

Committee of Adjustment Notice of Decision

under Section 45 of the *Planning Act*, R.S.O. 1990 c. P13



File No. A/038/2025

Applicant / Owner	Authorized Agent	Property
Alex Blanchard	Alex Blanchard Carrothers and Associates 505 YORK Blvd #3 Hamilton ON L8R 3K4	307 Chartwell Rd CON 3 SDS PT LOT 10

Zoning of property: RL2-0, Residential, By-law 2014-014, as amended

The request made under Section 45(1) of the *Planning Act* has been **approved** to authorize a minor variance to permit the construction of a two-storey detached on the subject property proposing the following variances:

No.	Current	Proposed
1	<i>Section 5.8.2</i> The maximum width for a single driveway and the combined maximum width where more than one driveway is permitted shall be 9.0 metres for a lot having a lot frontage equal to or greater than 18.0 metres.	To increase the maximum driveway width to 10.58 metres.
2	<i>Section 5.8.6 c)</i> Notwithstanding subsection (b) above, for lots located within the Residential Low (RL1) Zone the maximum total floor area for a private garage shall be 56.0 square metres and the maximum width of the entrance to the private garage shall be 9.0 metres.	To increase the maximum total floor area to 80.4 square metres.
3	<i>Section 5.8.7 c)</i> Attached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line.	To increase the attached private garage projection to a maximum of 2.64 metres.
4	<i>Table 6.3.1 (Row 9, Column RL1)</i> The maximum dwelling depth shall be 20.00 metres.	To increase the maximum dwelling depth to 27.51.
5	<i>Section 6.5.2 c)</i> The maximum height for an accessory building or structure shall be 4.0 metres measured from grade.	To increase the maximum height for the accessory building to 6.69 metres measured from grade.

The Committee considered all relevant information including the applicant's submission materials and presentation, observations from their site visit, town staff and agency comments. No written or oral submissions were received from the public. The Committee is of the opinion that the variances are considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan and zoning by-law subject to the following conditions:

1. The dwelling be constructed in general accordance with the submitted site plan dated January 29, 2025 and elevation drawings dated January 15, 2025;
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction; and
3. That the previous consent approval B23/01 [1610] lapse on April 6, 2025, before a Building Permit is issued.

Signed by:

M. Telawski, Member

Signed by:

S. Dickie, Member

Signed by:

S. Mikhail, Chair

Signed by:

J. Hardcastle, Member

Signed by:

S. Price, Member

Signed by:

S. Coyne, Asst. Secretary-Treasurer

Dated at the hearing held on March 19, 2025.

This decision is subject to appeal to the Ontario Land Tribunal (OLT) by filing with the OLT e-file service, or through the Town of Oakville's Committee of Adjustment office, **no later than 4:30 p.m. on April 8, 2025.**

I hereby certify this is a copy of the Committee of Adjustment final and binding decision whereby no appeals were filed.

S. Coyne, Asst. Secretary-Treasurer