

SURVEY NOTE:
EXISTING TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM SURVEY PREPARED BY CUNNINGHAM MCCONNELL LIMITED.

GRADING NOTE:
REFER TO GRADING PLAN FOR DETAILS PREPARED BY A&K SURVEYING

SCHEDULE 1 TREE PROTECTION BARRIER

Tree Protection Barriers

- Tree protection barriers must be 1.2m (4ft) high, waterboard hoarding or an equivalent approved by Urban Forestry Services.
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic web snow fencing on a wood frame made of 2" x 4".
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

SITE PLAN APPLICATION NO.

LOT 111
REGISTERED PLAN 716
TOWN OF OAKVILLE
REGION OF HALTON

- GRADING & DRAINAGE NOTES**
- MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE YARD SHALL BE A MINIMUM OF 0.15m BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5.0%.
 - TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0% AND 5.0% FOR A MAXIMUM OF 75% OF THE REAR YARD AND SLOPES OF 3 HORIZONTAL AND 1 VERTICAL MAXIMUM TO THE REAR LOT LINE.
 - EDGE OF THE DRIVEWAYS ARE A MINIMUM OF 1.0m FROM EDGE OF STREET CATCH BASIN AND STREET FURNITURE. THE BUILDER TO VERIFY THE LOCATION AND TO INFORM THE ENGINEER IF THE DIMENSION CANNOT BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.
 - BRICK LINE SHALL BE 0.15m ABOVE SOD ELEVATION.
 - ALL NEW FENCES REQUIRED ADJACENT PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL INCLUDING FOUNDATIONS COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.3m RESERVE.
 - SOIL CONSULTANTS VERIFICATION REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS.
 - THE BUILDER MUST VERIFY THE AS CONSTRUCTED ON SANITARY AND STORM SERVICES INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2.0% GRADE CANNOT BE MAINTAINED PRIOR TO PLACING OF CONCRETE FOOTINGS.
 - BUILDER TO VERIFY LOCATION ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MINIMUM DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
 - BUILDER TO STAKE OUT DRIVEWAY CURB DEPRESSION AT TIME OF TOP CURB INSTALLATION.
 - THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPALS.
 - THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS LOT SPECIFIC AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
 - THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
 - THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.
 - APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE STAKING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF KHALSA DESIGN INC.
 - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS, INCLUDING GARAGE WALLS ARE TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THE FPM ON STING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION IN THICKNESS FOR MASONRY VENEER AS REQUIRED.
- THE BUILDER / APPLICANT AGREES THAT BY REQUESTING THIS LOT GRADING CERTIFICATION BEFORE THE AVAILABILITY OF INVERT CONNECTION, THE BUILDER / APPLICANT ASSUMES ALL RESPONSIBILITIES, OR ANY POTENTIAL COMPLICATIONS DUE TO THE ULTIMATE SEWER CONNECTION ELEVATIONS AT THE STREET LINE.

	SITE STATISTICS		
	ZONE RL3-0		
	PERMITTED	-0 SUFFIX ZONE	PROPOSED
MIN. LOT AREA	557.5 m ²		815.50 m ²
MIN. LOT FRONTAGE	18 m		18.75 m
FRONT YARD	7.5 m (4)	9.55 m	7.81 m
INTERIOR SIDE YARD	1.2m		1.55 m
REAR YARD	7.5 m		6.55 m
MAX. NUMBER OF STORES	n/a (4)	2 STORES	2 STORES
BUILDING HEIGHT	12 m (4)	9 m	9.0 m
MAX. DWELLING DEPTH	n/a		14.53 m
MAX. RESIDENTIAL FLOOR AREA RATIO	n/a (4)	40%	39.89%
		326.2 m ²	325.35 m ²
MAX. LOT COVERAGE FOR THE DWELLING	35 % (4)	35%	27.8%
DWELLING			168.0 m ²
GARAGE			53.8 m ²
PORCHES			4.7 m ²
TOTAL			226.5 m ²

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
Development Services

The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

PROJECT NAME
FRIENDS REAL DESIGN

PROJECT ADDRESS
PART OF LOT 28, CONCESSION 5, CALEDON ON

CLIENT
1178 WOOD PLACE, OAKVILLE ON

ARCHITECT
KHALSA DESIGN INC.

BRAMPTON, ON

TELEPHONE: 647-468-2940

CONSULTANTS:
STRUCTURAL ENGINEER:
MEM ENGINEERING INC.

