

## TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS TO ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ.
10. AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

## STANDARD DEVELOPMENT NOTES:

### (A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. AT THE ENTRANCES TO THE DRIVEWAY, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

### (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DRIVEWAY ON THE EXISTING DRIVEWAY.
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

## EROSION AND SILTATION NOTES

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
  - A. WEEKLY
  - B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - C. FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - D. DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
  - E. AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
6. IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

## (C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
3. STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

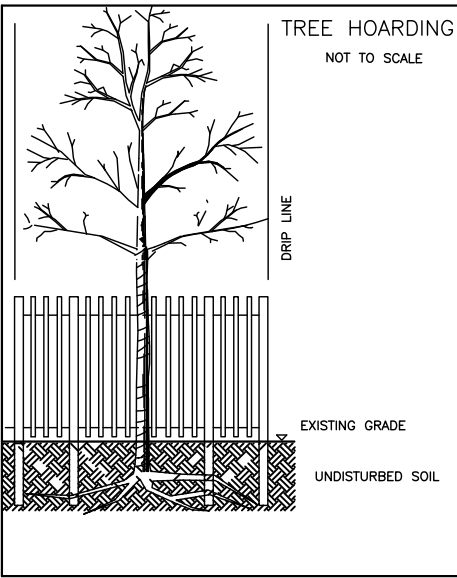
1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
2. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

## REGIONAL APPROVAL

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING & POLICY

The Applicant shall be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, the Water and Wastewater Linear Design Manual may be obtained from the Waste Management Group at 905-825-6202. Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.



TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

EXISTING WATER TO BE DISCONNECTED AT THE MAIN BY THE CONTRACTOR AS PER REGION OF HALTON STANDARDS

PROPOSED 25MM COPPER "K" WATER SERVICE TAP BY REGION OF HALTON FORCES ONLY

The existing sanitary lateral may be installed at the property line to the Regional Inspection. A lateral that does not meet current Regional standards may be installed at the property line to the Regional Inspection. The Service Permit, drawings and applicable fees is required.

	<b>BUILDING DIVISION REVIEWED</b>
PERMIT NO:	22-103187 REV 01
Architectural Plans Review	
DATE:	10/16/2023
REVIEWED BY:	tashion

ALL REVISION PLANS TO BE VIEWED IN CONJUNCTION WITH ORIGINALLY ISSUED PERMIT PLANS

<b>TOWN OF OAKVILLE</b>
ZONING DEPARTMENT PERMIT APPLICATION
Approved By: T. Diella
Date: 18-October-2023

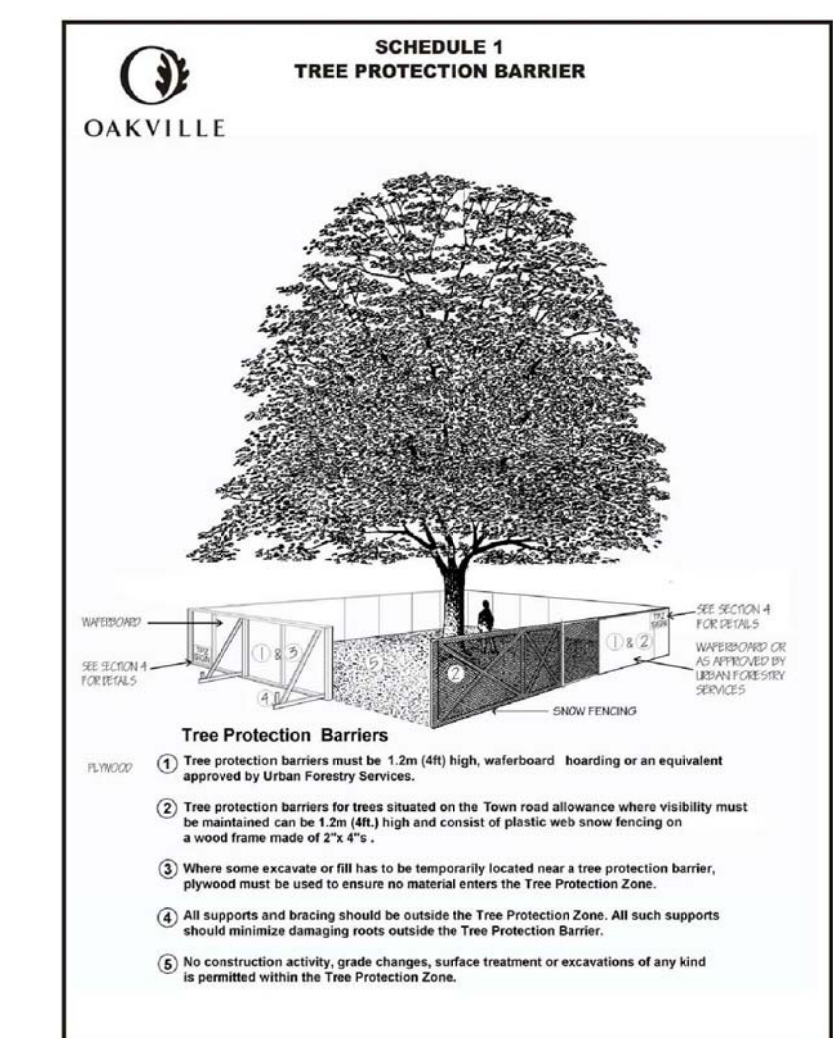
<b>OBC 9.146.1 - Surface Drainage</b>
The proposed building shall be located, or the site grading shall be designed so that water will not accumulate at or near the building and will not adversely affect adjacent properties.

