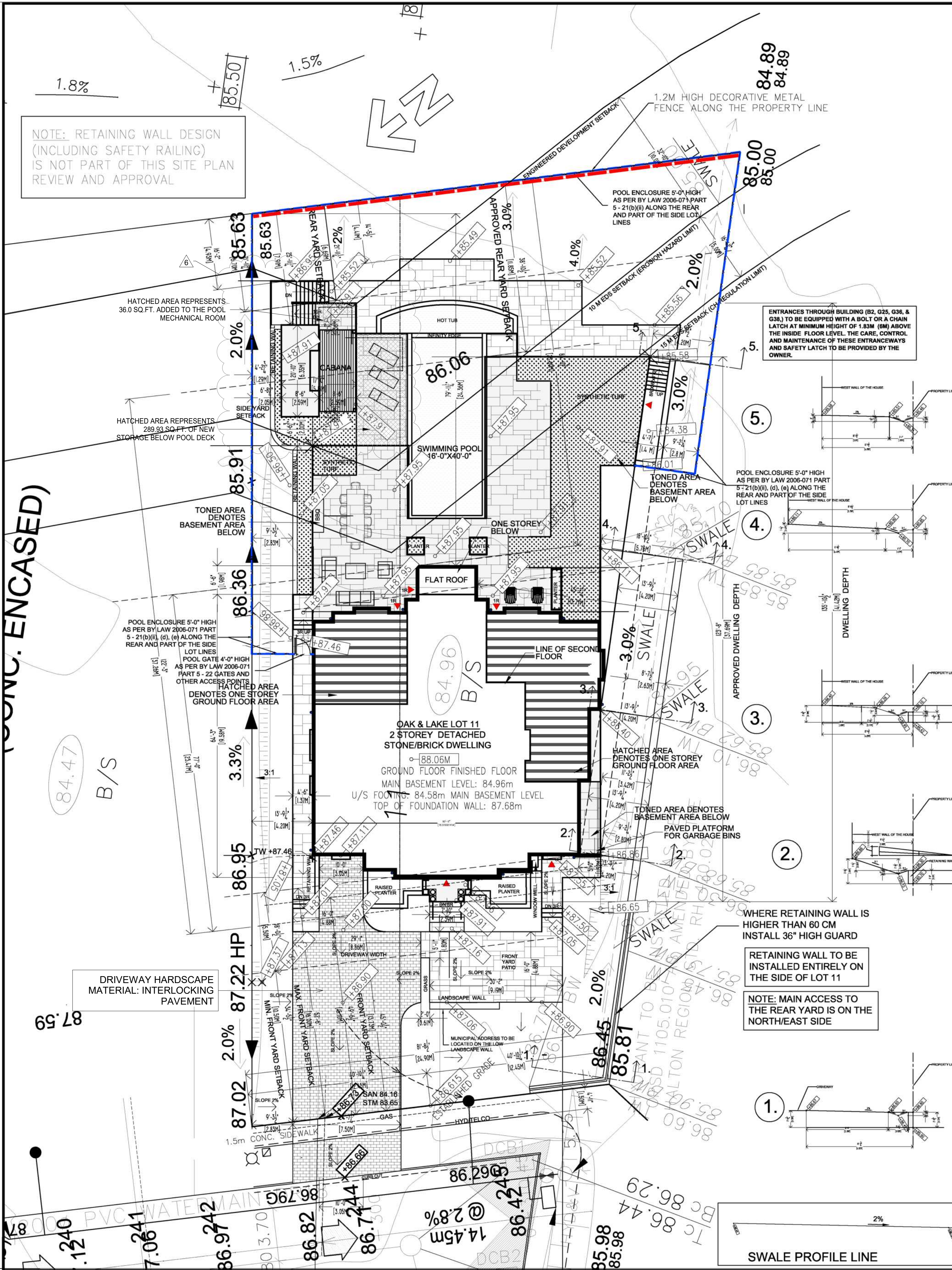


NOTE: RETAINING WALL DESIGN (INCLUDING SAFETY RAILING) IS NOT PART OF THIS SITE PLAN REVIEW AND APPROVAL

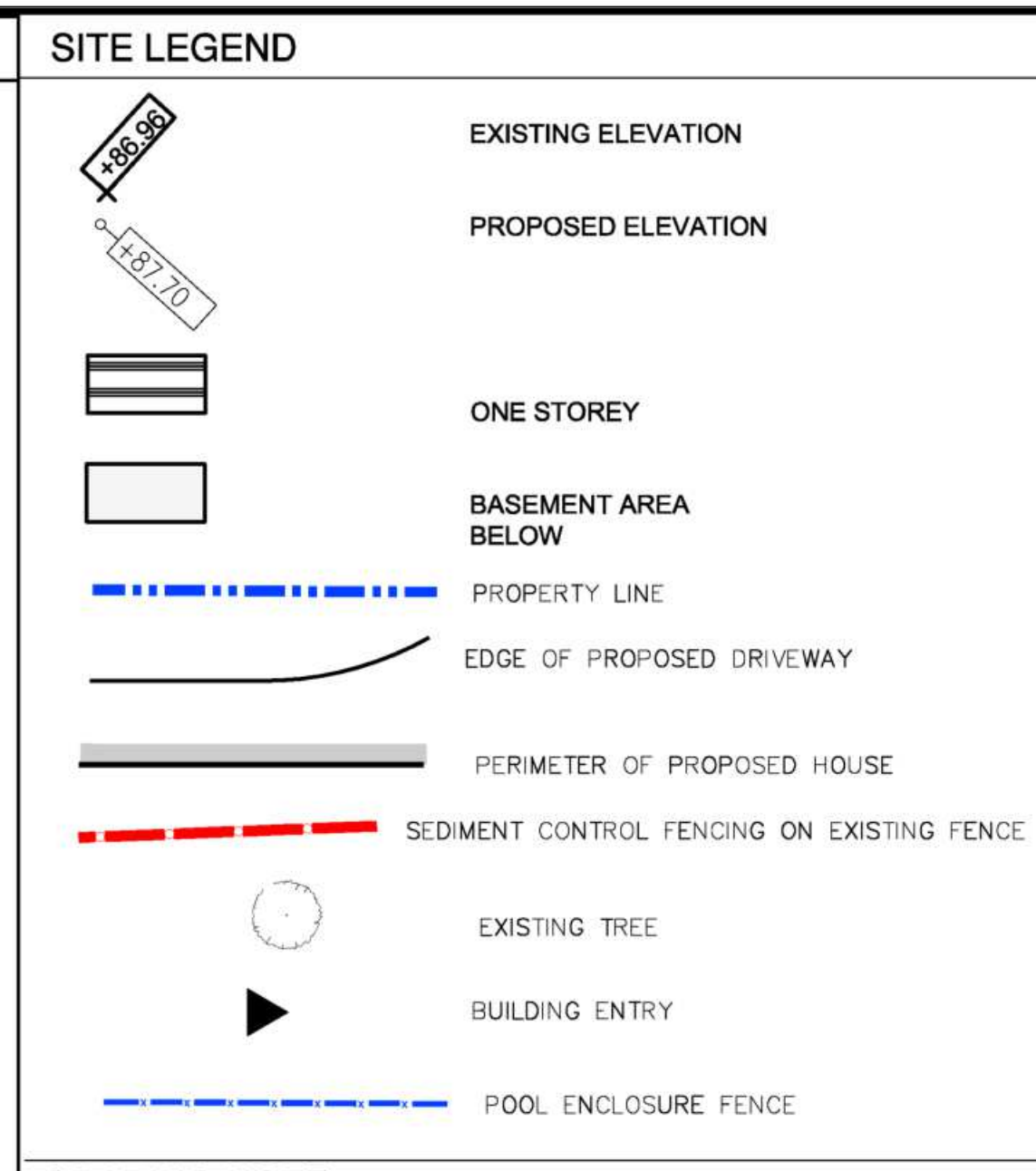


ZONING STATISTICS

February 12, 2025

15 PEBBLERIDGE PLACE
LOT 21, REGISTERED PLAN 20m-1248 TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON
ZONING RL-1-0
TOWN OF OAKVILLE ZONING BY-LAW 2014-014

