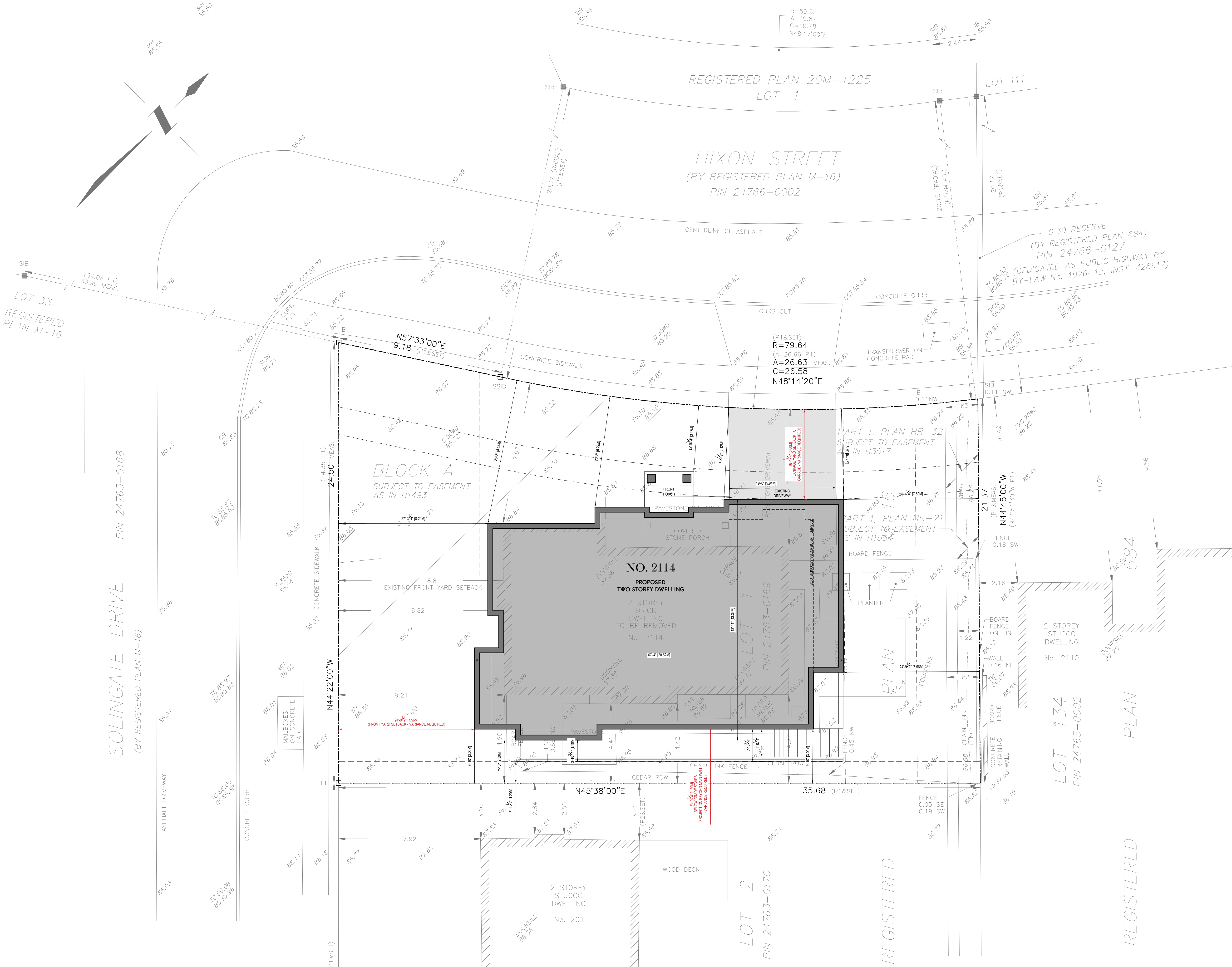


| SITE STATISTICS | | | |
|---------------------------------------|-----------------------|-----------------------|----------------|
| ADDRESS: | 2114 HIXON STREET | | |
| ZONING: | RL3-0 | | |
| | Proposed | Required | |
| LOT AREA | 776.77 m ² | 557.5 | m ² |
| LOT FRONTAGE | 22.9 m | 18.00 | m ² |
| ESTABLISHED GRADE | 86.08 | N/A | |
| HEIGHT TO MID-POINT | 7.88 m | N/A | |
| HEIGHT TO HIGHEST RIDGE | 9.00 m | 9.00 m | |
| HEIGHT TO EAVE | 6.61 m | N/A | |
| RFA (FLOOR AREA) | Proposed | Required | |
| GROUND FLOOR | 194.96 m ² | N/A | |
| SECOND FLOOR | 213.67 m ² | N/A | |
| GARAGE (NOT INCL.) | 45.94 m ² | N/A | |
| SUBTOTAL | 408.63 m ² | N/A | |
| OPEN AREAS (TO BE DEDUCTED) | 60.99 m ² | N/A | |
| TOTAL RFA | 347.64 m ² | 310.71 m ² | |
| RFA TO LOT AREA (MAX 41%) | 44.75 % | 40 % | |
| LOT COVERAGE | Proposed | Required | |