A final grading certificate shall be provided upon completion of building construction or within 1 year of building occupancy.

<b>Town of Oakville Bylaws</b>
All applicable permits, approvals, agreements, etc. shall be obtained in accordance with Town of Oakville by-laws, procedures and policies. Work outside of this Building Permit shall not begin until the above have been satisfied.

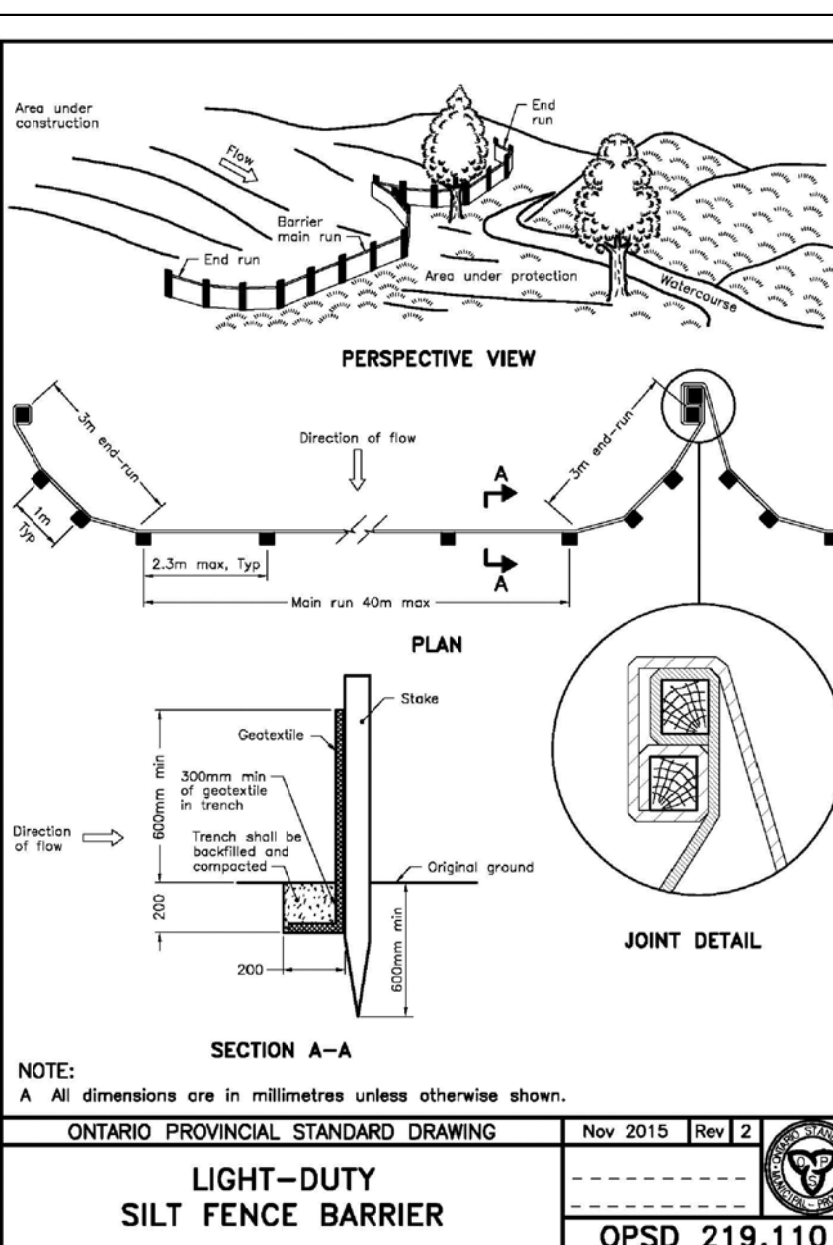
Replacement Trees: combination of 150 mm Height Coniferous and/or 30 mm Ø Deciduous

