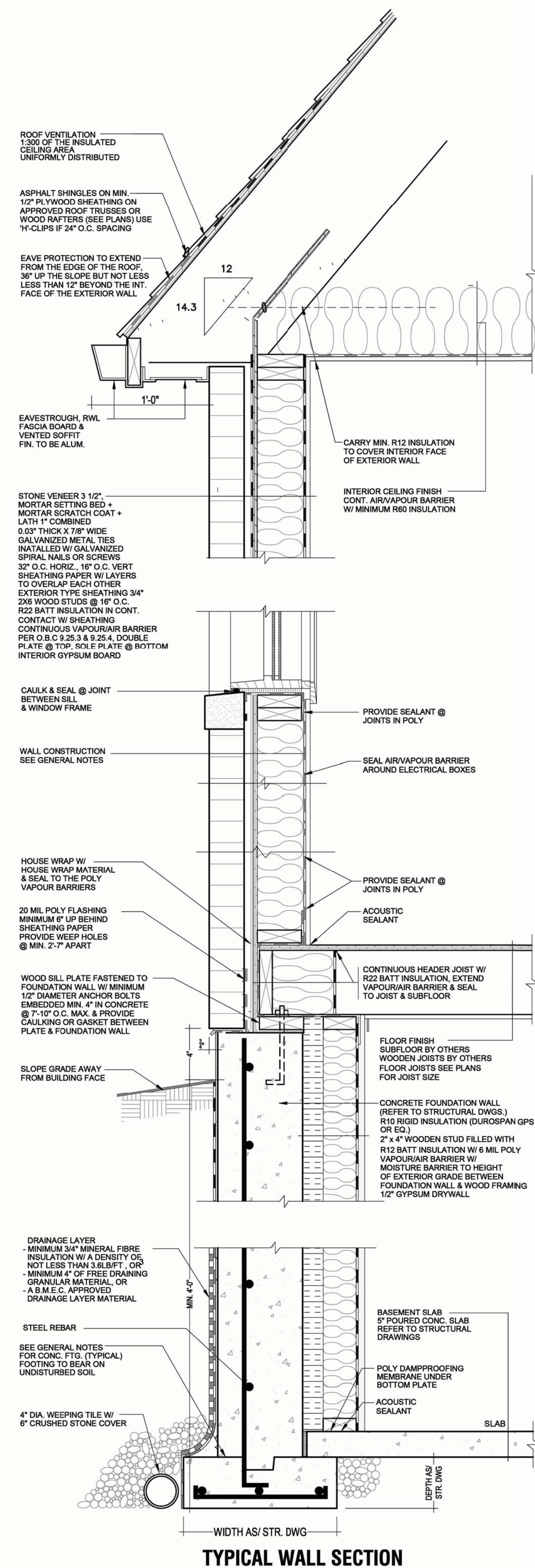
1. CONCRETE TO BE 25 MPa AT 28 DAYS
2. BACKFILL AFTER COMPLETION OF BASEMENT FLOOR SLAB OR TEMPORARY BRACING IS REQUIRED
3. THE DESIGN IS VALID IF WATER TABLE IS BELOW THE FOOTING.
4. SEE ARCHITECTURAL DRAWINGS FOR OTHER INFORMATION.



## SECTION 'B'

## 1. EXTERIOR STAIRS

1. EXTERIOR STAIRS  
 125mm – 200mm RISE  
 2100mm – 355mm RUN  
 235mm – 355mm TREAD  
 STEPS ARE TO BE UNIFORM  
 THROUGHOUT FLIGHT
  2. HANDRAILS  
 ARE REQUIRED WHERE STEPS HAVE MORE THAN  
 3 RISERS. HANDRAIL HEIGHT 800mm – 965mm
  3. GUARDS  
 ARE REQUIRED AROUND CONCRETE  
 SLAB IF MORE THAN 600mm ABOVE  
 GRADE & ON BOTH SIDES OF STAIRS  
 MINIMUM 900mm HIGH FOR STAIRS  
 MINIMUM 900mm HIGH FOR PORCHES  
 UP TO 1800mm ABOVE GRADE.  
 MINIMUM 1070mm HIGH FOR GREATER HTS.  
 MAXIMUM 100mm BETWEEN PICKETS AND  
 NO MEMBER DESIGNED TO FACILITATE  
 CLIMBING BETWEEN 140mm & 900mm
  4. MASONRY TIES  
 WHEN BRICK FACING IS USED ABOVE  
 GROUND LEVEL, PROVIDE  
 0.76mm THICK & 22mm WIDE  
 CORROSION RESISTANT METAL TIES  
 @ 600mm HORIZ. & 500mm VERTICAL
  5. FOUNDATION WALLS  
 THICKNESS OF UNREINFORCED FOUNDATION WALLS LATERALLY  
 SUPPORTED AT THE TOP ARE DEPENDANT UPON HEIGHT OF  
 FINISH GRADE ABOVE BASEMENT FLOOR  
 UNIT MASONRY THICKNESS 190mm – MAX. HEIGHT 1200mm  
 UNIT MASONRY THICKNESS 240mm – MAX. HEIGHT 1800mm  
 UNIT MASONRY THICKNESS 290mm – MAX. HEIGHT 2200mm
  6. CONCRETE  
 MINIMUM CONCRETE STRENGTH SHALL BE  
 32mpa W/ 5%–8% AIR ENTRAINMENT  
 CONCRETE SLAB THICKNESS 125mm  
 PROVIDE MIN. 30mm CLEAR CONCRETE  
 COVER TO REINFORCING BARS



