



FRONT PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A1



REAR PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



SIDE PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

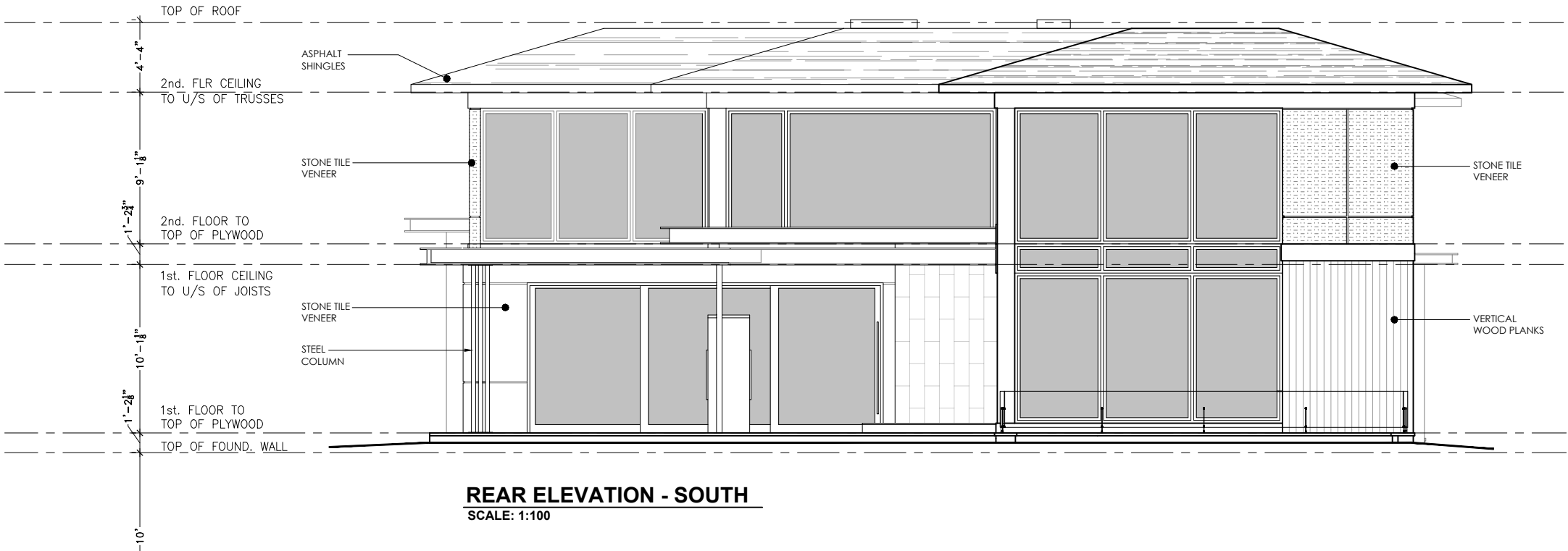
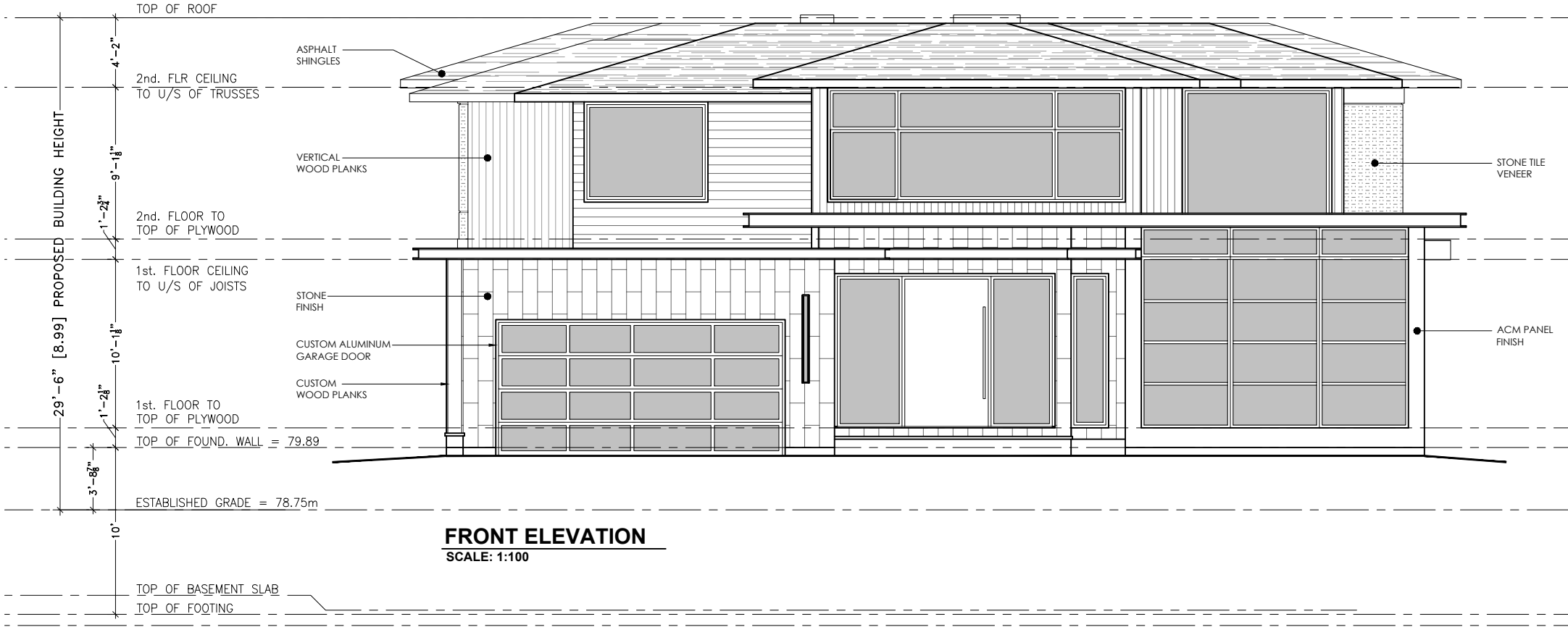
REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be
used for construction
purposes, unless approved
and stamped by the Local
Building Department.