<b>RECEIVED</b>
BUILDING SERVICES
PERMIT NO: 22-103187
DATE: 9/30/2023
TOWN OF OAKVILLE



Tree Protection Barriers

1. Tree protection barriers must be 1.2m (40") high, weatherboard, boarding or an equivalent approved by Urban Forestry Services.
2. Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.8m high and consist of plastic with snow fencing on a wood frame made of 2"x4"s.
3. Where some excavate or fill has to be temporarily located near a tree protection barrier, physical must be used to ensure no material enters the Tree Protection Zone.
4. All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
5. No construction activity (e.g. grading, surface treatment or excavations of any kind) is permitted within the Tree Protection Zone.



NOTE: A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2

LIGHT-DUTY SILT FENCE BARRIER OPSD 219.110

NOTE: EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE: DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE

NOTE: Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing services.

NOTE: If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE: THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE DITCH. COMPLETE WITH BACKFLOW PREVENTER.

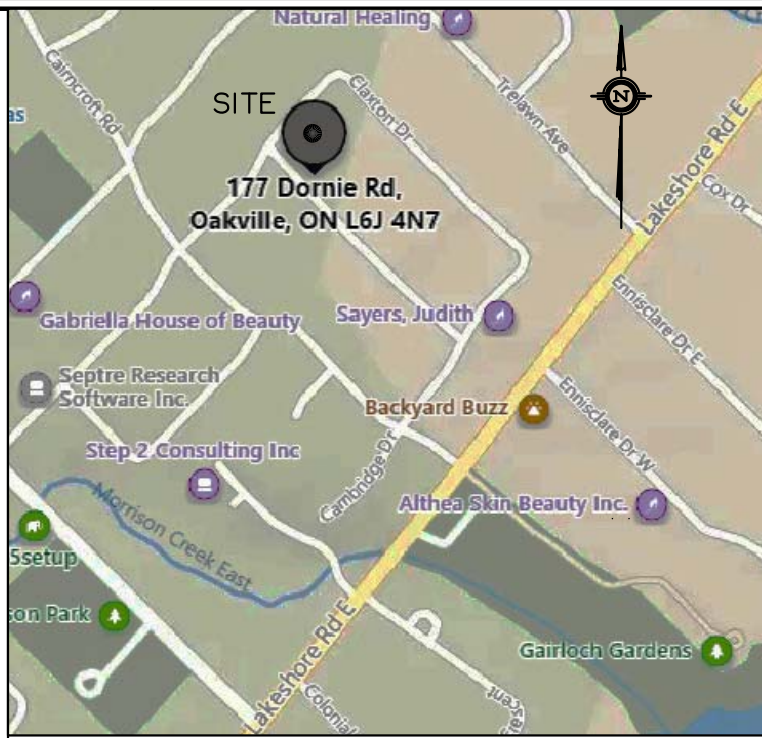
NOTE: Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-11900

The contractor must verify inverts.

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4  
office@jhgsurveying.ca  
Phone:(905) 338-8210

Project: 21-113  
Checked By: A.M.