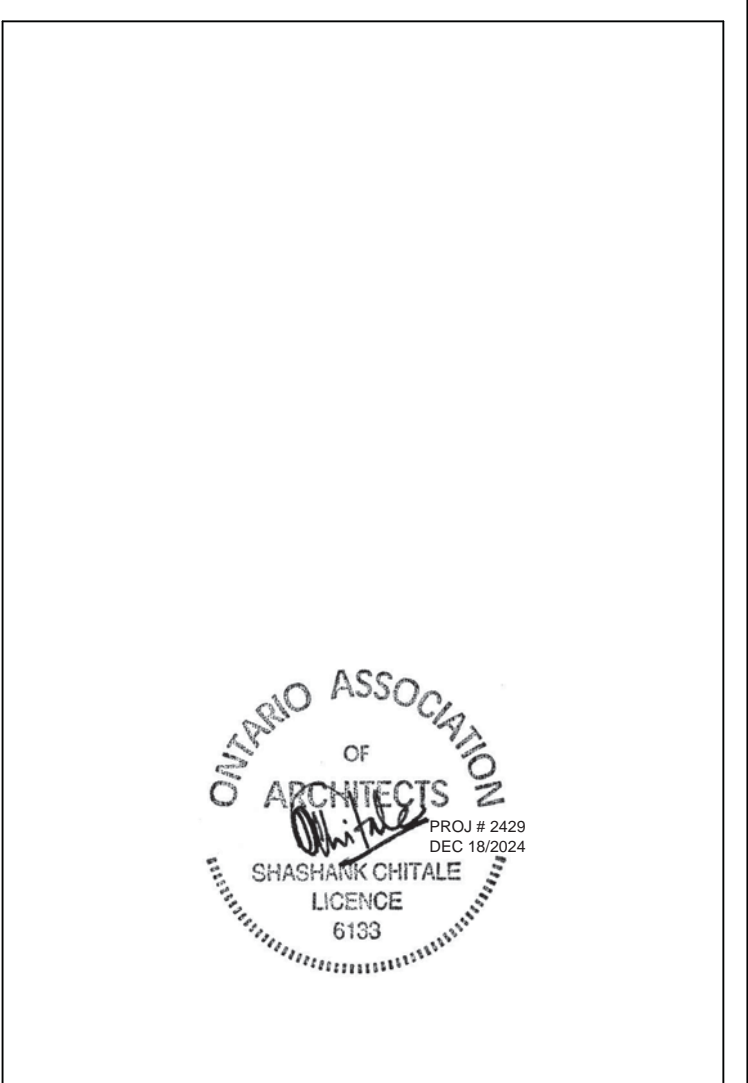

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Shashank Chitale*  
SHASHANK CHITALE  
LICENCE  
6133  
PROJ # 2429  
DEC 18/2024

[illegible]

631 Trudale Court, Oakville

Project number	2429
Date	11-12-2024
Drawn by	Author
Checked by	Checker
A7	
Scale	NTS






No.	Issued For	Date
A	ISSUED FOR PERMIT	11-12-24

631 Trudale Court, Oakville	
PROPOSED RESIDENCE	
Basement & Roof Plan	
Project number	2429
Date	11-12-2024
Drawn by	HL
Checked by	SC
A3	
Scale	1/4" = 1'-0"

Basement & Roof Plan	
Project number	2429
Date	11-12-2014
Drawn by	HL
Checked by	SC
A3	
Scale	1/4" = 1'-0"

Project number	2429
Date	11-12-2024
Drawn by	HL
Checked by	SC
	
Scale	1/4" = 1'-0"

Date	11-12-2024
Drawn by	HL
Checked by	SC
A3	
Scale	1/4" = 1'-0"

Checked by	SC
A3	
Scale	1/4" = 1'-0"

A3	
Scale	1/4" = 1'-0"



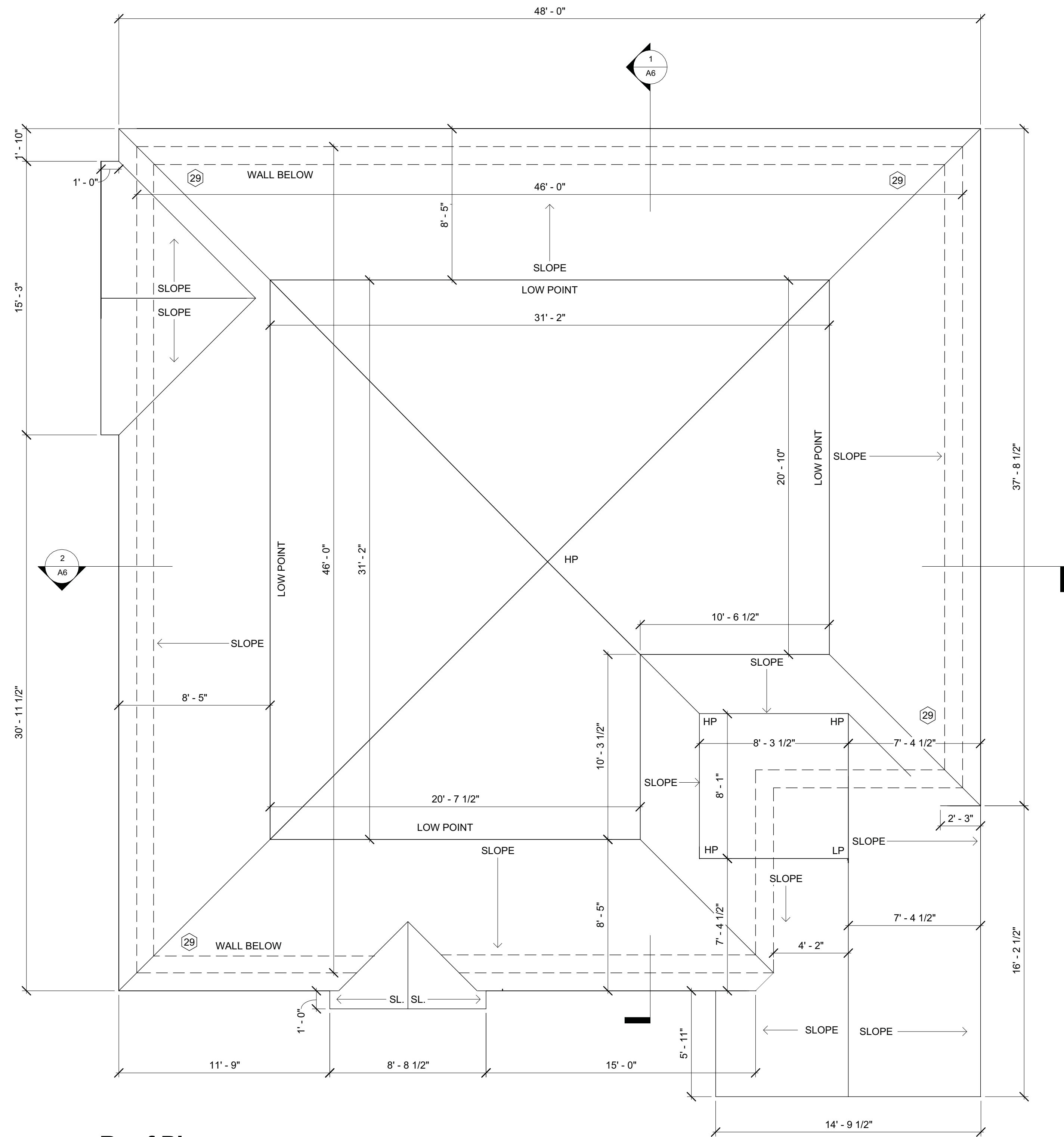
**ANTRIX**  
ARCHITECTS INC.