MAX. FLOOR AREA	19,930.7m ²	= 1851.62m ²
MAX. PERMITTED	29.0%	OF AREA OF LOT = 5,779.9m ²
PROPOSED	BASEMENT 6,816.3m ²	= 633.26m ² (NOT INCLUDED IN TOTAL)
	ADDED TO BASEMENT 325.9m ²	= 30.28m ² (NOT INCLUDED IN TOTAL)
	CABANA 334.5m ²	= 31.08m ² (NOT INCLUDED IN TOTAL)
	RAMP TO GARAGE 400.0m ²	= 37.16m ² (NOT INCLUDED IN TOTAL)
	GROUND 3,427.8m ²	= 318.45m ²
	SECOND 2,270.5m ²	= 210.94m ²
TOTAL PROPOSED	5,698.3m ²	= 529.39m ²
	28.6%	OF LOT AREA
MAX. LOT COVERAGE	25.0%	OF AREA OF LOT IF HEIGHT IS > 7.0m
MAX. PERMITTED	4,982.7m ²	= 462.90m ²
PROPOSED ABOVE BASEMENT	4,162.3m ²	= 386.69m ² (INCLUDES CABANA)
	20.9%	OF LOT AREA
APPROVED	7,149.2m ²	= 664.18m ²
PROPOSED	7,447.3m ²	= 694.67m ²
	37.5%	OF LOT AREA
SETBACKS	FRONT - MINIMUM 34.4ft	10.50m
	FRONT - MAXIMUM 52.5ft	16.00m
	PROPOSED 45.0ft	13.73m
	(MINIMUM YARD FOR ZONE RLL PLUS 5.5 m)	
MIN. 50% OF ALL FRONT MAIN WALLS MUST BE BETWEEN MIN. & MAX FRONT YARD LINE	54.13% OF ALL PROPOSED FRONT MAIN WALLS WILL BE BETWEEN MIN. & MAX. FRONT YARD LINE	
NORTH EAST SIDE	MIN. PERMITTED 13.8ft	4.20m
PROPOSED	13.8ft	4.20m
TO THE CABANA & BASEMENT	6,725,722ft	2.05m
TO HOUSE	13.8ft	4.20m
SOUTH WEST SIDE	MIN. PERMITTED 13.8ft	4.20m
PROPOSED ABOVE BASEMENT	13.8ft	4.20m
APPROVED TO BASEMENT	9.2ft	2.80m
REAR YARD	MIN. PERMITTED 34.4ft	10.50m
PROPOSED	21.9ft	6.69m
DWELLING DEPTH	MAX. PERMITTED 65.6ft	20.00m
APPROVED ABOVE BASEMENT	64.2ft	19.58m
APPROVED TO BASEMENT	123.7ft	37.69m
PROPOSED TO BASEMENT	135.9ft	41.42m
NO BALCONIES ARE PERMITTED ABOVE THE FIRST STOREY (6.4.5)		
NO BALCONIES PROPOSED		
DRIVEWAY WIDTH	MAX. PERMITTED 29.5ft	9.00m
PROPOSED	29.1ft	8.86m
DRIVEWAY AREA	FRONT YARD AREA 4,625.4m ²	= 429.72m ²
50% PERMITTED	2,312.7m ²	= 214.86m ²
PROPOSED DRIVEWAY AREA	1,192.3m ²	= 110.76m ²
TOTAL AREA OF A PRIVATE GARAGE	MAX. PERMITTED 602.8m ²	= 56.00m ²
PROPOSED	400m ²	= 37.16m ²
RAMP LEADING TO THE UNDERGROUND GARAGE		
HEIGHT	MAX. PERMITTED 29.5ft	9.00m
APPROVED HEIGHT	32.4ft	9.89m
TWO STORES MAXIMUM	BUILDING HEIGHT IS MEASURED FROM THE GRADE AT THE CENTER OF THE FRONT LOT LINE (86.61 m) TO THE HIGHEST POINT OF THE STRUCTURE	
SWIMMING POOL - HEIGHT ABOVE GRADE	MAX. PERMITTED 13.1ft	4.00m
GRADE AT SWIMMING POOL	87.95	MASL
SWIMMING POOL ELEVATION	87.95	MASL
PROPOSED HEIGHT	0.0ft	0.00m
ACCESSORY STRUCTURE - HEIGHT ABOVE GRADE	MAX. PERMITTED 13.1ft	4.00m
GRADE AT CABANA	87.79	MASL
CABANA RIDGE ELEVATION	91.79	MASL
PROPOSED HEIGHT	13.1ft	4.00m
BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE AT THE CABANA (87.79 m) TO THE HIGHEST POINT OF THE STRUCTURE - (87.91 x 3 + 87.43) : 4 = 87.79 m		
ACCESSORY STRUCTURE (CABANA) - AREA	MAX. PERMITTED 996.53m ²	= 92.58m ²
PROPOSED	334.54m ²	= 31.08m ²
CABANA SETBACKS		
NORTH EAST SIDE YARD	MIN. PERMITTED 2.0ft	0.60m
PROPOSED	6.7ft	2.05m
SOUTH EAST REAR YARD	MIN. PERMITTED 2.0ft	0.60m
PROPOSED	26.0ft	7.91m
THE CABANA IS NOT LOCATED IN THE BACK YARD		
ITEMS REQUIRING COMMITTEE OF ADJUSTMENT APPROVAL		



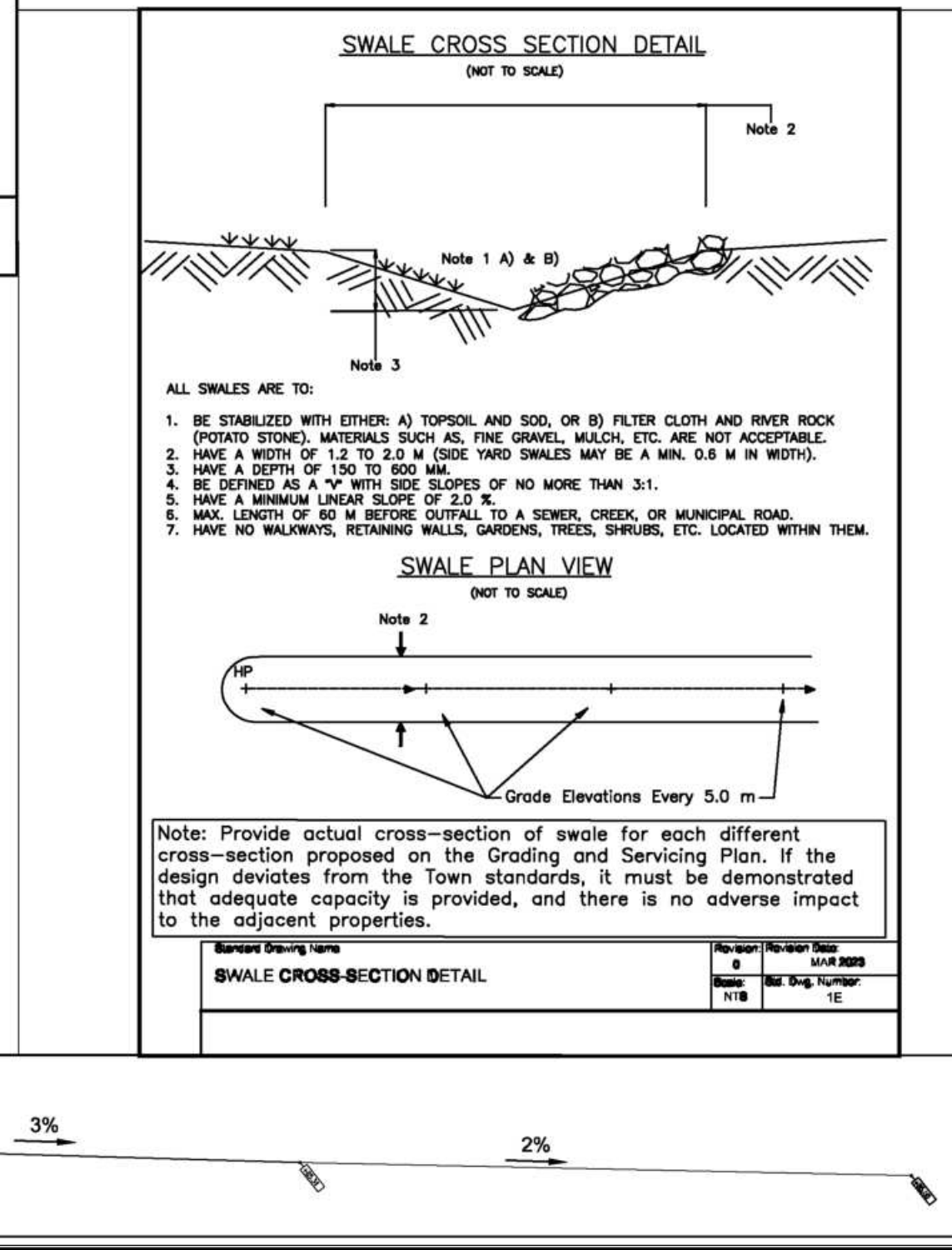
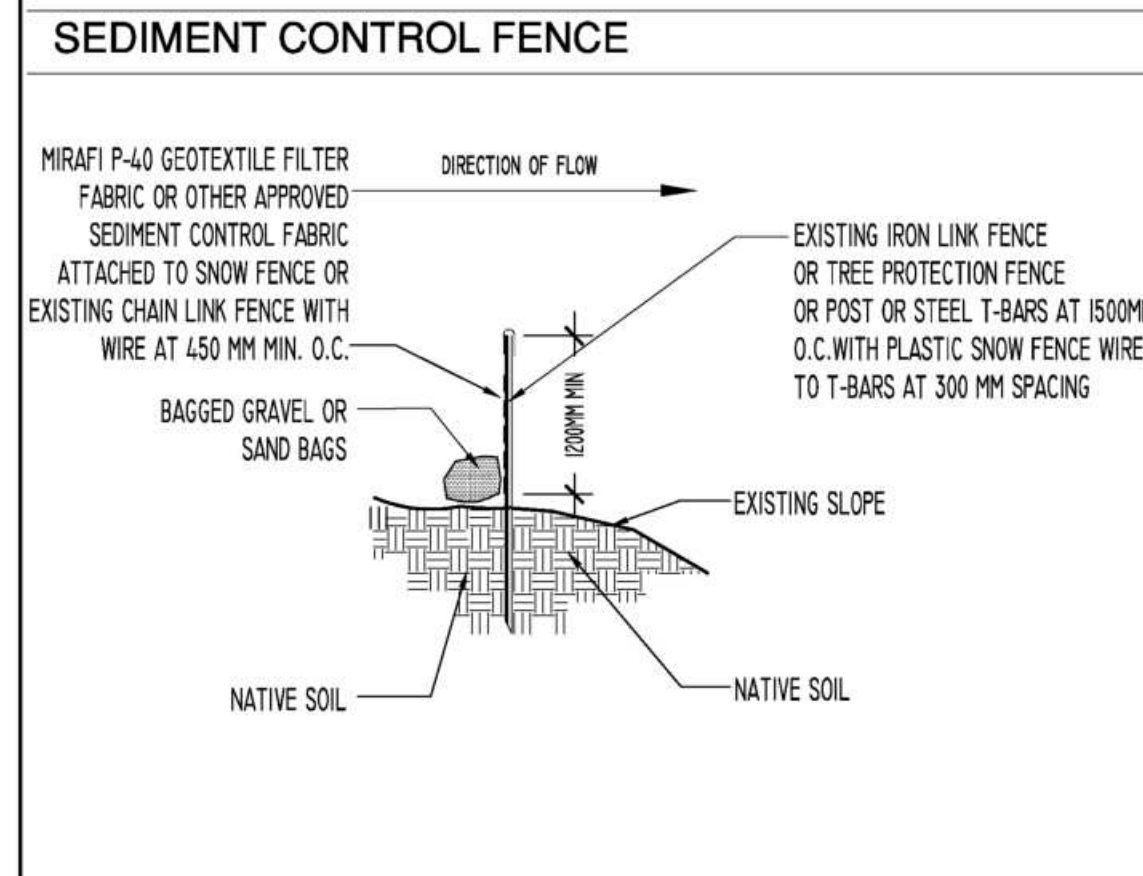
GRADING NOTE