PROJECT: 1574 Old Lakeshore Rd

A6



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

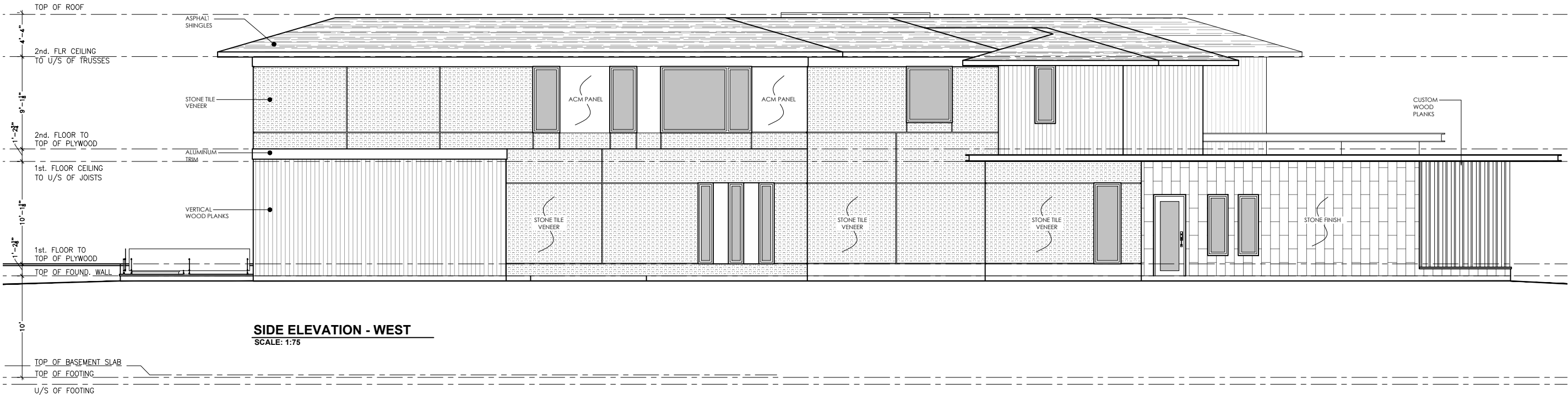
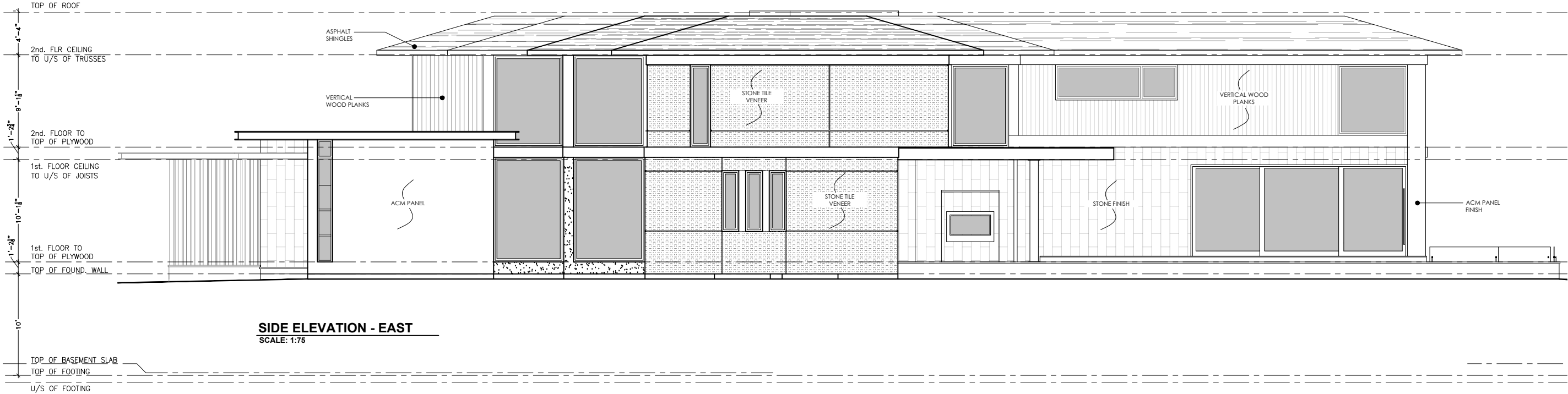
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A7