1109 Britannia Road E, Mississauga,  
Ontario L4W 3X1  
O: 905 564 1154, M: 416 669 6564, 416 728 1807  
[www.antrix.ca](http://www.antrix.ca)



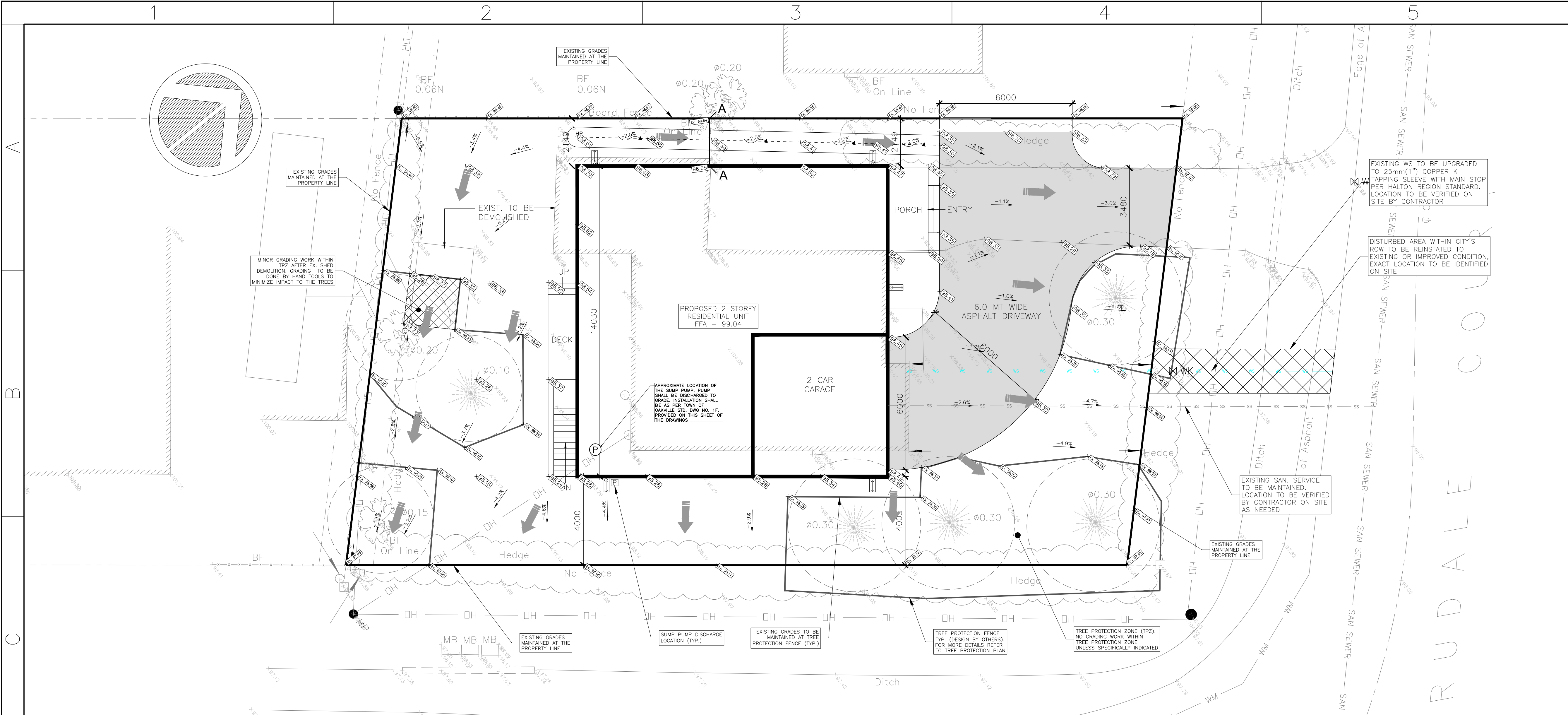
**ANTRIX**  
ARCHITECTS INC.

1109 Britannia Road E, Mississauga,  
Ontario L4W 3X1  
O: 905 564 1154, M: 416 669 6564, 416 728 1807  
[www.antrix.ca](http://www.antrix.ca)



**2 Roof Plan**  
1/4" = 1'-0"





DISCLAIMER:  
1. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF A.S. CHAHAL ENGINEERING SERVICES LTD. AND THE REPRODUCTION OF ANY PART WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.  
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.  
3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.  
4. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

SURVEY WAS CONDUCTED ON AUGUST 21, 2024 BY GRAD SURVEYING.  
ELEVATION NOTE:  
ELEVATION SHOWN HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK #152 HAVING A PUBLISHED VALUE OF 93.755 METRES.  
BEARING NOTE:  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF TRUDALE COURT HAVING A BEARING OF N38°36'00"E.