THE SITE PLAN AND DRAINAGE HAVE BEEN DESIGNED USING SOUND ENGINEERING TECHNIQUES. AS A GRADING CONSULTANT WITH EXPERIENCE IN GRADING AND DRAINAGE DESIGN I BELIEVE ADHERENCE TO PROPOSED GRADES WILL ENSURE THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT AFFECT ADJACENT PROPERTIES. I WILL PROVIDE FIELD REVIEW TO ENSURE COMPLIANCE WITH THE SITE GRADING PLAN AND WILL ISSUE A FINAL GRADING CERTIFICATE TO BUILDING DIVISION UPON COMPLETION OF FINAL GRADES.

IN THE OPINION OF THE GRADING DESIGNER THE PROPOSED GRADING PLAN WILL NOT ADVERSELY AFFECT NEIGHBORING PROPERTIES

GRADING DESIGN BY:
MAKOW ASSOCIATES ARCHITECT INC.
DATE: AUGUST 09th, 2024

DRAINAGE DIRECTION:
(2% SWALE @ ADJACENT PROPERTY LINES)



Description	Date
1 ISSUED TO ENGINEER	2024-03-20
2 ISSUED FOR BUILDING PERMIT	2024-04-21
3 ISSUED FOR POOL ENCLOSURE PERMIT	2024-05-09
4 REISSUED FOR BUILDING PERMIT	2024-05-17
5 REISSUED FOR BUILDING PERMIT	2024-08-29
6 ISSUED FOR CoA CABANA	2025-02-04

Project
AQUINO RESIDENCE

15 PEBBLERIDGE PLACE
OAKVILLE, ON



95 St. Clair Ave. West, Suite #306, Toronto, ON M4V 1T7

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This drawing shall not be used for construction unless signed by the architect.