STRUCTURAL SEAL:

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ARCHITECT SEAL:

Project number 24025
Date 11/13/2024
Drawn by ASB
Checked by KDI
Scale As indicated

REVISIONS

No.	Description	Date

SITE PLAN

ASP-1

FRIENDS REAL DESIGN



KHALSA DESIGN INC.
 www.tkgeast.ca abansal@tkgeast.ca 647.468.2940
 www.tkgeast.com

1178 WOOD PLACE, OAKVILLE ON
 FRIENDS REAL DESIGN

24025
 3584 SF EXCLUDING OPEN SPACE

BUILDER

SCALE
 1/8" = 1'-0"
 DATE
 11/13/2024
 DRAWN BY
 ASB

DRAWING TITLE

FRONT ELEVATION

SHEET NO.

A-4

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Key Value	Keynote Text



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24025
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BUILDER

SCALE
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 DATE
 11/13/2024
 DRAWN BY
 ASB

DRAWING TITLE
REAR ELEVATION

SHEET NO.
A-5

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1178 WOOD PLACE, OAKVILLE ON
 FRIENDS REAL DESIGN

24025
 3584 SF EXCLUDING OPEN SPACE

BUILDER

SCALE
 1/8" = 1'-0"
 DATE
 11/13/2024
 DRAWN BY
 ASB

DRAWING TITLE

**LEFT SIDE
 ELEVATION**

SHEET NO.

A-6

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1178 WOOD PLACE, OAKVILLE ON
 FRIENDS REAL DESIGN

24025
 3584 SF EXCLUDING OPEN SPACE

BUILDER

SCALE
 1/8" = 1'-0"
 DATE
 11/13/2024
 DRAWN BY
 ASB

DRAWING TITLE
RIGHT SIDE ELEVATION

SHEET NO.
A-7

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MINOR VARIANCE PRESENTATION SET