CABANA - PERSPECTIVE VIEWS





KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

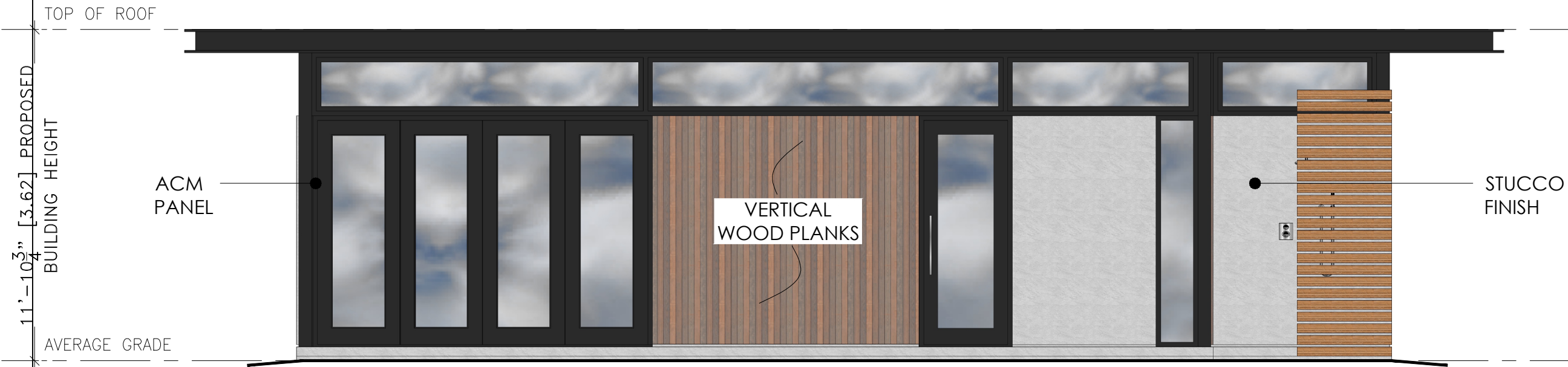
REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