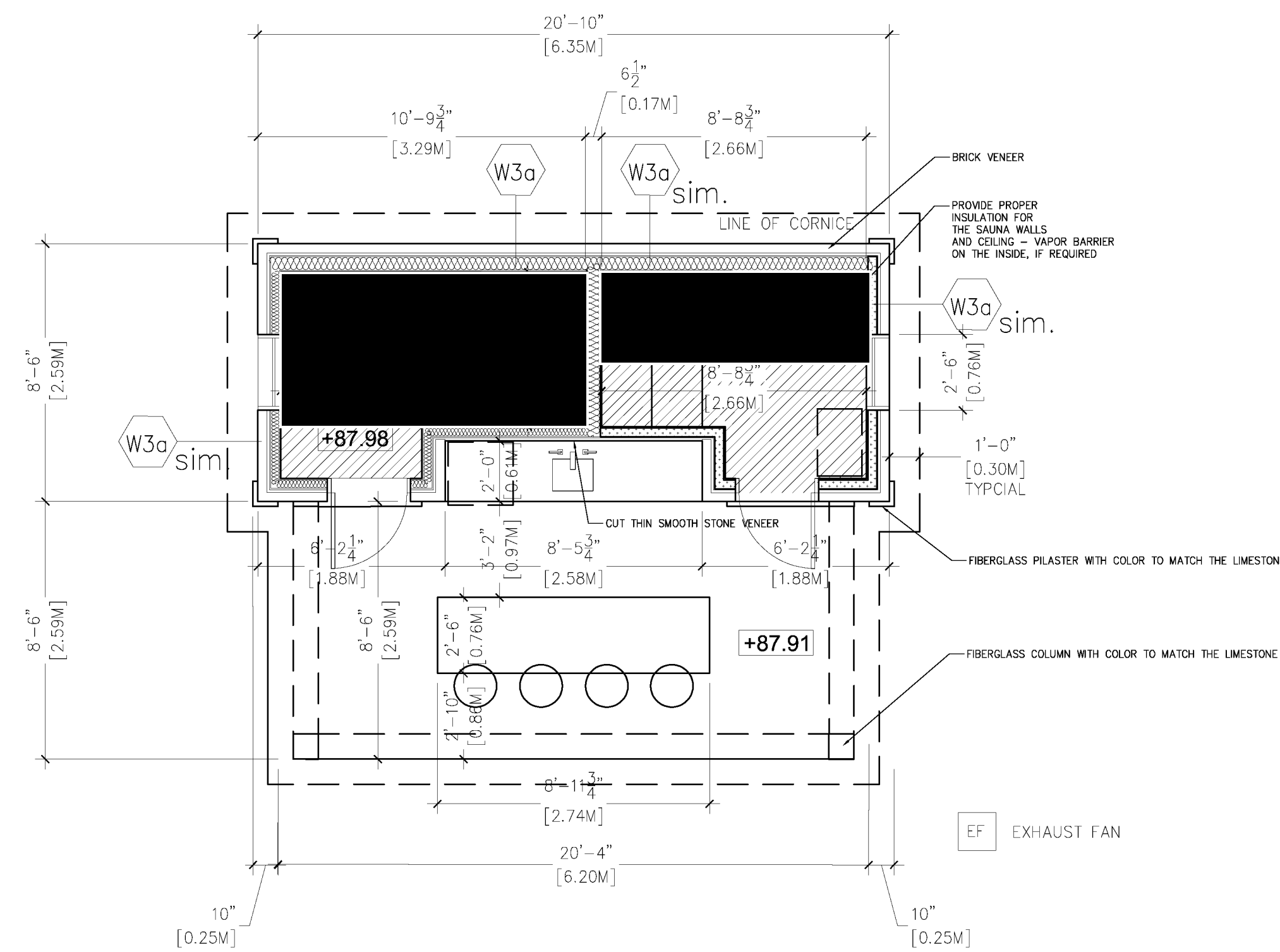


Professional Seals

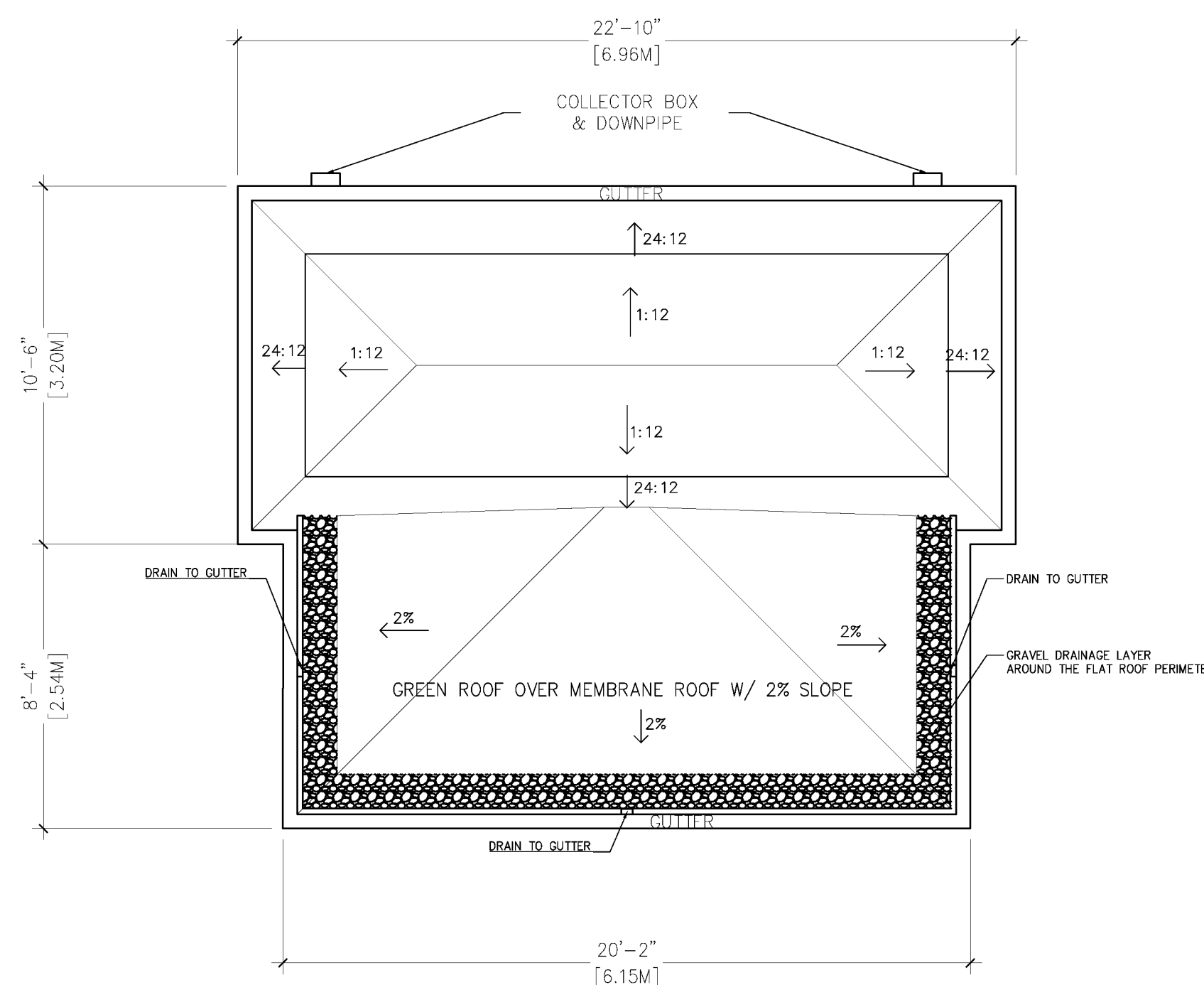
Date: 3/13/2025 11:34:34 AM Project No.: 21614
Sheet Title: 21614

SITE / GRADING PLAN & ZONING INFORMATION

Dwg. File Name: C:\Users\jmakow\Documents\Aquino Residence PSD - CABANA 2025_jim\Plotter.rvt
Scale: 1:13 Drawn: Author Checked: Checker
Original is 36" x 24" Do not scale contents of this drawing
Sheet Number: A 001

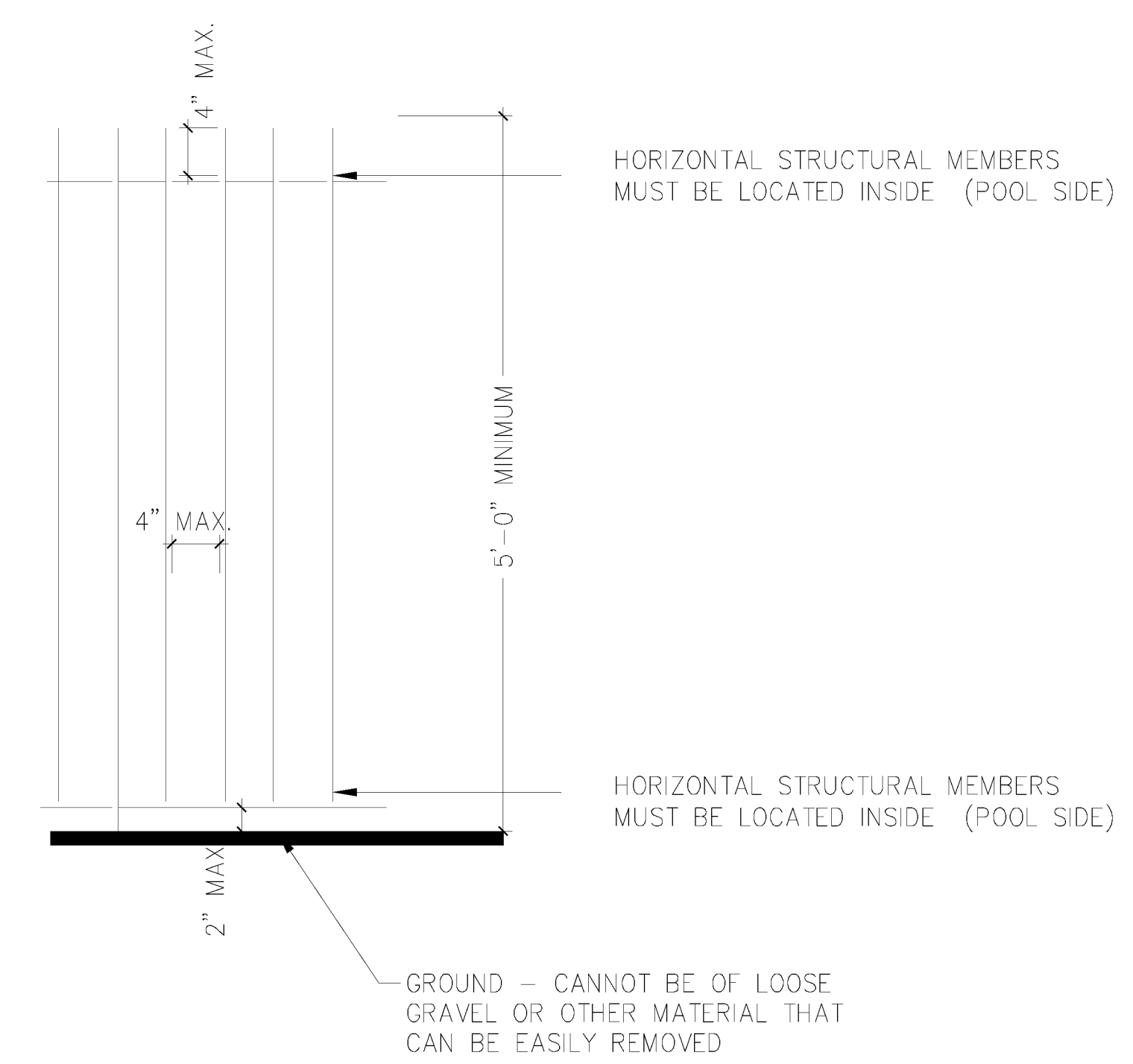


CABANA PLAN 1/4" = 1'-0"



CABANA ROOF PLAN 1/4" = 1'-0"