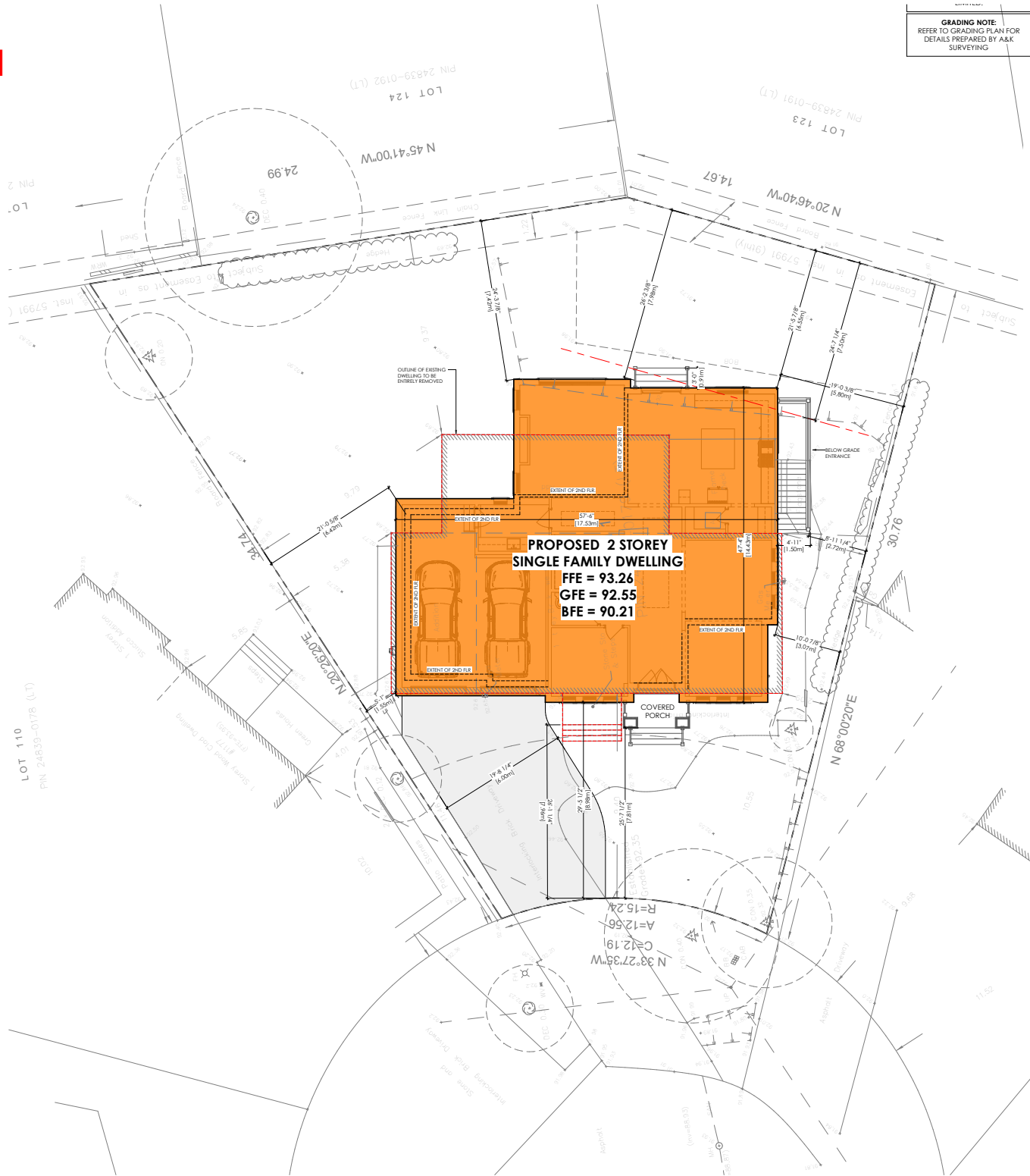
1178 WOODPLACE, OAKVILLE ON

COA AND NEIGHBORHOOD MINOR VARIANCE PACKAGE

**DEAR, COMMITTEE OF ADJUSTMENTS AND SURROUNDING
NEIGHBORS. WE ARE KINDLY MAILING OUR MINOR VARIANCE
PACKAGE TO REACH OUT WITH RESPECTS TO OUR PROPOSED
DWELLING FOR THE OWNERS OF 1178 WOODPLACE, OAKVILLE ON TO
HELP HIGHLIGHT, OUTLINE AND PROVIDE THE APPROACH AND
THOUGHT PROCESS FOR THE REQUESTED VARIANCES.**

SITE PLAN

GRADING NOTE
REFER TO GRADING PLAN FOR
DETAILS PREPARED BY A&K
SURVEYING



MINOR VARIANCE PRESENTATION SET

1178 WOODPLACE, OAKVILLE ON

No.	Current	Proposed Previous
1.	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for the private garage to 50.01 square metres. revised to 48.54 sq.m
2.	<i>Table 6.3.1 (Row 6, Column RL3)</i> The minimum rear yard shall be 7.5 m.	To reduce the minimum rear yard to 4.89 m. revised to 6.55m
3.	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 743.00 m ² and 835.99 m ² shall be 40%.	To increase the maximum residential floor area ratio to 45.2%. revised to 40% - variance no longer requested
4.	<i>Section 6.4.3 (a)</i> The minimum front yard shall be 9.55 metres in this instance.	To reduce the minimum front yard to 6.04 metres. revised to 7.81m
5.	<i>Section 6.4.6 c)</i> The maximum height shall be 9.0 metres.	To increase the maximum height to 9.5 metres. revised to 9m - variance no longer requested

PROPOSED UPDATED

The design has been adjusted to reduce the requested increase of the garage floor area. The owners would like to have an oversized garage for their SUV and economy pick up truck and still allow for a small storage area for tools. There is a 2nd story above the garage however the 2nd floor walls are setback from all sides to help reduce massing. The proposed increase is 38.1 sq.ft and believe it is minor in nature and does not present a negative impact to the surrounding

The owners envision the interior layout of their home in a particular way shaping the plans. The lot is irregular and request a slight reduction for the rear setback. However, it is important to note the setback in reduction is only for portion of the dwelling due to the angled irregular rear lot line.

We previously requested an increase to the GFA. However, we have made adjustments to reduce massing and increase setbacks and no longer require the GFA variance.