| DWELLING FOOTPRINT (INCL GARAGE) | 240.90 m ² | N/A | |
| FRONT PORCH | 6.14 m ² | N/A | |
| TOTAL LOT COVERAGE: | 247.04 m ² | 271.87 m ² | |
| MAX ALLOWED = 35% | 31.80 % | 35 % | |
| SETBACKS | Proposed | Required | |
| FRONT YARD (EXISTING (8.81M) - 1.00M) | 7.56 m | 7.81 m | |
| FLANKAGE YARD | 3.68 m | 3.50 m | |
| INTERIOR SIDE YARD | 2.39 m | 1.20 m | |
| REAR YARD | 7.5 m | 7.50 m | |



1:100
ARCHITECTURAL SITE PLAN

FINAL DESIGN SIGN OFF
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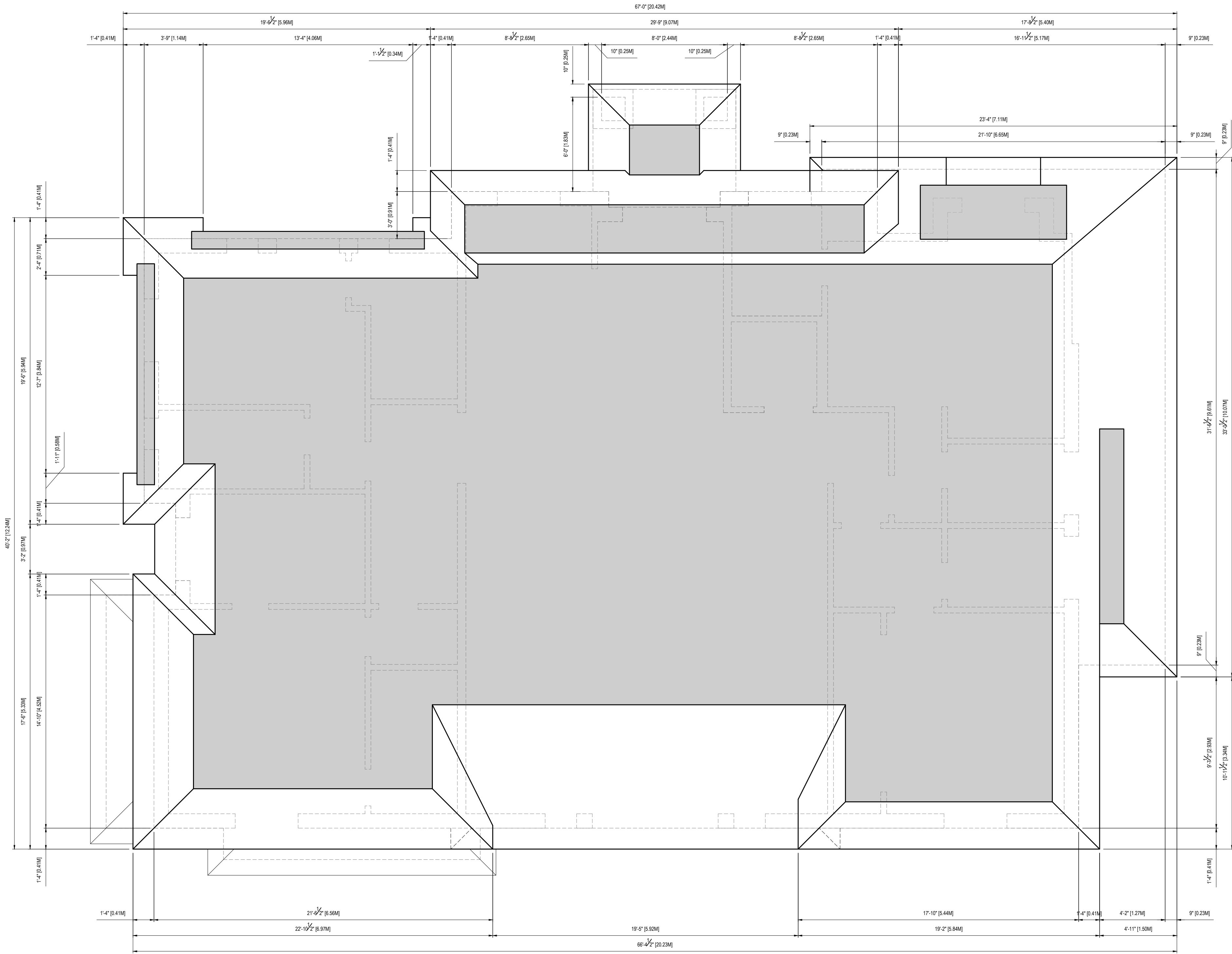
QUALIFICATION INFORMATION
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BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
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REGISTRATION INFORMATION
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.
C3.2.4 OF THE ONTARIO BUILDING CODE
FIRM NAME: _____ B.C.I.N.: _____