KEY MAP:  
[Aerial map showing the project location within the surrounding neighborhood, with labels for 'TRUDALE COURT' and 'THIRD LINE'.]

- LEGEND:
- 211.78 EXISTING ELEVATION
  - 211.78 PROPOSED ELEVATION
  - 211.78 EXISTING ELEVATION MAINTAINED
  - OVERLAND FLOW DIRECTION
  - LIGHT DUTY ASPHALT
  - PROPOSED SWALE
  - PROPOSED ROOF LEADER
  - TREE PROTECTION FENCE (BY OTHERS)
  - TREE PROTECTION ZONE (BY OTHERS)
  - PROPOSED WATER SERVICE
  - EXISTING SAN. SERVICE
  - EXISTING WATERMAIN
  - EXISTING SAN. SEWER

REV.	DATE	DESCRIPTION	BY
2	2025-01-06	REISSUED FOR PERMIT	AC
1	2024-12-08	ISSUED FOR PERMIT	AC
0	2024-11-24	ISSUED FOR COORDINATION	AC

CLIENT:  
**ANTRIX** ARCHITECTS  
1109 BRITANNIA ROAD EAST, MISSISSAUGA  
ON L4W 3X1, PHONE: 905 564 1154

CIVIL ENGINEER:  
**A.S. CHAHAL**  
ENGINEERING SERVICES LTD.  
T: 416-828-8449  
E: info@aschahal.ca

ENGINEER:  
[Professional Engineer Seal for A.S. Chahal, License No. 100533729, Province of Ontario]

SITE: 631 TRUDALE COURT  
OAKVILLE, ON

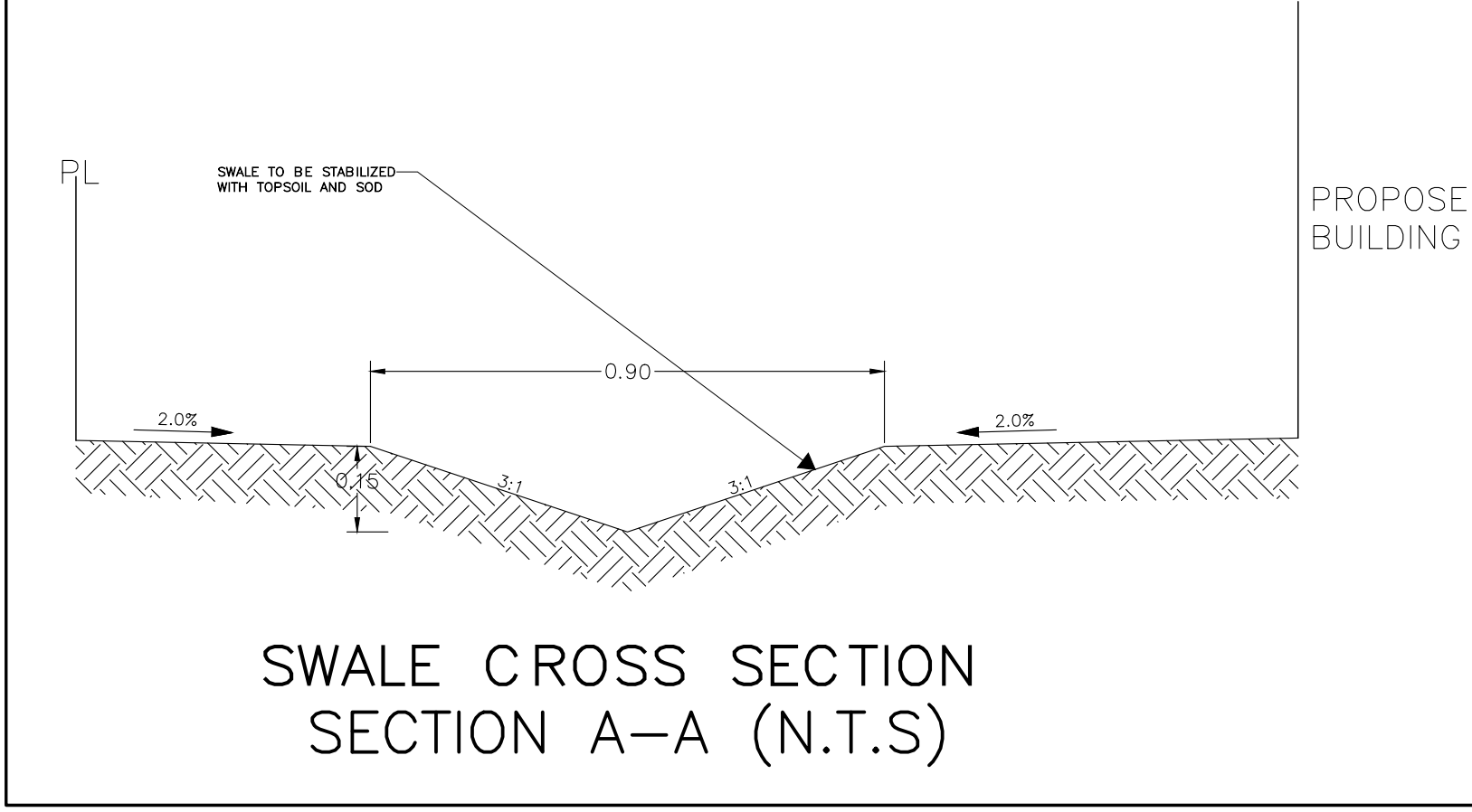
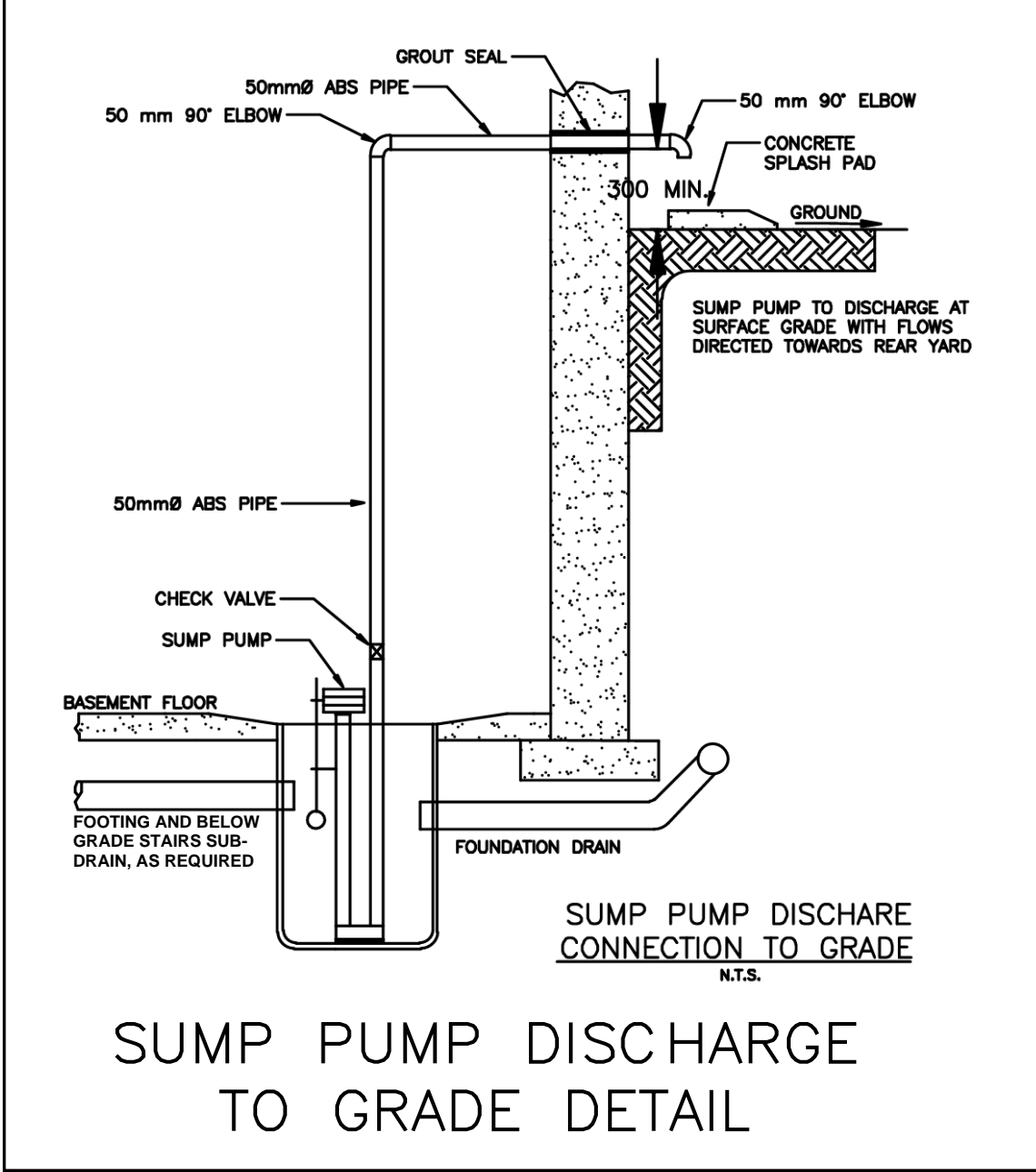
TITLE: GRADING AND SERVICING PLAN