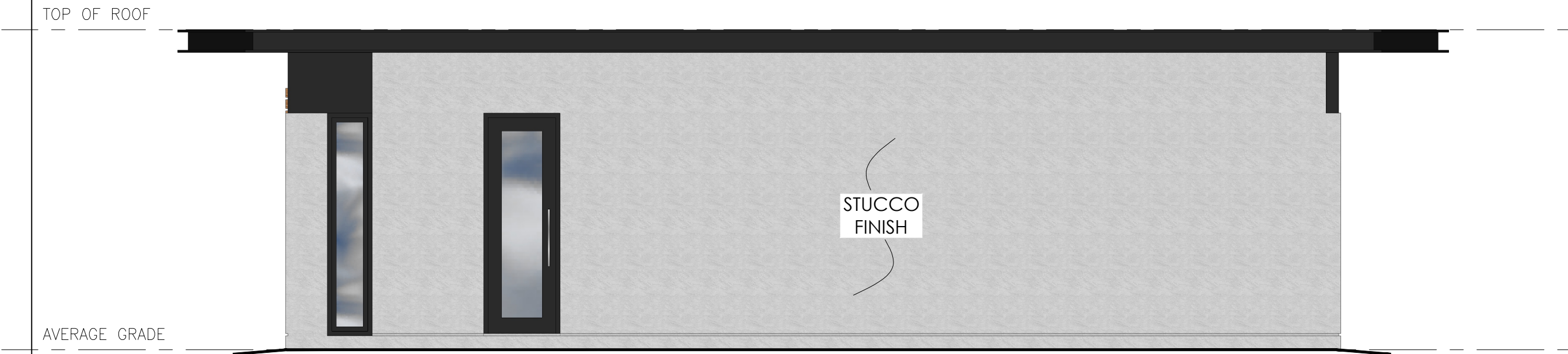
These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A8



CABANA - FRONT ELEVATION
SCALE: 1:50



CABANA - REAR ELEVATION
SCALE: 1:50



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be
used for construction
purposes, unless approved
and stamped by the Local
Building Department.