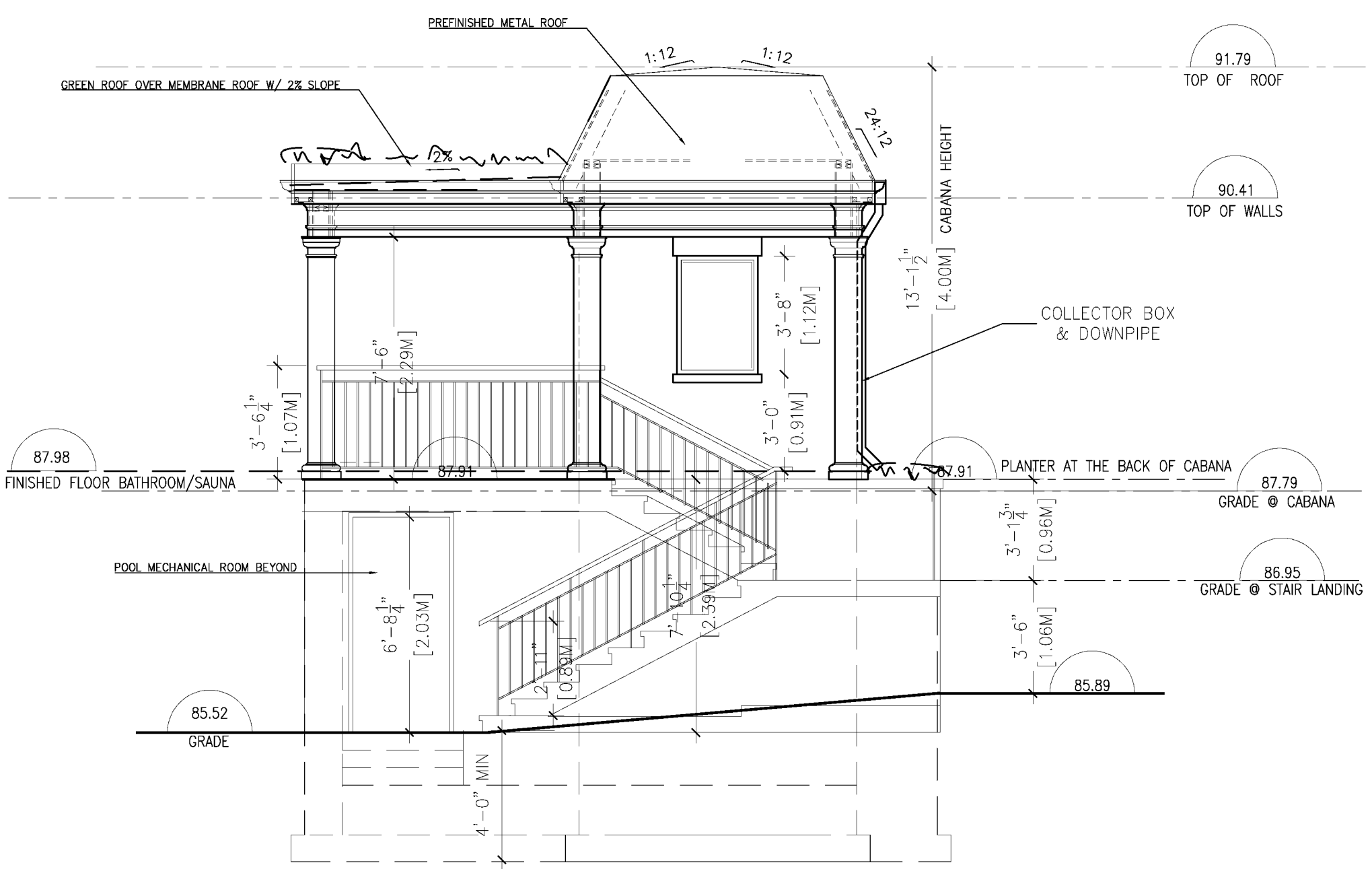
- GATE: SAME AS THE ENCLOSURE AND
1. SUPPORTED ON SUBSTANTIAL HINGES, CAPABLE OF SUPPORTING 90.72 KG (200 LBS) IN BODY WEIGHT;
 2. IS EQUIPPED WITH A SELF-CLOSING DEVICE;
 3. IS EQUIPPED WITH A SELF-LATCHING DEVICE THAT IS AT LEAST 1.22M (4'-0") ABOVE THE ESTABLISHED GRADE;
 4. IS EQUIPPED WITH A LOCK;
 5. DOES NOT HAVE ANY MEMBERS ON THE EXTERIOR FACE OF THE GATE THAT WOULD FACILITATE CLIMBING OF THE GATE;
 6. IF THE GATE IS A DOUBLE GATE ACCESS:
 7. - ONE OF THE GATES SHALL HAVE A SELF-CLOSING DEVICE AND SELF-LATCHING DEVICE;
 8. - THE GATE OF THIS DOUBLE GATE ACCESS WITHOUT A SELF-CLOSING DEVICE AND SELF-LATCHING DEVICE SHALL HAVE A DEVICE PERMANENTLY AFFIXED TO THE GROUND OR OTHER NON-MOVABLE OBJECT, THAT PREVENTS ACCESS THROUGH THIS GATE WITHOUT LIFTING OR REMOVING THIS DEVICE AND THEN RELEASING THE LATCH;



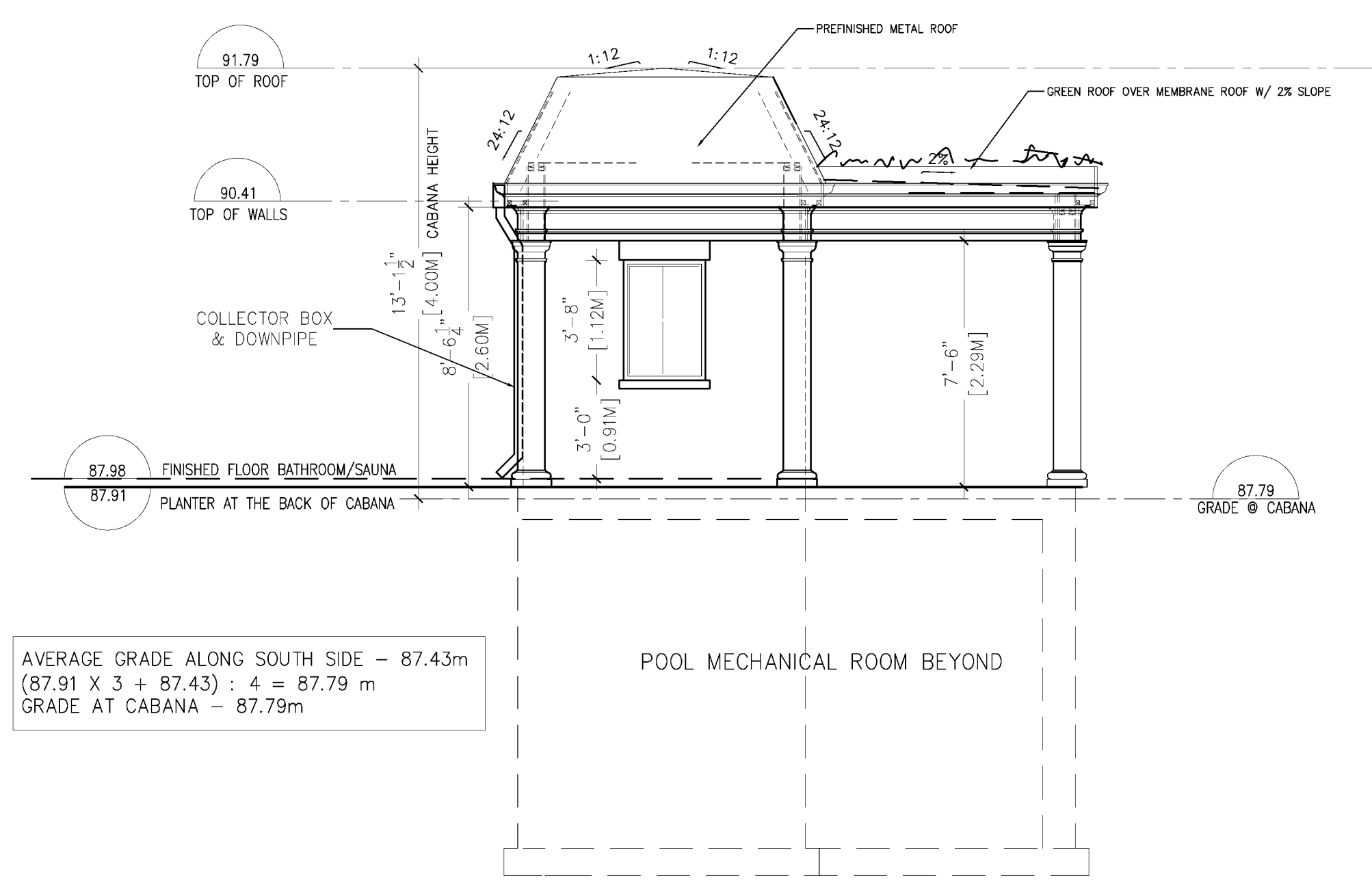
POOL ENCLOSURE DESIGN 1" = 1'-0"

- W3a EXTERIOR WALL MASONRY (ABOVE GRADE) CABANA BATHROOM
- 4" STONE OR BRICK VENEER PER ELEVATIONS TIED BACK TO FRAME WALL WITH MASONRY TIES 23 5/8" O.C. MAX. VERT AND 1'-3 5/8" O.C. MAX. HORIZ. WEEP HOLES AT 3' O/C. MAX.
 - 1" AIRSPACE
 - TYVEK AIR / MOISTURE BARRIER JOINTS LAPPED 4" MIN.
 - 1/2" PLYWOOD SHEATHING
 - 2X4 OR 2X6 WOOD STUDS AT 16" O.C. SINGLE PLATE AT BOTTOM DOUBLE PLATE AT TOP
 - 1/2" GYPSUM WALL BOARD/CEMENT BOARD
 - FINISH AS PER THE INTERIOR DESIGN DRAWINGS

- W3a EXTERIOR WALL MASONRY (ABOVE GRADE) CABANA SAUNA
- 4" STONE OR BRICK VENEER PER ELEVATIONS TIED BACK TO FRAME WALL WITH MASONRY TIES 23 5/8" O.C. MAX. VERT AND 1'-3 5/8" O.C. MAX. HORIZ. WEEP HOLES AT 3' O/C. MAX.
 - 1" AIRSPACE
 - TYVEK AIR / MOISTURE BARRIER JOINTS LAPPED 4" MIN.
 - 1/2" PLYWOOD SHEATHING
 - 2X4 WOOD STUDS AT 16" O.C. SINGLE PLATE AT BOTTOM DOUBLE PLATE AT TOP
 - 3 1/2" SPRAYFOAM INSULATION (MIN R14)
 - 6 MIL POLY A/V BARRIER, IF REQUIRED (ON THE WARM SIDE)
 - 1/2" CEDAR TONGE AND GROVE BOARDS