SCALE: 1:100	DATE: 11/23/2024	DRAWN: AC	CHECKED: AC
PROJECT NO: F24-010	SHEET NO: C-103	REVISION: 1	

- GENERAL CONSTRUCTION NOTES:
- MAINTAIN A COPY OF PERMIT ON THE SITE.
  - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH TOWN OF OAKVILLE STANDARDS, OPSD AND OPSS. WHERE CONFLICT OCCURS, TOWN OF OAKVILLE STANDARDS TO GOVERN.
  - NOTIFY ALL SUBCONTRACTORS AND SUPPLIERS OF APPROVED ACCESS ROUTES TO THE SITE AND ENSURE COMPLIANCE WITH THESE INSTRUCTIONS.
  - ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
  - THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.
  - THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.
  - THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
  - PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE

- ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS.
- ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS.
- ALL DISTURBED AREAS DURING CONSTRUCTION MUST BE RESTORED TO THE ORIGINAL CONDITION OR BETTER. ALL GRASS OR VEGETATION COVERED AREAS MUST BE RESTORED BY PLACING MINIMUM 100mm APPROVED TOPSOIL AND SEEDING OR SODDED TO THE SATISFACTION OF THE TOWN/CITY.
- SILT FENCE IS TO BE INSTALLED PRIOR TO STRIPPING TOPSOIL AND TO BE MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE.
- MUD-MAT TO BE CONSTRUCTED PRIOR TO COMMENCING CONSTRUCTION AND TO BE MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE.
- MONITOR AND MAINTAIN ALL EXISTING ROAD AND STORM DRAINAGE SYSTEM
- MAINTAIN ALL ROADS IN SAME OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF WORK AND KEEP ALL ROAD FREE FROM ANY MATERIALS OR EQUIPMENT ARISING FROM THE WORK SET OUT IN THE

- PERMIT.
- ANY ABOVE GROUND UTILITIES LOCATED WITHIN 1.5M OF A PROPOSED ACCESS ARE TO BE RELOCATED AT THE APPLICANT'S EXPENSE.
- STANDARD DRAWINGS OF CITY OF OSHAWA AND MINISTRY OF TRANSPORTATION ARE PART OF THE WORK.
- ALL DIMENSIONS MUST BE CHECKED AND CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE CONSTRUCTION.
- ALL CONTRACTORS MUST ROUGH GRADE THE SITE WITHIN 600mm OF FINISHED GRADE PLUS OR MINUS 100mm AS SHOWN ON THE GRADING PLAN.
- ALL CONSTRUCTION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENT OF OCCUPATIONAL HEALTH AND SAFETY ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- ALL CONSTRUCTION SIGNAGE MUST CONFORM TO M.T.O. MANUAL "UNIFORM TRAFFIC CONTROL DEVICE" LATEST EDITION.
- NO GRADING WORK WITHIN THE TREE PROTECTION ZONE EXCEPT AS SPECIFICALLY INDICATED.