Drawn By: M.K.  
Party Chief: N.A.



## SITE, SERVICING & GRADING PLAN

LOT 42  
REGISTERED PLAN 1008  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150  
J.H. Gelbloom Surveying Limited  
Ontario Land Surveyor  
2023

METRIC  
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (M.T.O.)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	2014-014	
ZONING DESIGNATION	RL1-D	
LOT AREA (MINIMUM)	1393.50 SQ.M.	1395.31 SQ.M.
LOT FRONTAGE (MINIMUM)	30.50	30.60
LOT COVERAGE (MAXIMUM)	348.85 SQ.M.	356.78 SQ.M.
LOT COVERAGE % (MAXIMUM)	25.0%	24.4%
WPA (MAXIMUM)	40.64 SQ.M.	443.91 SQ.M.
REAR LOT RATIO (MAXIMUM)	29.0%	31.81%
FRONT YARD SETBACK (MINIMUM)	11.83	12.44
SIDE YARD SETBACK (MINIMUM)	4.20 & 4.20	3.90' & 4.20'
REAR YARD SETBACK (MINIMUM)	10.50	13.38
OVERALL HEIGHT	9.00	8.93
GARAGE PROJECTION	1.50	0.00
GARAGE FLOOR AREA	56 SQ.M.	65.78 SQ.M.*

\* PROPERTY IS SUBJECT TO COMMITTEE OF ADJUSTMENTS FILE NO.

DESP PERMIT NO. 22-103316

CLF	Chain Link Fence	INV.	Invert Elevation
BF	Board Fence	EG	Established Grade
TFW	Top of Foundation Wall	97.50	Proposed Elevation
MH	Maintenance Hole	T.B.R.	To Be Removed
FF	Finished Floor	TOS	Top of Slope
UP	Utility Pole	BOS	Bottom of Slope
DEC.	Deciduous Tree	CSP	Corrugated Steel Pipe
CON.	Coniferous Tree	WV	Water Valve
Ø	Diameter	W	Hoarding
TOC	Top of Curb	W	Existing Elevation
BOS	Bottom of Curb	W	Rain Water Leader
HP	High Point	W	Embankment
TRW	Top of Retaining Wall		
BRW	Bottom of Retaining Wall		
③	Arborist's Tree Number	X	Tree to be Removed

SITE ADDRESS  
177 DORNIE ROAD  
OAKVILLE, ONTARIO

Puroo Maheshwari (OWNER)  
109 JOHNSTON AVE  
NORTH YORK, ONTARIO

No.	Date	Description	By
1	FEB. 3, 2022	SITE & GRADING	M.K.
2	MAR. 30, 2022	POOL DESIGN	A.M.
3	APRIL 4, 2022	TOWN COMMENTS	A.M.
4	MAY 12, 2022	TOWN COMMENTS	A.M.
5	SEPT. 25, 2023	CIRCULAR DRIVEWAY	A.M.

## REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.  
DATED : JUNE 4, 2021

BENCHMARK  
Elevations are referred to the Town of Oakville Benchmark No. 15 having an Elevation of 83.5064 m.

SURVEYOR'S CERTIFICATE  
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 177 DORNIE ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

SEPTEMBER 25, 2023  
DATE

Andrew Muskat, O.L.S.

Project: 21-113  
Checked By: A.M.

Drawn By: M.K.  
Party Chief: N.A.