CABANA SIDE SOUTH/EAST ELEVATION 1/4" = 1'-0"



CABANA SIDE NORTH/WEST ELEVATION 1/4" = 1'-0"

AVERAGE GRADE ALONG SOUTH SIDE - 87.43m
 (87.91 X 3 + 87.43) : 4 = 87.79 m
 GRADE AT CABANA - 87.79m

Description	
1	ISSUED FOR BUILDING PERMIT 2024-04-21
2	ISSUED FOR POOL ENCLOSURE PERMIT 2024-05-09
3	REISSUED FOR BUILDING PERMIT 2024-08-29
4	ISSUED FOR CoFA CABANA 2025-02-04

Project
AQUINO RESIDENCE

15 PEBBLERIDGE PLACE
 OAKVILLE, ON

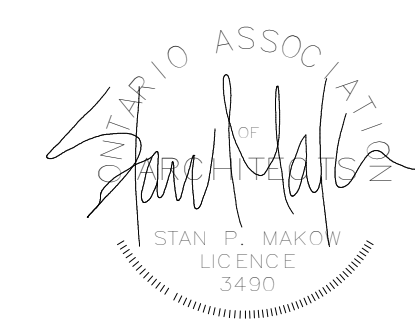


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Professional Seals

Date: 2025-02-04 12:39:51 PM Project No.: 21614

Sheet Title

CABANA

Dwg. File Name: C:\Users\jordanika\Documents\Aquino Residence R03 - CABANA 2025_jordanika\70025.rvt

Scale: 1 : 13 Drawn: Author Checked: Checker

Original is 36" x 24" Do not scale contents of this drawing

Sheet Number

A 500



CALCULATIONS FOR UNPROTECTED OPENINGS - SOUTH/WEST ELEVATION

WALL	AREA OF EXPOSING FACE	SET BACK	% UNPROTECTED OPENINGS ALLOWED	AREA OF PROPOSED UNPROTECTED OPENING
A	1687.25 SQ.FT. (156.75 SQ.M.)	13.78 FT (4.20 M.)	12%	151.25 SQ.FT. (14.05 SQ.M.) - 8.96%

2 SOUTH/WEST(SIDE) ELEVATION UNPROTECTED OPENINGS CALCULATION
A 202 1/8" = 1'-0"

Description

1 ISSUED FOR REVIEW	2023-12-12
2 ISSUED FOR PLANNING COMMENT	2023-02-16
3 ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-09-06
4 ISSUED TO CLIENT	2023-12-22
5 ISSUED TO ENGINEER	2024-02-28
6 ISSUED TO TRUSS COMPANY	2024-01-02
7 ISSUED FOR BUILDING PERMIT	2024-04-21
8 REISSUED FOR BUILDING PERMIT	2024-08-29
9 ISSUED FOR CoFA CABANA	2025-02-04

Project
AQUINO RESIDENCE

15 PEBBLERIDGE PLACE
OAKVILLE, ON



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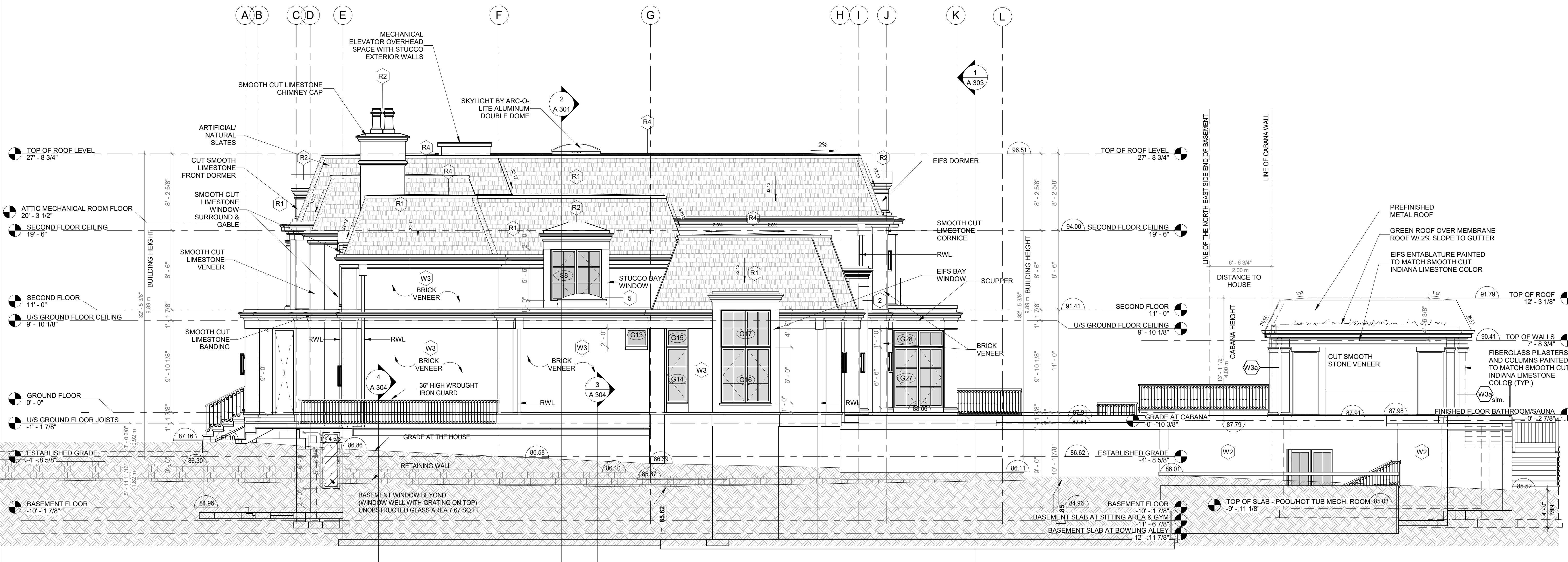
Date: 2025-02-04 12:43:19 PM Project No.: 21614

Sheet Title: SOUTH WEST SIDE ELEVATION - HOUSE & CABANA

Dwg. File Name: C:\Users\jordanika\Documents\Aquino Residence R03 - CABANA 2025_jordanika75025.rvt

Scale As Indicated Drawn Checked

Sheet Number



1 SOUTH/WEST(SIDE) ELEVATION
A 202 3/16" = 1'-0"

MINIMUM UNOBSTRUCTED GLASS AREA OF BEDROOM 5% OF AREA SERVED:
(9.7.2.3. (1) & Table 9.7.2.3. OBC)
NANNY'S BEDROOM AREA: 149.59 SQ FT (13.90 SQ M)
MINIMUM UNOBSTRUCTED GLASS AREA FOR BEDROOM REQUIRED: 7.48 SQ FT (0.69 SQ M)
PROPOSED UNOBSTRUCTED NANNY'S ROOM GLASS AREA : 7.67 SQ FT (0.71 SQ M)

AVERAGE GRADE ALONG SOUTH SIDE - 87.43 m
(87.91 X 3 + 87.43) : 4 = 87.79 m
GRADE AT CABANA - 87.79 m

A 202



2 NORTH/EAST (SIDE) ELEVATION - UNPROTECTED OPENING CALCULATION
A 203 1/8" = 1'-0"

CALCULATIONS FOR UNPROTECTED OPENINGS - NORTH/EAST ELEVATION

WALL	AREA OF EXPOSING FACE	SET BACK	% UNPROTECTED OPENINGS ALLOWED	AREA OF PROPOSED UNPROTECTED OPENING
A	1577.42 SQ.FT. (146.55 SQ.M.)	13.12 FT (4.00 M.)	12%	167.47 SQ.FT. (15.56 SQ.M.) - 10.62%

Description

1	ISSUED FOR REVIEW	2023-12-12
2	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-09-06
3	ISSUED TO CLIENT	2023-12-22
4	ISSUED TO ENGINEER	2024-02-28
5	ISSUED TO TRUSS COMPANY	2024-01-02
6	ISSUED FOR BUILDING PERMIT	2024-04-21
7	REISSUED FOR BUILDING PERMIT	2024-08-29
8	ISSUED FOR CoA CABANA	2025-02-04

Project
AQUINO RESIDENCE

15 PEBBLERIDGE PLACE
OAKVILLE, ON



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Date: 2025-02-04 12:41:31 PM Project No.: 21614