PROJECT: 1574 Old Lakeshore Rd

A10



11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

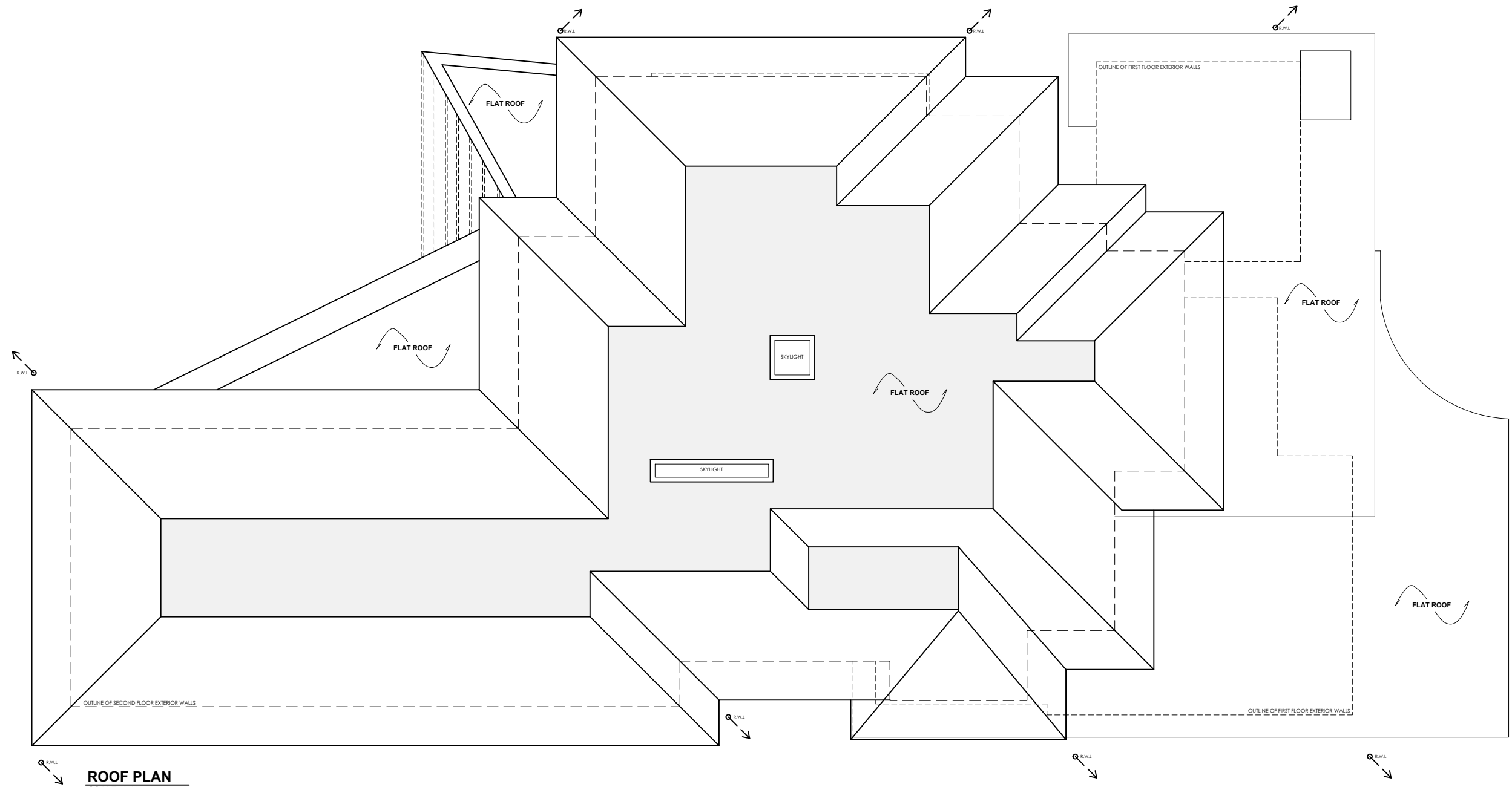
DRAWING INFORMATION

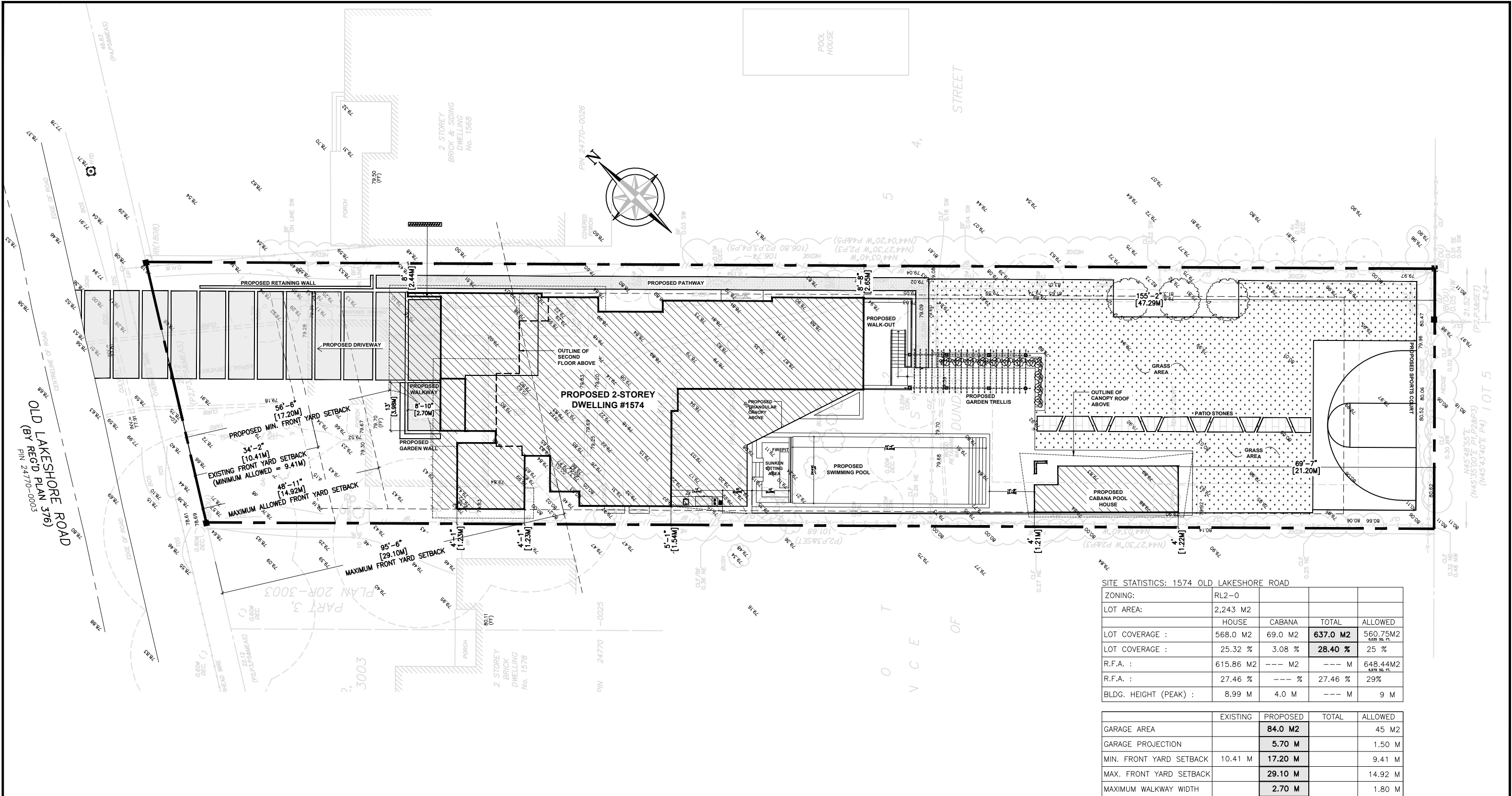
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A10





SITE STATISTICS: 1574 OLD LAKESHORE ROAD

ZONING:	RL2-0			
LOT AREA:	2,243 M2			
	HOUSE	CABANA	TOTAL	ALLOWED
LOT COVERAGE :	568.0 M2	69.0 M2	637.0 M2	560.75M2
LOT COVERAGE :	25.32 %	3.08 %	28.40 %	25 %
R.F.A. :	615.86 M2	--- M2	--- M	648.44M2
R.F.A. :	27.46 %	--- %	27.46 %	29%
BLDG. HEIGHT (PEAK) :	8.99 M	4.0 M	--- M	9 M

	EXISTING	PROPOSED	TOTAL	ALLOWED
GARAGE AREA		84.0 M2		45 M2
GARAGE PROJECTION		5.70 M		1.50 M
MIN. FRONT YARD SETBACK	10.41 M	17.20 M		9.41 M
MAX. FRONT YARD SETBACK		29.10 M		14.92 M
MAXIMUM WALKWAY WIDTH		2.70 M		1.80 M

SITE PLAN

SCALE: 1:300



11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be
used for construction
purposes, unless approved
and stamped by the Local
Building Department.