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| 3 | - | ISSUED FOR COA DEFERRAL | 02/03/2025 |
| 4 | - | | |
| 5 | - | | |

PROJECT NORTH: _____ TRUE NORTH: _____
DRAWING TITLE: _____ SITE PLAN
DRAWN BY: _____ J.H. CHECKED BY: _____ K.V.K.
PROJECT ADDRESS: _____ 2114 HIXON STREET
PROJECT NO.: _____ 2024-055
SHEET NO.: _____ SCALE: 1:100
SP

1/8"=1'-0"

ROOF PLAN



FINAL DESIGN SIGN-OFF
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FIRM NAME: _____ B.C.I.N. _____

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| 4 | - | MM/DD/YYYY | |
| 5 | - | MM/DD/YYYY | |

PROJECT NORTH:  TRUE NORTH: 

DRAWING TITLE: ROOF PLAN
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055 SCALES: 1/8"=1'-0"
SHEET NO.: **A104**



NOT TO SCALE
3D VIEWS

FINAL DESIGN SIGN-OFF
I, THE CLIENT, HEREBY THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

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FIRM NAME: _____ B.C.I.N. _____

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5 - MW.DD.YYYY

DRAWING TITLE: 3D VIEW
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SHEET NO.: _____
SCALE: 1/4" = 1'-0"

A205

RIGHT ELEVATION



FINAL DESIGN SIGN-OFF
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| 4 | - | MM/DD/YYYY | |
| 5 | - | MM/DD/YYYY | |

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SHEET NO.: _____

A202



CLIENT INITIALS: _____ HUIS INITIALS: _____



| | |
|---|----------|
| <p align="center">QUALIFICATION INFORMATION</p> <p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> | |
| FIRM NAME | B.C.I.N. |
| <p align="center">REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE</p> | |
| FIRM NAME | B.C.I.N. |

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO. 2024-055 SCALE: 1/4"=1'-0"
SHEET NO. 1001

A201

1/8"=1'-0"

REAR ELEVATION



FINAL DESIGN SIGN-OFF
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DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SHEET NO.: _____
SCALES: 1/8"=1'-0"

A203

LEFT ELEVATION



FINAL DESIGN SIGN-OFF
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DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055 SCALES: 1/8"=1'-0"
SHEET NO.: _____

A204