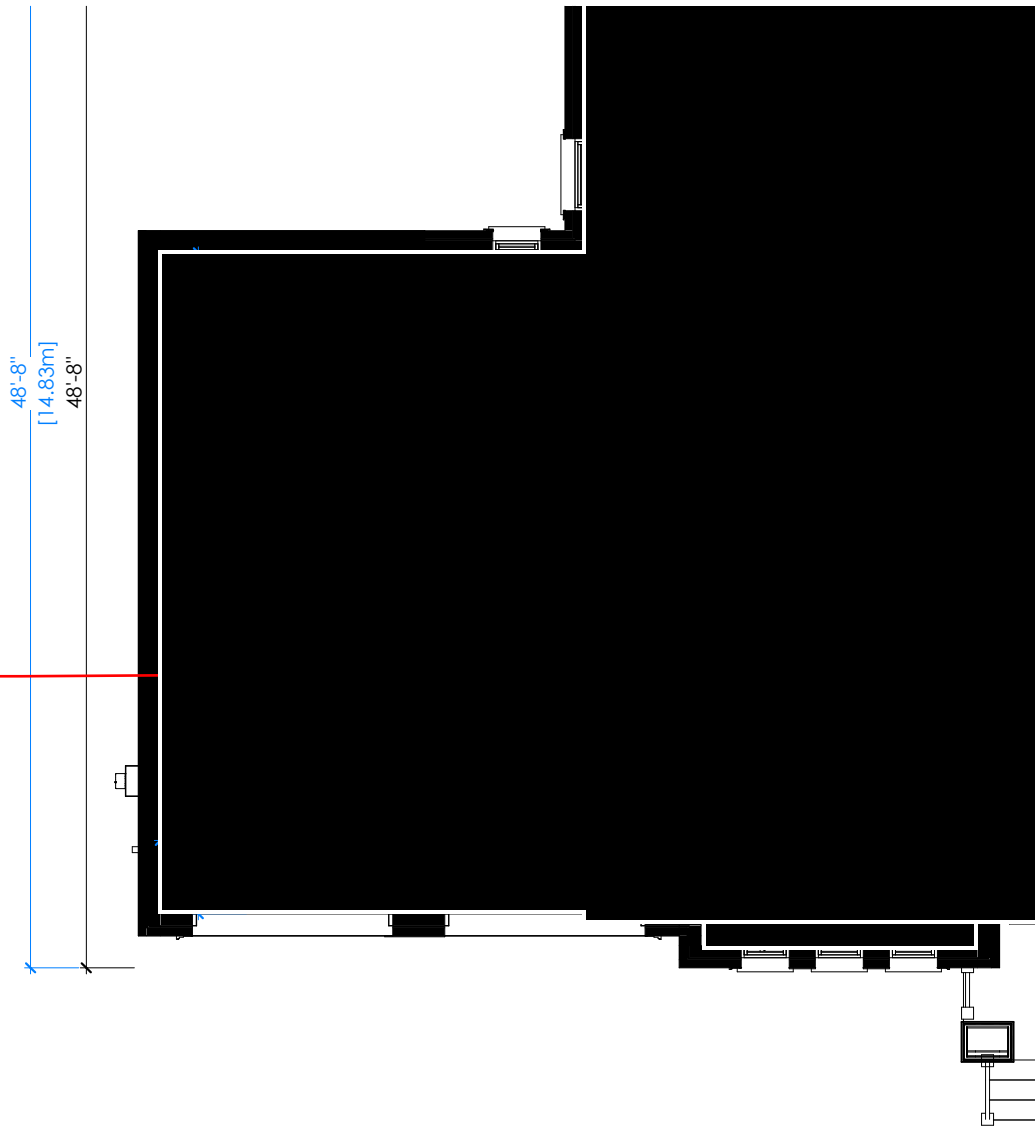
The lot is irregular and trying to find a balance between the front and rear irregular property lines. Previously we requested 6.04m however with adjustments to the dwelling depth we request a variance of 7.81m. The required setback is 9.55m although the parent by-law requires 7.5m. It is important to note that the front of the house including the front porch is more or less in the same position as the current existing setback is 7.96m

We previously requested an increase the height. However, we have made adjustments to reduce massing and no longer require the variance.