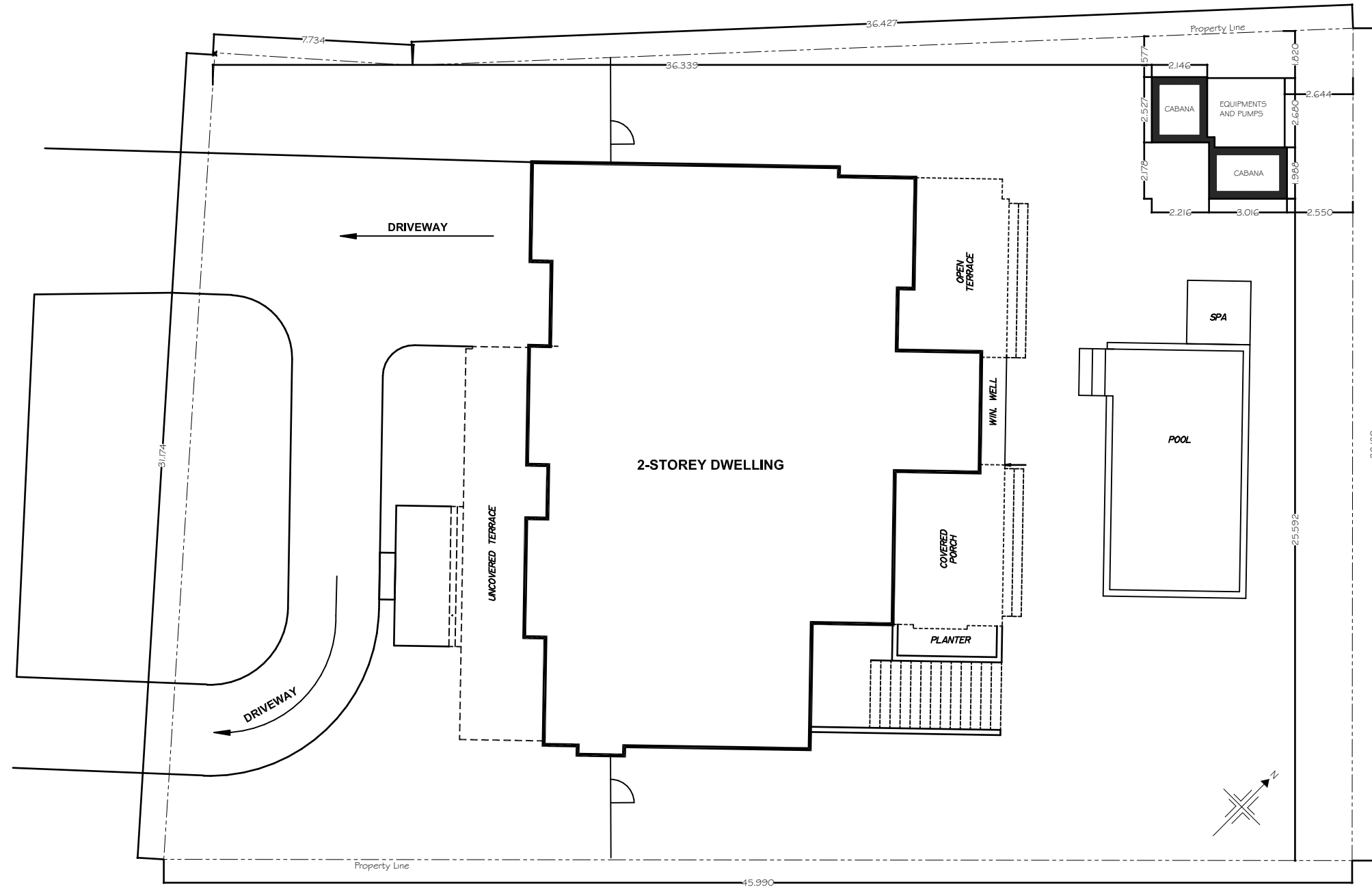


1:200

Site Plan

-2-

DORINE ROAD



THE LOT AREA = 1395.31 m²  
CABANA AREA = 11.52 m²  
BUILDING AREA = 336.78 m²  
PROPOSED LOT COVERAGE = 348.3 m² (MAX 348.83 m²)

#### GENERAL NOTES:

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3. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
4. ALL WORK SHOULD BE IN STRICT ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE & LOCAL MUNICIPAL BY-LAWS

5. THESE DRAWINGS MAY BE ALTERED DUE TO ON SITE CONDITIONS NOT FORESEEN PRIOR TO CONSTRUCTION
6. AFTER PERMIT IS OBTAINED ANY CHANGES MADE BY OWNER OR CONTRACTOR WILL BE THEIR RESPONSIBILITY AND KENNYLABS DESIGNS WILL NOT BE RESPONSIBLE
7. BEFORE BEGINNING ANY WORK IF CONTRACTOR FINDS ANY DISCREPANCIES NOTIFY KENNYLABS DESIGNS TO RECTIFY A SOLUTION
8. THESES PLANS FORM THE BASES FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACE, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BUILDING DEPARTMENT

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be designer.

