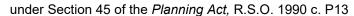
Committee of Adjustment Notice of Decision





File No. A/038/2025

Applicant / Owner	Authorized Agent	Property
Alex Blanchard	Alex Blanchard	307 Chartwell Rd
	Carrothers and Associates	CON 3 SDS PT LOT 10
	505 YORK Blvd #3	
	Hamilton ON L8R 3K4	

Zoning of property: RL2-0, Residential, By-law 2014-014, as amended

The request made under Section 45(1) of the *Planning Act* has been **approved** to authorize a minor variance to permit the construction of a two-storey detached on the subject property proposing the following variances:

No.	Current	Proposed
1	Section 5.8.2	To increase the maximum driveway width to
	The maximum width for a single driveway and the combined	10.58 metres.
	maximum width where more than one driveway is permitted shall	
	be 9.0 metres for a lot having a lot frontage equal to or greater	
	than 18.0 metres.	
2	Section 5.8.6 c)	To increase the maximum total floor area to 80.4
	Notwithstanding subsection (b) above, for lots located within the	square metres.
	Residential Low (RL1) Zone the maximum total floor area for a	
	private garage shall be 56.0 square metres and the maximum	
	width of the entrance to the private garage shall be 9.0 metres.	
3	Section 5.8.7 c)	To increase the attached private garage
	Attached private garages shall not project more than 1.5 metres	projection to a maximum of 2.64 metres.
	from the face of the longest portion of the main wall containing	
	residential floor area that is on the first storey of the dwelling	
	oriented toward the front lot line.	To be seen a floor of the floor floor floor
4	Table 6.3.1 (Row 9, Column RL1)	To increase the maximum dwelling depth to
_	The maximum dwelling depth shall be 20.00 metres.	27.51.
5	Section 6.5.2 c)	To increase the maximum height for the
	The maximum height for an accessory building or structure shall	accessory building to 6.69 metres measured
	be 4.0 metres measured from grade.	from grade.

The Committee considered all relevant information including the applicant's submission materials and presentation, observations from their site visit, town staff and agency comments. No written or oral submissions were received from the public. The Committee is of the opinion that the variances are considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan and zoning by-law subject to the following conditions:

- 1. The dwelling be constructed in general accordance with the submitted site plan dated January 29, 2025 and elevation drawings dated January 15, 2025;
- 2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction; and
- 3. That the previous consent approval B23/01 [1610] lapse on April 6, 2025, before a Building Permit is issued.

Signed by:	Signed by:	
Michael Telawski	John Hardcastle	
M. Telawski, Member	J. Hardcastle, Member	
Signed by:	Signed by:	
Stuart Dickie	Susan Price	
S. Dickie, Member FED5B97C565945C	S. Price, Member	
Signed by:	Signed by:	
Shery Mikhail	Sharon Coyne	
S. Mikhail, Chair	S. Coyne, Asst. Secretary-Treasurer	

Dated at the hearing held on March 19, 2025.

This decision is subject to appeal to the Ontario Land Tribunal (OLT) by filing with the OLT e-file service, or through the Town of Oakville's Committee of Adjustment office, **no later than 4:30 p.m. on April 8, 2025.**

I hereby certify this is a copy of the Committee of Adjustment final and binding decision whereby no appeals were filed		
	S.Coyne, Asst. Secretary-Treasurer	