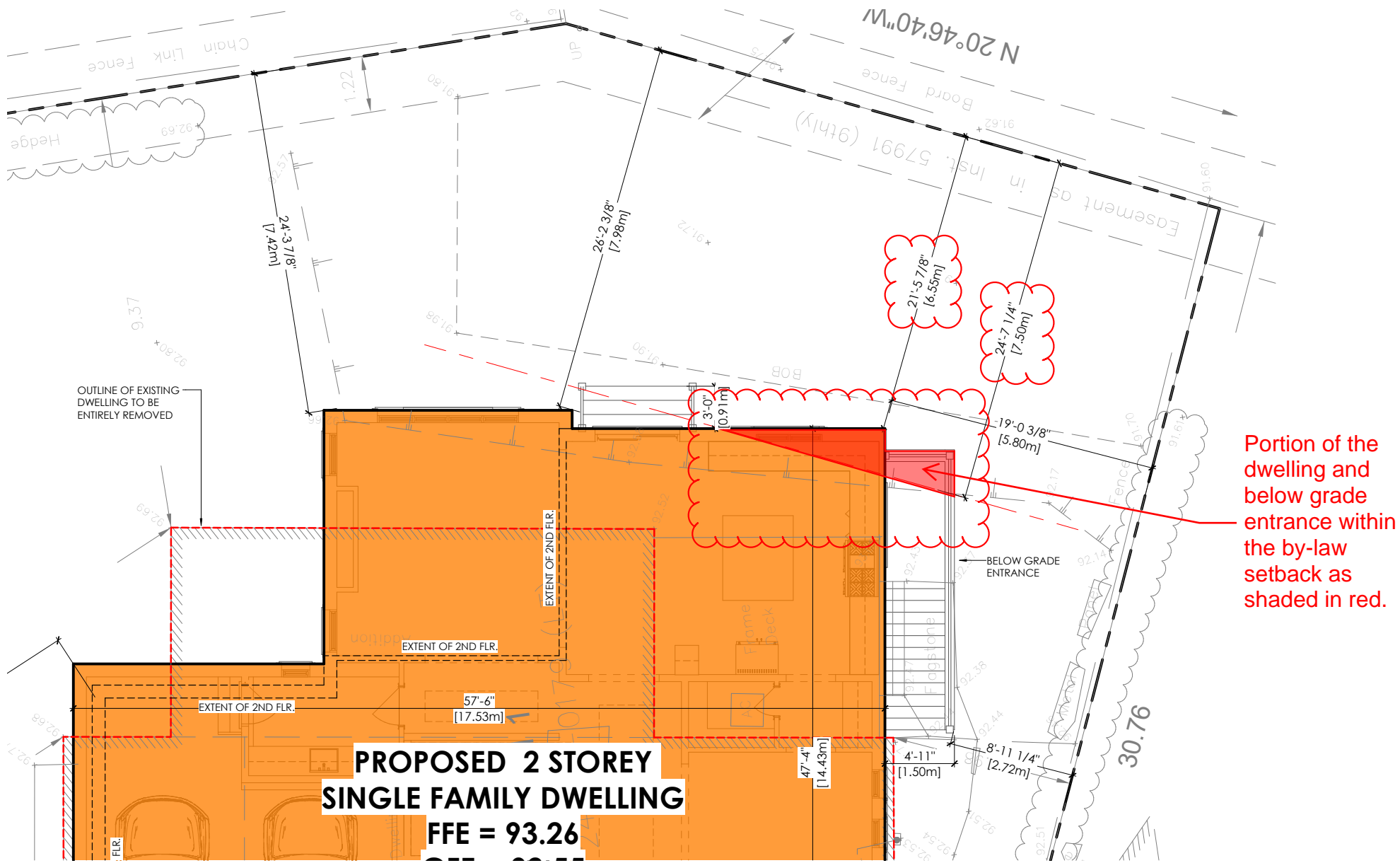
VARIANCE #1

1178 WOODPLACE, OAKVILLE ON

increase requested from
45 sq.m to 48.54 sq.m to
help with larger vehicles,
storage, trash &
recycling bins