PROJECT: 1574 Old Lakeshore Rd

S1

Planning Justification

Property Address: 1574 Old Lakeshore Rd

Nov 19 2024

A pre-consultation meeting was held with staff prior to the submission of this application and feedback received during that meeting has been reflected in the submitted drawings.

The following variances are requested:

1. To allow for a lot coverage of 28.4%, where as 25% is permitted
2. To allow for a garage area of 84.0m² (garage area = 52m² + roof canopy (in front of garage) area of 32.0m²), whereas 45.0m² is permitted
3. To allow for a minimum front yard setback of 17.20m, whereas 9.41m is permitted
4. To allow for a maximum front yard setback of 29.10m, whereas 14.92m is permitted
5. To allow for a walkway width of 2.70m, whereas 1.80m is permitted
6. To allow a garage projection of 5.70 meters whereas 1.5 is the maximum.

1. Lot Coverage (Variance)

The permitted Lot Coverage is 28.4% and this application is asking for 25% . The main reason for the overage is the pool cabana / accessory building in the rear yard. The footprint of the main house is actually below the maximum permitted lot coverage, however, the large canopy roof elements push the figure over the threshold.

2. Garage area:

The garage area by itself is only 52M² but because the front façade has a large canopy feature on the front of the garage, this area is also counted as garage space, and this inflates the number to the 84 M² being requested.

3. Minimum front yard setback:

The house is set further back on the property then the existing dwelling and therefore requires a variance for this.

4. Maximum front yard setback:

Because the maximum front yard setback has to include at least 50% of the main walls on both floors, the increase is required to 29.1 meters.

5. Maximum walkway width:

The width of the proposed front walkway is increased beyond what the by-law permits because it is of a scale proportional and appropriate to the dwelling.

6. Garage Projection:

The proposed garage does not project more than 1.5 meters from the main wall of the house, however, because of the large canopy roof that extends in front of the garage, zoning staff have advised that the projection measurement needs to be taken from that point, resulting in the 5.8m requested.

This home has extensive articulation, especially on the front elevation, with a large canopy occurring on the 1st level and the 2nd floor substantially set back from the 1st floor walls.

The proposed house is set further back than the existing house is, and two variances are required for this. However, the proposed location brings the front of the house more or less in-line with the dwellings on either side. The lot is also quite deep, so the front setback is appropriate in that regard.

Massing:

DESIGN GUIDELINES

1. New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. This design approach may incorporate:

- projections and/or recesses of forms and/or wall planes on the façade(s)*
- single-level building elements when located adjacent to lower height dwellings*
- variation in roof forms*
- subdividing the larger building into smaller elements through additive and/or repetitive massing techniques*
- porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance*
- architectural components that reflect human scale and do not*

appear monolithic

- *horizontal detailing to de-emphasize the massing*
- *variation in building materials and colours.*

2. New development should be designed to mitigate potential impacts of overshadowing on adjacent properties by avoiding bulky massing close to the shared property line, by stepping down the height of the structure, and/or by increasing the setback(s) from the side and rear property lines.

Scale:

DESIGN GUIDELINES

1. New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.

2. In instances where the lot patterning has been altered through redevelopment, the scale of the new development should be compatible with the scale of the surrounding buildings.

Four Tests:

1. The proposed development complies with the official plan in that it is a single-family dwelling unit, which is similar in size and scale to many other houses on the street and in the surrounding area.
2. The intent of the zoning by-law is met with this proposal because most key regulations, such as lot coverage, side yard setbacks and height are being met.
3. Single family dwellings of similar scale and massing are prevalent in the immediate area, therefore this proposal, being a single family, four-bedroom dwelling, is both desirable and appropriate.
4. The proposed development is appropriate for the site and area because it will complement the fabric of the neighbourhood.