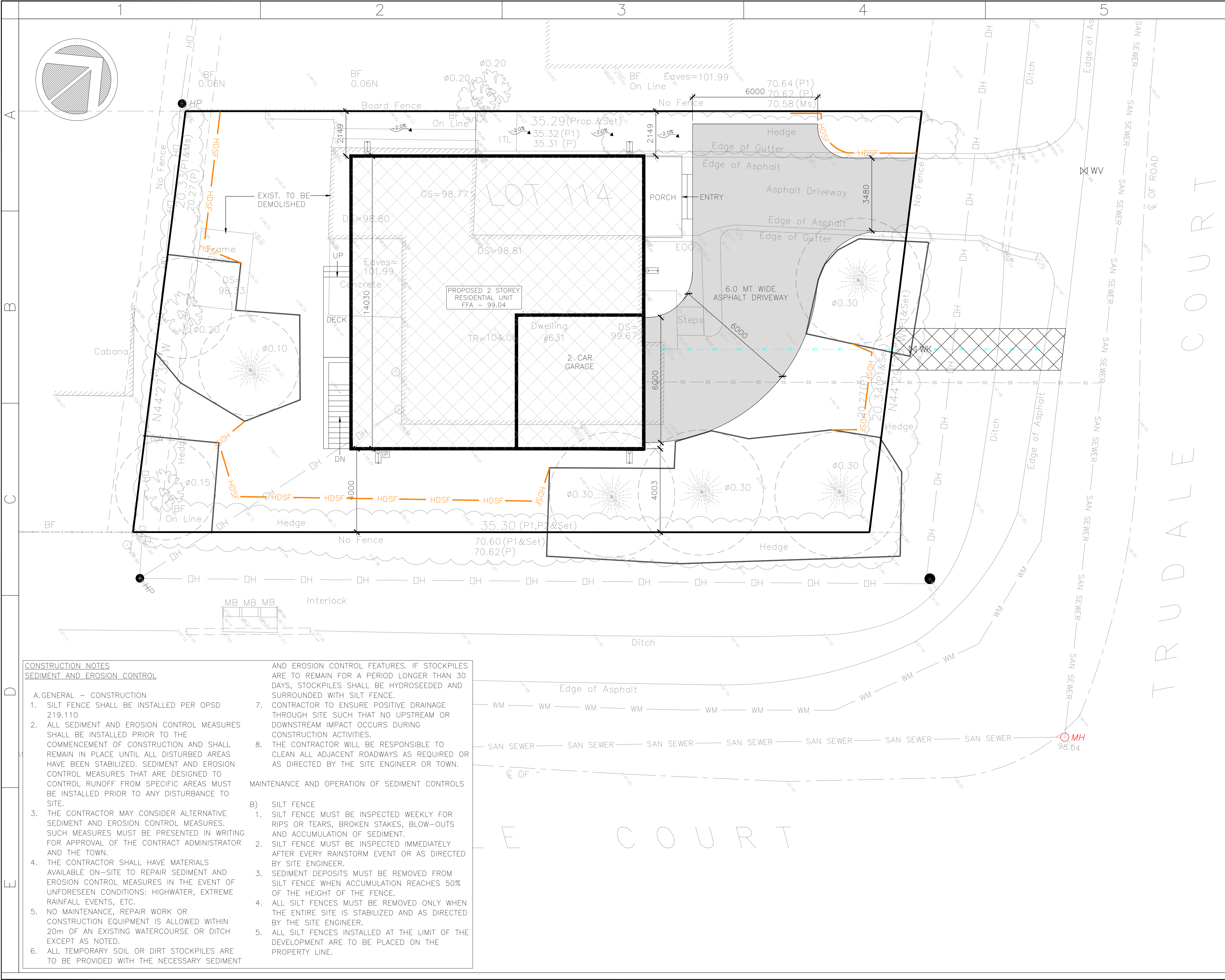


As per OBC 9.14.6.1.(1), I certify that the building will be located and the site grading has been designed so that it will not adversely affect adjacent properties.

Design Engineer: ARSHVEER S. CHAHAL

Signature: [Signature]





CONSTRUCTION NOTES  
SEDIMENT AND EROSION CONTROL

- A. GENERAL – CONSTRUCTION
1. SILT FENCE SHALL BE INSTALLED PER OPSD 219.110
  2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. SEDIMENT AND EROSION CONTROL MEASURES THAT ARE DESIGNED TO CONTROL RUNOFF FROM SPECIFIC AREAS MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE.
  3. THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING FOR APPROVAL OF THE CONTRACT ADMINISTRATOR AND THE TOWN.
  4. THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON-SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS: HIGHWATER, EXTREME RAINFALL EVENTS, ETC.
  5. NO MAINTENANCE, REPAIR WORK OR CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN 20m OF AN EXISTING WATERCOURSE OR DITCH EXCEPT AS NOTED.
  6. ALL TEMPORARY SOIL OR DIRT STOCKPILES ARE TO BE PROVIDED WITH THE NECESSARY SEDIMENT

