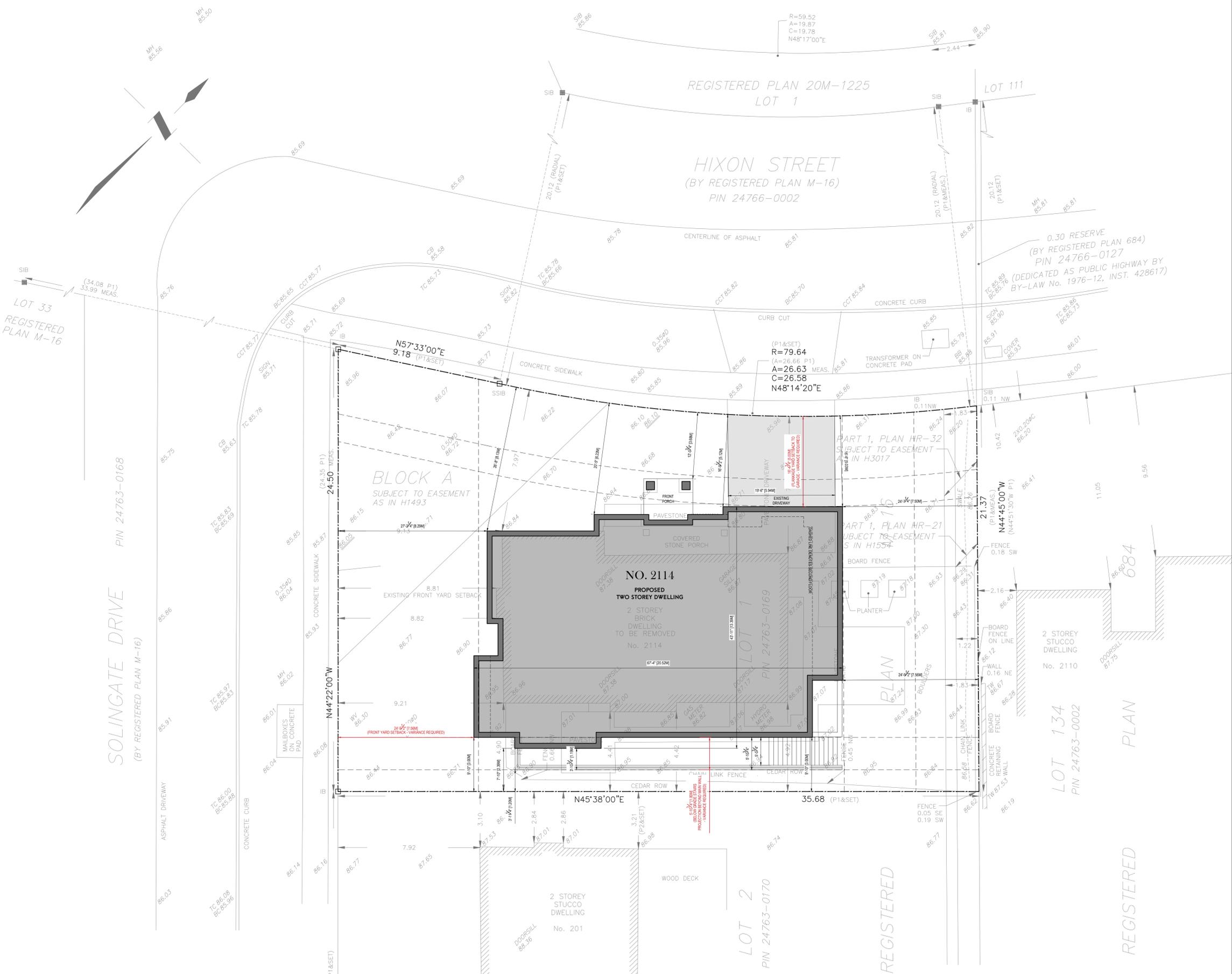


SITE STATISTICS		
ADDRESS:	2114 HIXON STREET	
ZONING:	RL3-0	
LOT AREA	Proposed 776.77 m ²	Required 557.5 m ²
LOT FRONTAGE	22.9 m	18.00 m
ESTABLISHED GRADE	86.08	N/A
HEIGHT TO MID-POINT	7.88 m	N/A
HEIGHT TO HIGHEST RIDGE	9.00 m	9.00 m
HEIGHT TO EAVE	6.61 m	N/A
RFA (FLOOR AREA)	Proposed	Required
GROUND FLOOR	194.96 m ²	N/A
SECOND FLOOR	213.67 m ²	N/A
GARAGE (NOT INCL.)	45.94 m ²	N/A
SUBTOTAL	408.63 m²	N/A
OPEN AREAS (TO BE DEDUCTED)	60.99 m ²	N/A
TOTAL RFA	347.64 m²	310.71 m²
RFA TO LOT AREA (MAX 41%)	44.75 %	40 %
LOT COVERAGE	Proposed	Required
DWELLING FOOTPRINT (INCL GARAGE)	240.90 m ²	N/A
FRONT PORCH	6.14 m ²	N/A
TOTAL LOT COVERAGE:	247.04 m²	271.87 m²
MAX ALLOWED = 35%	31.80 %	35 %
SETBACKS	Proposed	Required
FRONT YARD (EXISTING (8.81M) - 1.00M)	7.56 m	7.81 m
FLANKAGE YARD	3.68 m	3.50 m
INTERIOR SIDE YARD	2.39 m	1.20 m
REAR YARD	7.5 m	7.50 m