QUALIFICATION INFORMATION- Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

Christian Kehinde 118137

Name SIGNATURE BCIN

Kenny Labs Designs Firm BCIN: 119038

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Drawing Name  
Site Plan

Puroo's Cabana  
177 Dornie Road



Kenny Labs Designs

903- 90 Queens Wharf Road, Toronto, ON, M5V 0J4.  
T: 416 833-6898, 647 588-7209 E: kennylabsdesigns@gmail.com

Drawn by:  
Chris K & Beomi L

Drawing #:  
A100

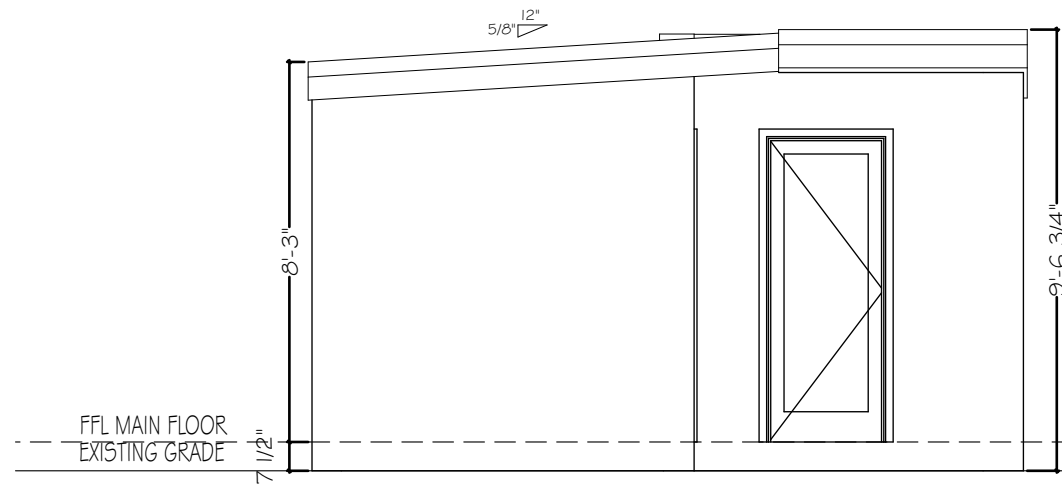
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Revision

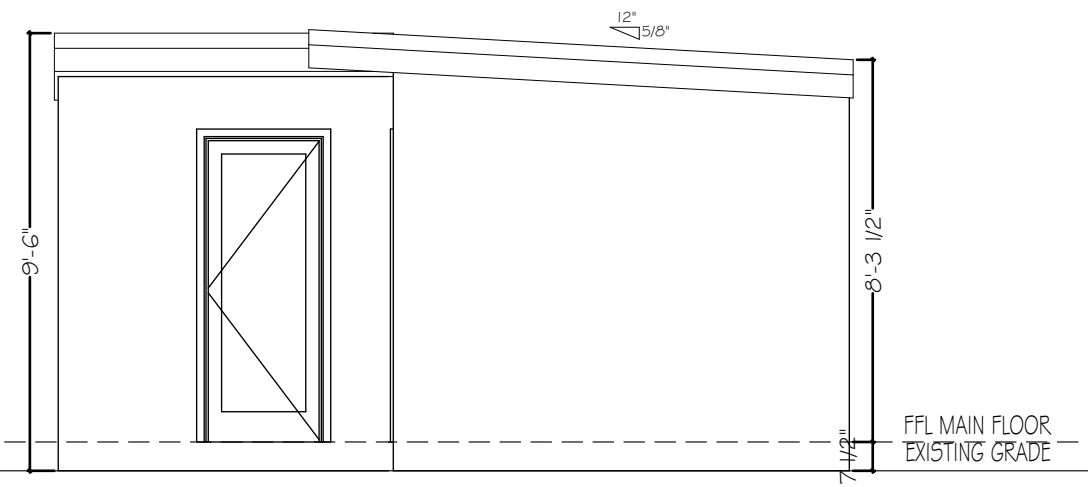
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Elevations