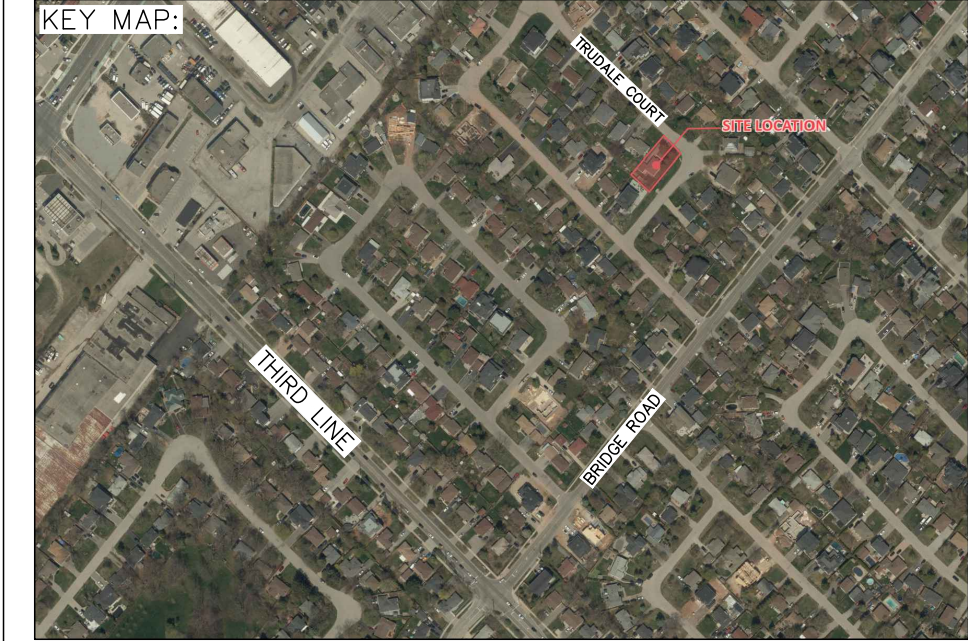
- AND EROSION CONTROL FEATURES. IF STOCKPILES ARE TO REMAIN FOR A PERIOD LONGER THAN 30 DAYS, STOCKPILES SHALL BE HYDROSEDED AND SURROUNDED WITH SILT FENCE.
7. CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGH SITE SUCH THAT NO UPSTREAM OR DOWNSTREAM IMPACT OCCURS DURING CONSTRUCTION ACTIVITIES.
  8. THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN ALL ADJACENT ROADWAYS AS REQUIRED OR AS DIRECTED BY THE SITE ENGINEER OR TOWN.

- MAINTENANCE AND OPERATION OF SEDIMENT CONTROLS
- B) SILT FENCE
1. SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
  2. SILT FENCE MUST BE INSPECTED IMMEDIATELY AFTER EVERY RAINSTORM EVENT OR AS DIRECTED BY SITE ENGINEER.
  3. SEDIMENT DEPOSITS MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
  4. ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE SITE ENGINEER.
  5. ALL SILT FENCES INSTALLED AT THE LIMIT OF THE DEVELOPMENT ARE TO BE PLACED ON THE PROPERTY LINE.

DISCLAIMER:  
1. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF A.S. CHAHAL ENGINEERING SERVICES LTD. AND THE REPRODUCTION OF ANY PART WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.  
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.  
3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.  
4. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

SURVEY WAS CONDUCTED ON AUGUST 21, 2024 BY GRAD SURVEYING.  
ELEVATION NOTE:  
ELEVATION SHOWN HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK #152 HAVING A PUBLISHED VALUE OF 93.755 METRES.

BEARING NOTE:  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF TRUDALE COURT HAVING A BEARING OF N38°36'00"E.



- LEGEND:
- HDSF — PROPOSED SILT FENCE
  - TREE PROTECTION FENCE (BY OTHERS)
  - TREE PROTECTION ZONE (BY OTHERS)

REV.	DATE	DESCRIPTION	BY
2	2025-01-06	REISSUED FOR PERMIT	AC
1	2024-12-08	ISSUED FOR PERMIT	AC
0	2024-11-24	ISSUED FOR COORDINATION	AC

CLIENT:

**ANTRIX**  
ARCHITECTS  
1109 BRITANNIA ROAD EAST, MISSISSAUGA  
ON L4W 3X1, PHONE: 905 564 1154

CIVIL ENGINEER:

**A.S. CHAHAL**  
ENGINEERING SERVICES LTD.  
T: 416-828-8449  
E: info@aschahal.ca

ENGINEER:

SITE: 631 TRUDALE COURT  
OAKVILLE, ON

TITLE: EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1:100	DATE: 11/23/2024	DRAWN: AC	CHECKED: AC
PROJECT NO: F24-014	SHEET NO: C-104	REVISION:	1





# THE PLANNING HUB

Address: 3050 Yorkville St,  
London, ON

Contact: +1-647-937-9524  
Email: saeshcorp@gmail.com

To,

**The Secretary Treasurer,**

**Committee of Adjustment**

Town of Oakville  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

**Subject: Minor Variance Application for 631 Trudale Court, Oakville**

Dear Secretary-Treasurer and Members of the Committee,

I am writing to submit a Minor Variance Application for the property located at 631 Trudale Court, Oakville. The current owner recently purchased this property with the intent to build a spacious and functional home that can accommodate a growing, multi-generational family while ensuring a high standard of living and architectural integrity. The proposal includes the demolition of the existing single detached dwelling unit and the construction of a new two-storey detached dwelling.

The proposed development maintains the permitted use of a single detached dwelling unit, in keeping with the established residential character of the surrounding neighbourhood. The community comprises a mix of original one- and two-storey dwellings, along with newly constructed two-storey homes that reflect contemporary living standards. Trudale Court is a quiet residential street with no sidewalks, and the subject property, being a corner lot, has a unique orientation that has influenced the proposed site layout.

The subject lands are designated 'Low Density Residential' as per Schedule F Southwest Land Use of the Official Plan of the Town of Oakville. Section 11.1.9 of the Official Plan sets out criteria to ensure that new developments within stable residential communities maintain and protect existing neighbourhood character.

The proposal has been evaluated against the applicable policies of Section 11.1.9, which states:

- a) The built form of development, including scale, height, massing, architectural character, and materials, must be compatible with the surrounding neighbourhood.
- b) Development should be compatible with setbacks, orientation, and separation distances within the surrounding neighbourhood.
- h) Impacts on adjacent properties should be minimized concerning grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.