1300 ARCHITECTURAL SITE PLAN

FINAL DESIGN SIGN OFF
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 FIRM NAME: B.C.I.N.
 REGISTRATION INFORMATION
 REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE.
 FIRM NAME: B.C.I.N.

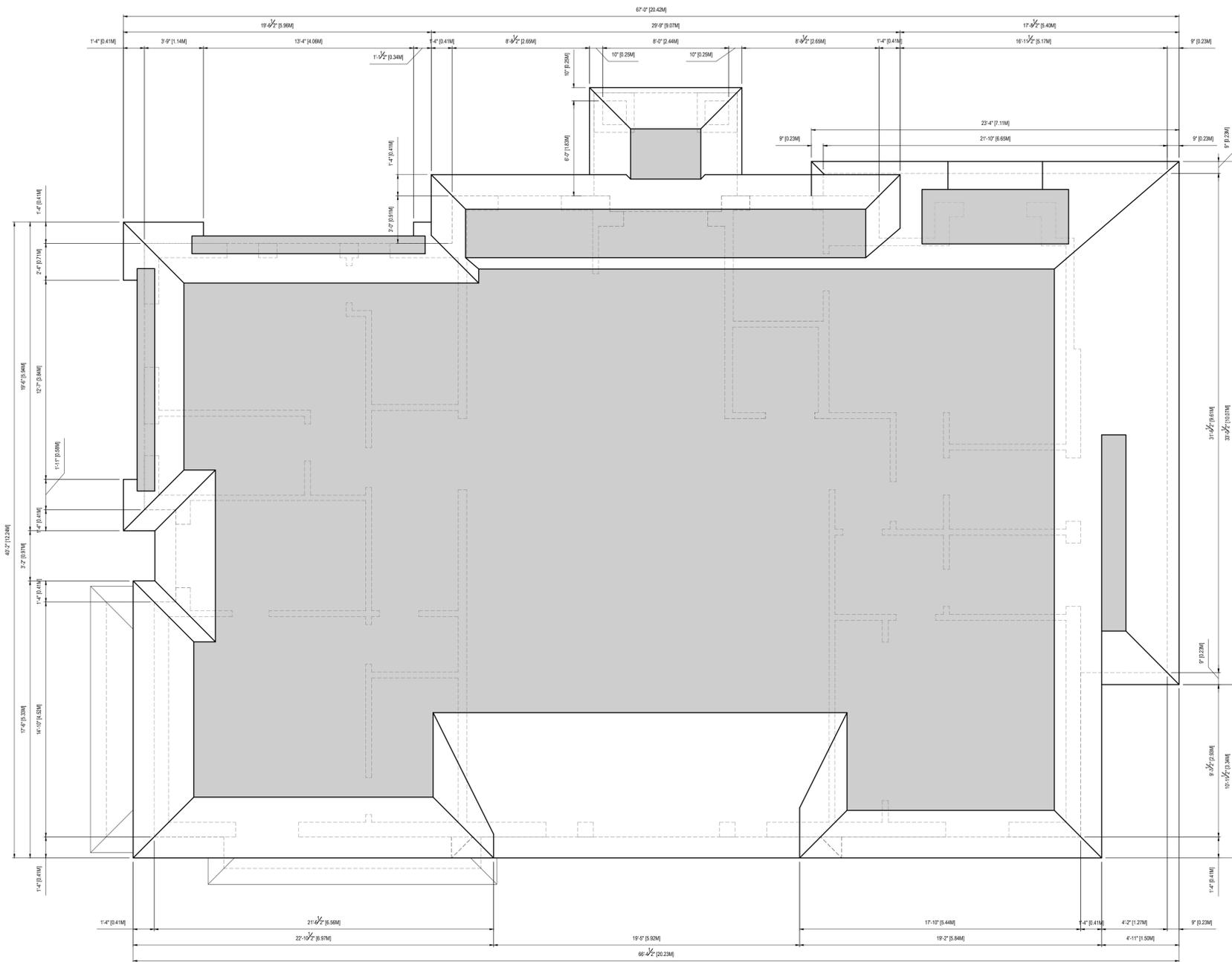
REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	ISSUED FOR COA DEFERRAL
4	
5	