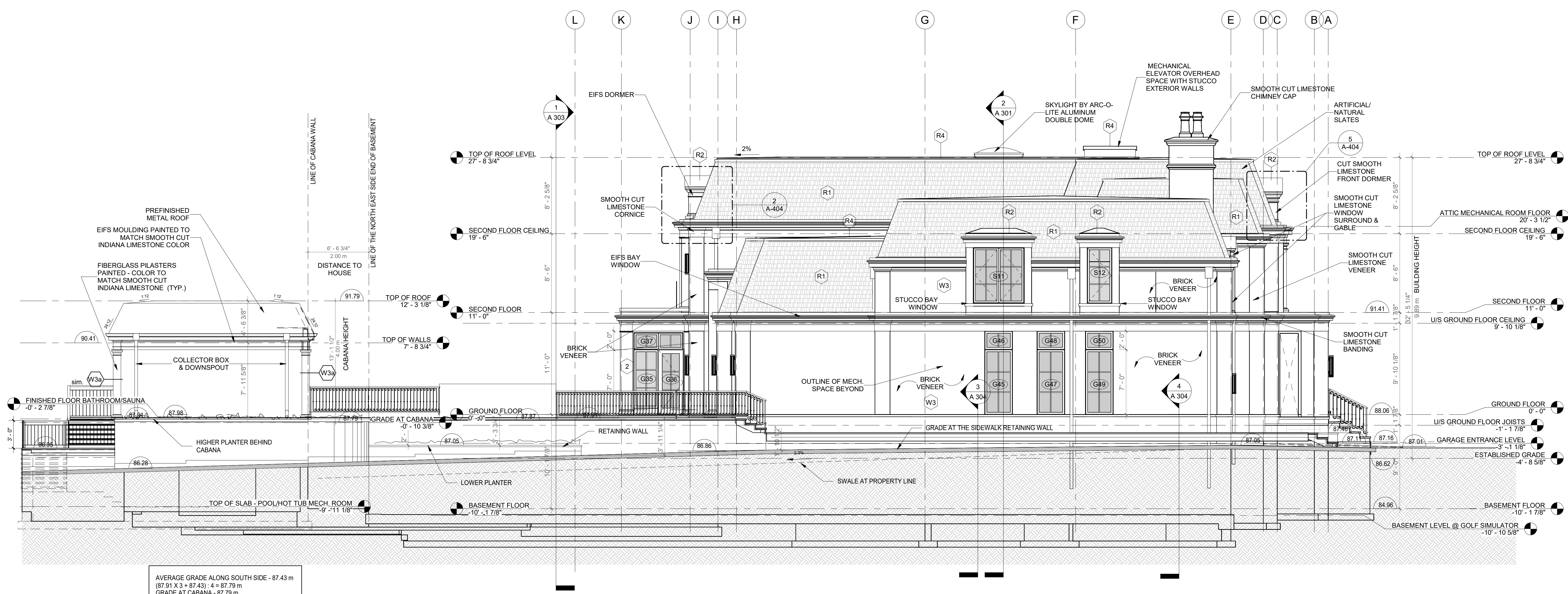
Sheet Title: NORTH EAST SIDE ELEVATION - HOUSE & CABANA
Dwg. File Name:

Scale As Indicated Drawn Checked

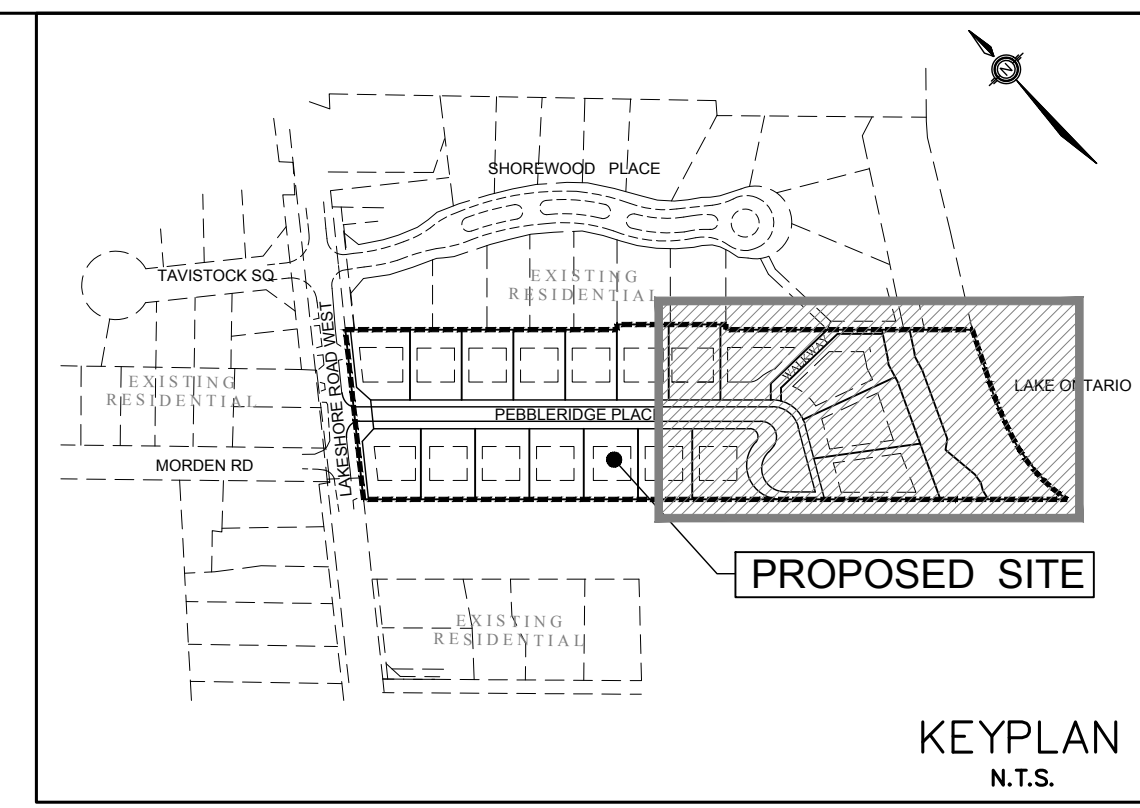
Original 36" x 24" Author Checker

Do not scale contents of this drawing Sheet Number

A 203



1 NORTH/EAST (SIDE) ELEVATION
A 203 3/16" = 1'-0"



NOTES
1. FOR GENERAL NOTES REFER TO DWG. NO. GN-1.

- LEGEND**
- DENOTES VALVE AND CHAMBER
 - ⊕ DENOTES HYDRANT
 - DENOTES SINGLE CATCHBASIN
 - DENOTES DOUBLE CATCHBASIN
 - DENOTES EX. CATCHBASIN
 - DENOTES PROPOSED SANITARY MANHOLE
 - DENOTES PROPOSED STORM MANHOLE
 - DENOTES EXISTING SANITARY MANHOLE
 - DENOTES EXISTING STORM MANHOLE
 - 223.80 DENOTES PROPOSED ELEVATION
 - 190.14 DENOTES EXISTING ELEVATION
 - 108.50 DENOTES EXISTING CONTOUR
 - B/S DENOTES BACKSPLIT DRAINAGE HOUSE TYPE
 - W/O DENOTES WALKOUT DRAINAGE HOUSE TYPE
 - ✱ DENOTES ENGINEERING FILL LOTS
 - DENOTES OVERLAND FLOW ROUTE
 - DENOTES 1.2m DECORATIVE METAL FENCE
 - DENOTES TREE PRESERVATION BARRIER
 - DENOTES WOOD GUARDRAIL
 - DENOTES ARMOUR STONE RETAINING WALL
 - DENOTES LIMIT OF SUBDIVISION
 - 87.45 DENOTES MINIMUM BASEMENT ELEVATION

BENCHMARK
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF OAKVILLE BENCHMARK NO. 20 HAVING A PUBLISHED ELEVATION OF 90.334 METRES

6.	21/11/23	F.T.	ISSUED FOR SIXTH SUBMISSION TO TOWN OF OAKVILLE
5.	21/10/23	F.T.	ISSUED FOR FIFTH SUBMISSION
4.	21/09/16	F.T.	ISSUED FOR FOURTH SUBMISSION
3.	21/08/21	F.T.	ISSUED FOR THIRD SUBMISSION
2.	21/02/24	F.T.	ISSUED FOR SECOND SUBMISSION
1.	20/08/17	F.T.	ISSUED FOR FIRST SUBMISSION

No.	Date	By	Revisions
Design	F.T.	Checked	F.T.
Drawn	T.K.	Checked	P.S.

Scale: 1:500

Approvals

Municipal
APPROVED IN PRINCIPLE SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO TOWN OF OAKVILLE STANDARDS AND SPECIFICATIONS.