The subject lands are zoned **Residential Low (RL3-0)** under **Zoning By-law 2014-014**. The following table compares the **permitted zoning regulations** under the **Residential Low (RL3-0) Zone** with the **proposed development parameters** for the subject property:

Zoning Regulation	Permitted	Proposed	Variance Required
Minimum Lot Area	557.5 sqm	712.28 sqm	No
Minimum Lot Frontage	18m	20.34m	No
Minimum Front Yard Setback	7.5m	10.53m	No
Minimum Flankage Yard Setback	3.5m	4.0m	No
Minimum Interior Side Yard Setback	1.2m (if garage attached)	2.15m	No
Minimum Rear Yard Setback	7.5m	7.5m	No
Maximum Number of Storeys	2 storeys	2 storeys	No
Maximum Building Height	9.0m	<b>10.02m</b>	<b>Yes</b>
Maximum Dwelling Depth	N/A	N/A	No
Maximum Residential Floor Area Ratio (FAR)	41%	<b>43.20%</b>	<b>Yes</b>
Maximum Lot Coverage for Dwelling Unit	35%	30.40%	No
Maximum Driveway Width	9.0m	<b>9.13m</b>	<b>Yes</b>

This table demonstrates that the proposed development complies with the majority of zoning regulations, with only three minor variances requested to enhance design functionality, efficiency, and site safety while preserving the integrity of the surrounding community.

#### **Requested Variances:**

1. To permit a **maximum building height of 10.02 meters**, whereas **9.0 meters is permitted** as per Zoning By-law 2014-014.
2. To permit a **maximum driveway width of 9.13 meters**, whereas **9.0 meters is permitted** as per Zoning By-law 2014-014.
3. To permit a **maximum residential floor area ratio of 43.2%**, whereas **41% is permitted** as per Zoning By-law 2014-014.

#### **Planning Justification:**

In accordance with Section 45(1) of the Planning Act, we have assessed these variances against the four required tests:

##### **1. Consistent with the General Intent and Purpose of the Official Plan**

The Liveable Oakville Plan aims to preserve and enhance neighbourhood character while supporting a range of housing options to meet diverse community needs.

- **Building Height & FAR:** The proposed height and floor area ratio support the construction of a functional and efficient home that incorporates modern building standards, HVAC systems,



enhanced insulation, and optimized ceiling heights. The additional height requested aims to accommodate these services and systems within concealed ceiling on each floor and the floor area is necessary for a well-balanced home design that meets the living requirements of a multi-generational household. The massing is proportionate to the lot size and respects the scale of other homes in the neighbourhood.

- **Driveway Width:** The proposed driveway width marginally exceeds the by-law standard to facilitate better vehicular access and manoeuvrability, particularly given the property's corner lot configuration. This slight modification is beneficial for safe entry and exit, while maintaining compatibility with surrounding properties and street safety.

## **2. General Intent and Purpose of the Zoning By-law**

- **Building Height:** The height restriction in the Zoning By-law aims to ensure consistent massing and avoid excessive overshadowing of adjacent properties. The requested variance of 1.02 meters is primarily to accommodate modern mechanical systems and energy-efficient insulation requirements while maintaining comfortable ceiling heights. The increased height will not negatively impact sunlight access or privacy for neighbouring properties, as it aligns with recently approved homes of similar scale in the area.
- **Driveway Width:** The by-law limitation on driveway width is meant to prevent unnecessary hardscaping and protect streetscape aesthetics. The increase of 0.13 meters (1.44%) is negligible and will not impact pedestrian pathways, traffic flow, or sightlines. The variance is necessary to enhance manoeuvrability and provide a safer turning radius for vehicles entering and exiting the property.
- **FAR:** The requested 2.2% increase in floor area ratio ensures the home remains functional and well-proportioned while allowing for essential interior living spaces that accommodate a larger household. The proposed architectural design includes articulated facades, varied rooflines, and high-quality materials to ensure compatibility with surrounding properties and avoid an overbearing presence.

## **3. Desirability for the Appropriate Development and Use of the Land**

The proposal reflects a high-quality, thoughtfully designed home that enhances the liveability of the property while maintaining compatibility with the neighbourhood.

- The additional height accommodates modern HVAC systems and functional living spaces, ensuring the home is energy-efficient and comfortable for a multi-generational family.
- The FAR increase allows for an optimized layout that provides ample living space while maintaining appropriate setbacks and massing.
- The driveway width adjustment improves vehicular access and circulation while ensuring safe ingress and egress, particularly considering the property's corner lot constraints.

## **4. Minor in Nature**

Each variance request represents a small deviation from the existing by-law provisions but will greatly contribute to day-to-day aspects of the people living in it:



- The 1.02-meter height increase remains consistent with the evolving neighbourhood context and does not introduce adverse shadowing effects.
- The 0.13-meter driveway width increase (1.44% change) is negligible and does not interfere with traffic or pedestrian safety.
- The 2.2% FAR increase is a modest adjustment that aligns with the scale of existing and approved developments in the surrounding area.

## **Conclusion**

The requested variances align with the principles of good planning, urban design, and the Town of Oakville's Official Plan and Zoning By-law. The proposed home is well-integrated within the neighbourhood context and designed to accommodate a modern, multi-generational household.

By permitting these minor adjustments, the Town can facilitate the construction of a thoughtfully designed residence that enhances the neighbourhood, meets modern family living needs, and aligns with the Town's vision for sustainable and high-quality residential development.

I sincerely appreciate the Committee's time and consideration in reviewing this application. Attached to this submission are the required supporting documents, including the Site Plan, Architectural Drawings, and Application Form.

Should you require any additional information, I would be happy to provide further details.

Sincerely,

**Mahesh Sharma**

Consultant

*The Planning Hub*

+1-647-937-9524

*saeshcorp@gmail.com*