REVISION LIST
 1 - M1.D0.YYYY
 2 - M1.D0.YYYY
 3 - M1.D0.YYYY
 4 - M1.D0.YYYY
 5 - M1.D0.YYYY

ISSUE LIST
 1 - ISSUED FOR DESIGN SIGN OFF 04.13.2024
 2 - ISSUED FOR COA 05.15.2024
 3 - ISSUED FOR COA DEFERRAL 02.23.2025
 4 - M1.D0.YYYY
 5 - M1.D0.YYYY

PROJECT NORTH: TRUE NORTH

DRAWING TITLE: SITE PLAN
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SCALE: 1:100
SHEET NO.: SP



100'-1"=1'
ROOF PLAN

FINAL DESIGN SIGN-OFF
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CLIENT INITIALS: _____ HUIS INITIALS: _____



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FIRM NAME: _____ B.C.I.N.: _____

REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	ISSUED FOR COA DEFERRAL
4	
5	

PROJECT NORTH: TRUE NORTH

DRAWING TITLE: ROOF PLAN
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SCALE: 1/8"=1'-0"
SHEET NO.: **A104**



NOT TO SCALE
3D VIEWS

FINAL DESIGN SIGN OFF
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FIRM NAME B.C.I.N.

REVISION LIST	
1	MM/DD/YYYY
2	MM/DD/YYYY
3	MM/DD/YYYY
4	MM/DD/YYYY
5	MM/DD/YYYY

DRAWING TITLE: 3D VIEW
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SHEET NO.: A205



RIGHT ELEVATION

FINAL DESIGN SIGN-OFF
 I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

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 FIRM NAME: _____ B.C.I.N.: _____

REVISION LIST	
1	MM/DD/YYYY
2	MM/DD/YYYY
3	MM/DD/YYYY
4	MM/DD/YYYY
5	MM/DD/YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: J.H. CHECKED BY: K.V.K.
 PROJECT ADDRESS: 2114 HIXON STREET
 PROJECT NO.: 2024-055
 SHEET NO.: _____

SCALE: 1/8"=1'-0"
A202



14'11"27
FRONT ELEVATION

FINAL DESIGN SIGN-OFF
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FIRM NAME _____ B.C.I.N. _____

REVISION LIST	
1 -	MI/DO.YYYY
2 -	MI/DO.YYYY
3 -	MI/DO.YYYY
4 -	MI/DO.YYYY
5 -	MI/DO.YYYY

ISSUE LIST	
1	ISSUED FOR DESIGN SIGN OFF 04.13.2024
2	ISSUED FOR COA 05.16.2024
3	ISSUED FOR COA DEFERRAL 02.03.2025
4 -	MI/DO.YYYY
5 -	MI/DO.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. CHECKED BY: K.V.K.
PROJECT ADDRESS: 2714 HIXON STREET
SCALE: 1/4"=1'-0"
SHEET NO. 2024-055
A201



SPATIAL SEPARATION 'A'

EXPOSING BUILDING FACE	201.22	SQ. FT.	18.69	SQ. M.
UNPROTECTED OPENINGS	30.19	SQ. FT.	19.00	%
PERMITTED	30.18	SQ. FT.	15.00	%

LIMITING DISTANCE = 2.40M (7.87 FT.) AS PER TABLE 9.10.15.4.1

SPATIAL SEPARATION 'B'

EXPOSING BUILDING FACE	1180.49	SQ. FT.	109.67	SQ. M.
UNPROTECTED OPENINGS	117.76	SQ. FT.	9.91	%
PERMITTED	118.05	SQ. FT.	10.00	%

LIMITING DISTANCE = 3.00M (9.84 FT.) AS PER TABLE 9.10.15.4.1

REAR ELEVATION

FINAL DESIGN SIGN-OFF
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REVISION LIST

1	ISSUED FOR DESIGN SIGN OFF	04.13.2024
2	ISSUED FOR COA	05.15.2024
3	ISSUED FOR COA DEFERRAL	02.03.2025
4		
5		

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024-055
SCALE: 1/8"=1'-0"
SHEET NO.: A203

CLIENT INITIALS: _____ HUIS INITIALS: _____

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FIRM NAME: _____ B.C.I.N.: _____

FIRM NAME: _____ B.C.I.N.: _____

ISSUE LIST

1	ISSUED FOR DESIGN SIGN OFF	04.13.2024
2	ISSUED FOR COA	05.15.2024
3	ISSUED FOR COA DEFERRAL	02.03.2025
4		
5		



LEFT ELEVATION

FINAL DESIGN SIGN-OFF
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REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	ISSUED FOR COA DEFERRAL
4	
5	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 2114 HIXON STREET
PROJECT NO.: 2024.055
SHEET NO.: A204