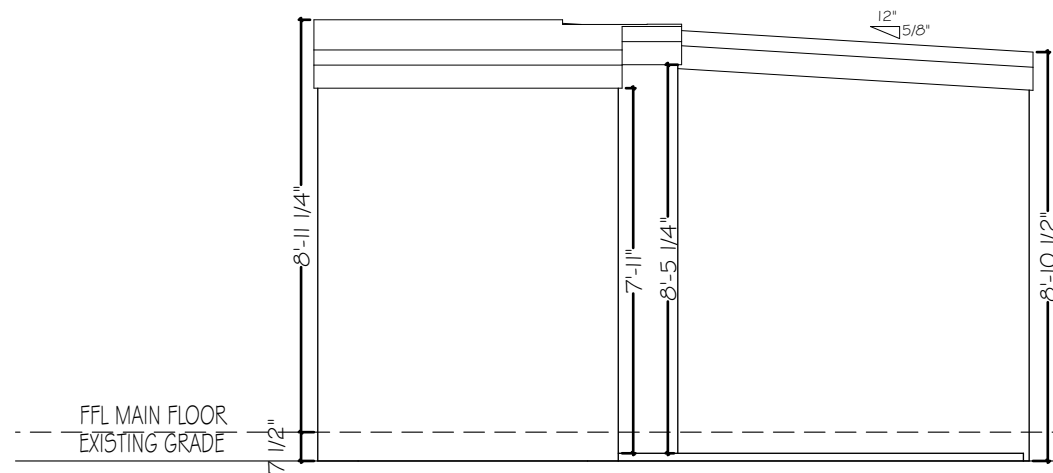
E-00



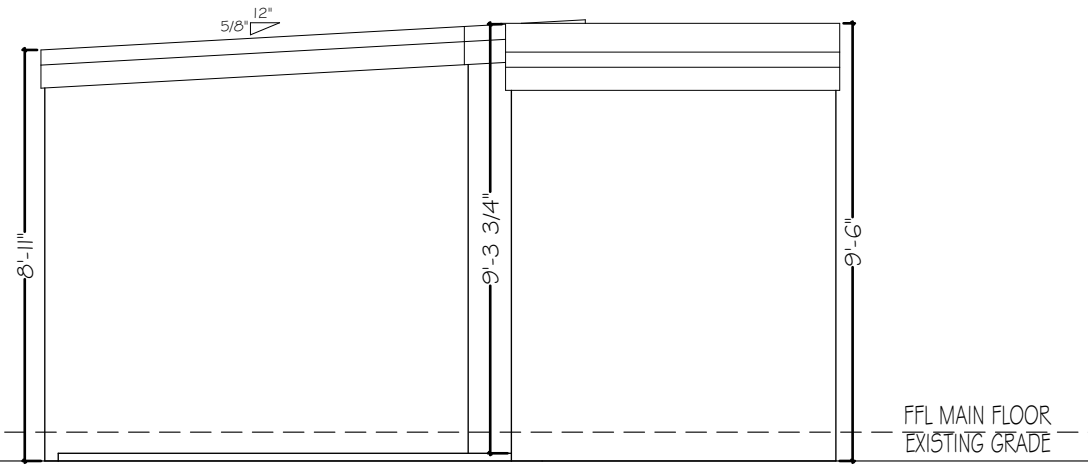
E-01 West Elevation



E-02 South Elevation



E-03 East Elevation



E-04 North Elevation

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Christian Kehinde 118137

Name SIGNATURE BCIN

Kenny Labs Designs Firm BCIN: 119038

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**Drawing Name  
Elevations**