1:500
SIGNED: _____ DATE: _____
Manager of Development Engineering - TOWN OF OAKVILLE

Regional
DESIGN OF SANITARY AND WATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

Karthiga Maunaguru November 10, 2021
Legislative and Planning Services Dept.-Region of Halton DATE:

Professional Engineer
F. TCHOURKINE
NOV 23 2021
PROVINCE OF ONTARIO

SCHAEFFERS
CONSULTING ENGINEERS

6 Ronrose Drive, Concord, Ontario L4K 4R3
Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail: design@schaeffers.com

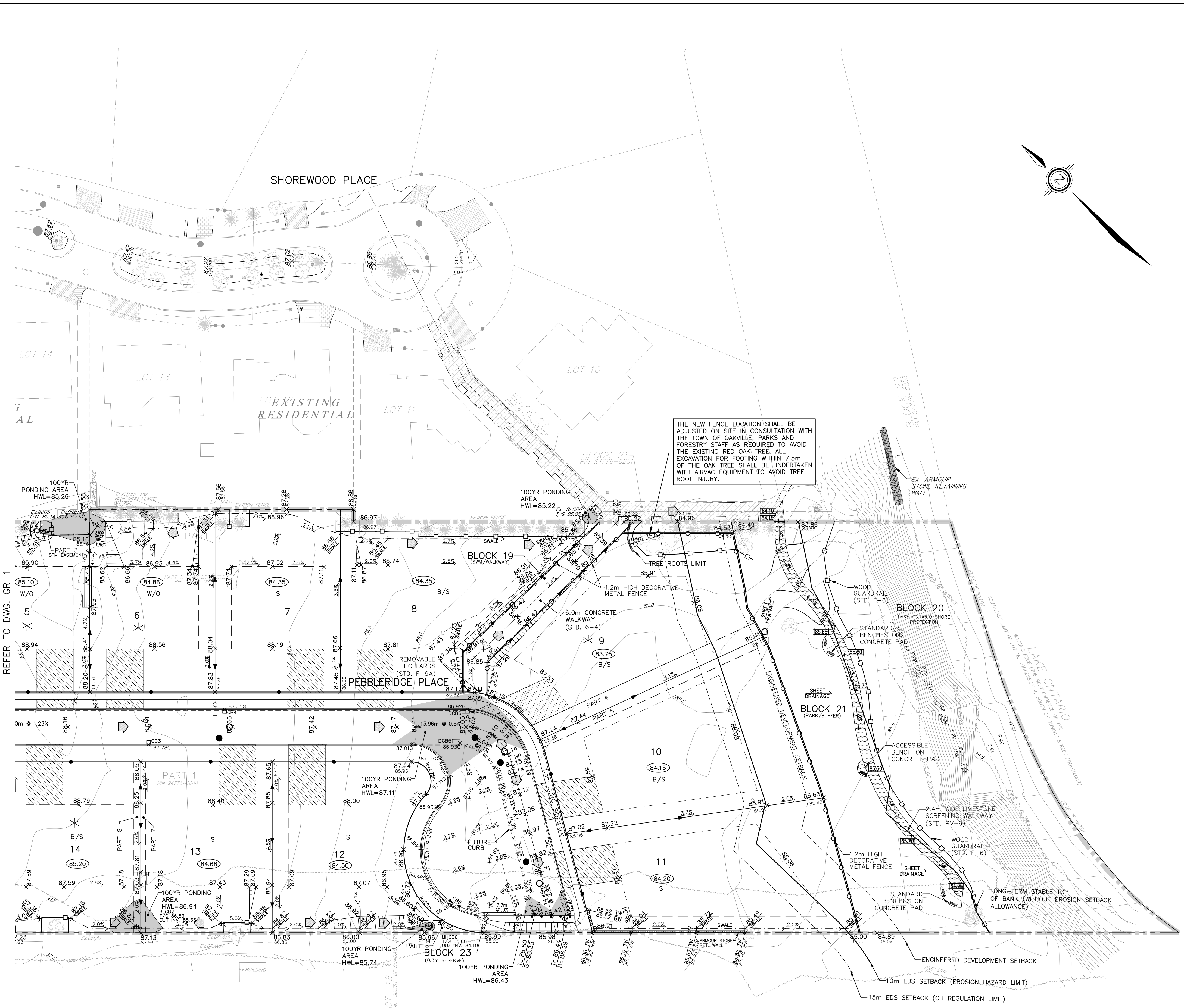
Halton REGION

Municipality

OAKVILLE TOWN OF OAKVILLE
DEPARTMENT OF PUBLIC WORKS

Title **MAJESTIC EDGE ESTATES INC. RESIDENTIAL SUBDIVISION 346-362 LAKESHORE ROAD WEST GRADING PLAN PART 2**

Municipal File No. 24T-17006/1718	Regional File No. DO-1070
Contract No. 2019-4752	Drawing No. GR-2



REFER TO DWG. GR-1

February 13, 2025

Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3
via email: coarequests@oakville.ca

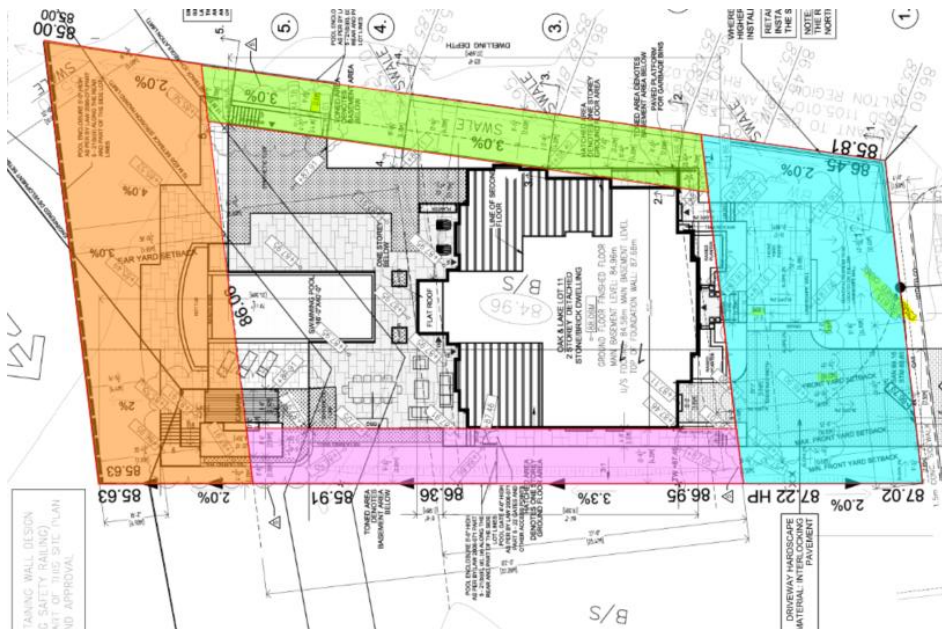
Re: 15 Pebbleridge Place, Minor Variance Application

Good Day –

This is an application to address the cabana which was shown in the drawings submitted to the Committee of Adjustment application in November of 2024. There are no changes above the basement or on the surface of the property from the application which was approved at the November 15, 2024 hearing.

The site plan reviewed by the committee in November, showed an ancillary structure, a cabana, in the yard at the rear of the house. This cabana was separated by 2.0m from the main house, and had a 2.05m setback from the side yard, and a 7.19m rear setback. The Zoning by-law allows accessory buildings in the rear yard to be setback as little as 0.6m, and we believed that the structure complied with the by-law.

We were informed by the zoning reviewer that, for Zoning purposes, ‘front’, ‘rear’, ‘flankage’ and ‘side’ yards are only that area of a lot between the outermost part of the main dwelling and the property line. For dwellings that do not have walls exactly parallel to the lot lines, there is always ‘yard’ which is undifferentiated. The zoning examiner sent us this diagram of the ‘yards’ which area a result of this method of lot analysis:



As can be seen, the cabana we proposed is only partially in the ‘rear yard’ even though it is all within the ‘yard’ at the rear of the dwelling. It is my opinion that this is a technical distinction, and the intent of the by law is to allow accessory structures such as this cabana.

As we had to come back to the committee to resolve this, we have made some additional changes – in particular, we have expanded the basement, but only in the area under the pool deck. As the pool deck would have been on a concrete slab supported by a foundation, there is no impact to this change.

The revised plans, showing the change to the basement, have been submitted to Conservation Halton, who have already approved the revised plan.

Please feel free to contact me at 647-291-5335 or via email at jim@makowarchitects.com if you have any questions about the above.

Thank you,

A handwritten signature in black ink, appearing to read 'J.Pfeffer', with a horizontal line extending from the end of the signature.

Jim Pfeffer, OAA

March 13, 2025

Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3
via email: coarequests@oakville.ca

Re: 15 Pebbleridge Place, Minor Variance Application

According to our analysis, the variances to be requested area:

Table 6.3.1 (Row 5, Colum RL1)

Whereas the minimum interior side yard shall be 4.2m, the easterly interior side yard, to the cabana and basement, shall be 2.05m

Table 6.3.1 (Row 6, Colum RL1)

Whereas the minimum rear yard shall be 10.5, the proposed rear yard, to the cabana and basement, shall be 6.69m.

Table 6.3.1 (Row 9, Column RL1)

Whereas the maximum dwelling depth is 37.69m, the proosed dwelling depth is 41.42m (The dwelling depth is 19.6m above the basement)

6.4.2 a)

Whereas, for a lot with a detached dwelling in the RL1 Zone, where the detached dwelling is greater than 7.0 meters in height, the maximum lot coverage shall be 35.9%. The Lot coverage of the proposed house is 37.5% (Lot coverage is 20.9% excluding the Basement)

Please note when reviewing that the maximum dwelling depth and lot coverage above are as approved by the Committee in November 2024, and that the variances are written with the Cabana now assumed to be a part of the house, as it is over, and contiguous with, the basement – although there is no internal connection between the main house and the basement. Oakville zoning staff should confirm the correctness of this approach.

Please feel free to contact me at 647-291-5335 or via email at jim@makowarchtiects.com if you have any questions about the above.

Thank you,



Jim Pfeffer, OAA