Puroo's Cabana  
177 Dornie Road

**Kenny Labs Designs**

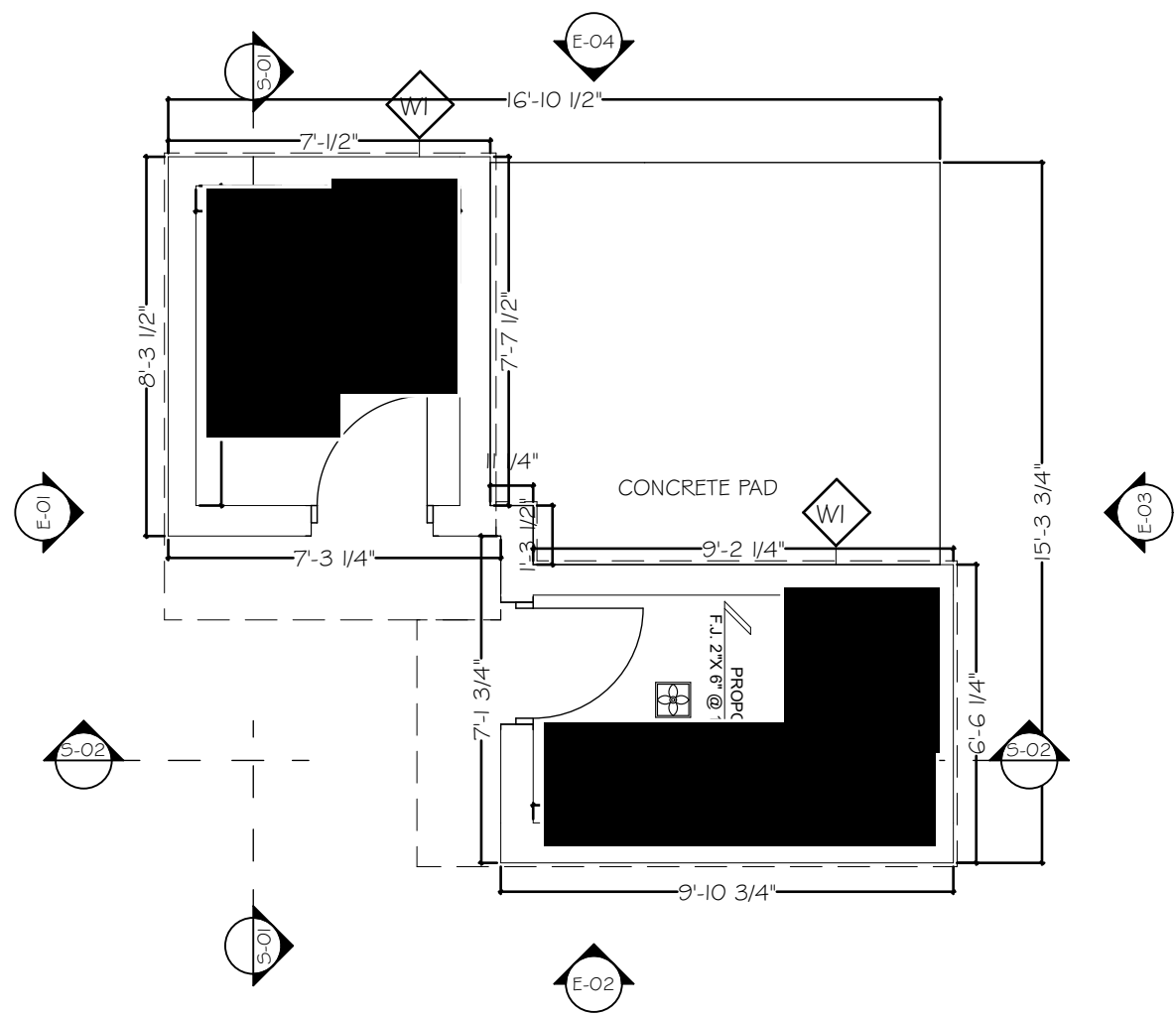
903- 90 Queens Wharf Road, Toronto, ON, M5V 0J4.  
T: 416 833-6898, 647 588-7209 E: kennylabsdesigns@gmail.com

Drawn by:  
**Chris K & Beomi L**

Drawing #:  
**A200**

Scale:  
As Shown

Revision



NOTE: ALL MEASUREMENTS MUST BE RE-CONFIRMED AT SITE BY TRADES BEFORE MANUFACTURING OR ORDERING FURNITURE, APPLIANCES OR EQUIPMENTS

QUALIFICATION INFORMATION- Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