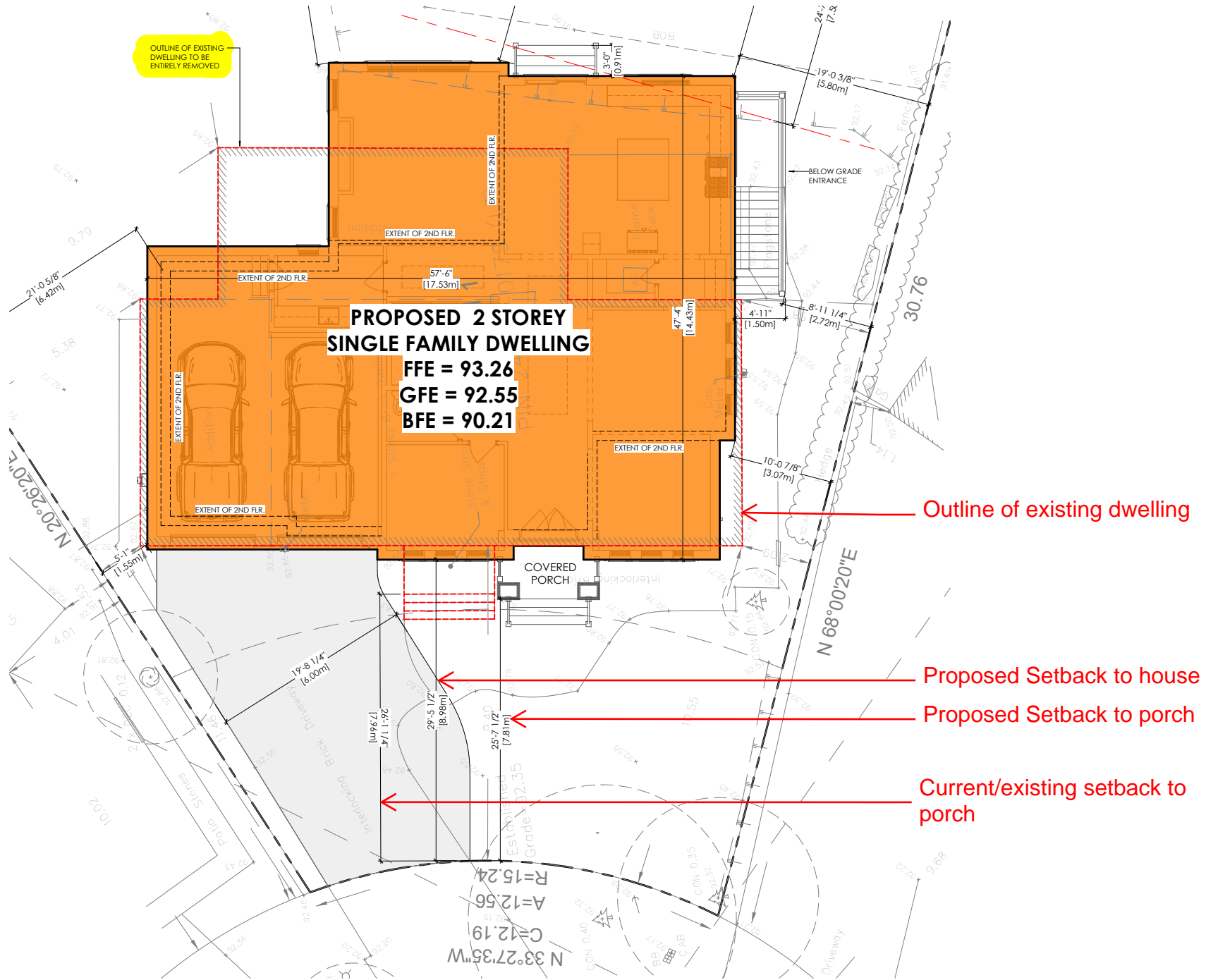
VARIANCE #2 - rear setback 1178 WOODPLACE, OAKVILLE ON



**PROPOSED 2 STOREY
SINGLE FAMILY DWELLING**
FFE = 93.26

Portion of the dwelling and below grade entrance within the by-law setback as shaded in red.

VARIANCE #3 - front setback
1178 WOODPLACE, OAKVILLE ON



MINOR VARIANCE PRESENTATION SET

1178 WOODPLACE, OAKVILLE ON

FRONT ELEVATION (PREVIOUS)



FRONT ELEVATION (UPDATED)



key changes

- lowered overall roof height to comply with zoning
- variation of roof heights
- main entrance double-storey porch changed to single storey
- garage setback from ground floor walls
- right sides massing changes to 1-storey mass

key features to tie into neighborhood

- 2 stories
- living space above garage
- single storey porch element
- roof line variation
- stone/stucco material

VARIATION OF DESIGNS AND CHARACTERISTICS WITHIN SURROUNDING NEIGHBORHOOD



404 Tower

- key features
- 2 stories
 - stone/stucco
 - living space above garage
 - single storey porch
 - mansard roof



1200 Sparta

- key features
- 2 stories
 - modern materials
 - single storey porch



1182 Woodplace

- key features
- 2 stories
 - stone/stucco
 - maximize width
 - irregular lot sha[e



1180 & 1186 Sparta

- key features
- 2 stories
 - stone/stucco
 - living space above garage
 - single storey porch



key features

- 2 stories



1190 Sparta

- key features
- 2 stories
 - living space above garage
 - single storey porch



1195 Woodplace

- key features
- maximum use of width
 - stone / stucco materials
 - roof line variation

MINOR VARIANCE PRESENTATION SET

1178 WOODPLACE, OAKVILLE ON

CONCLUSION

The new owners purchased the property to built their dream custom home, an opportunity that is rare and special to many. Although the homeowners were disappointed with the initial comments that led to the deferral, the owners respect the neighborhood and community that they will be apart of. We believe the revised design is more much desirable and suitable to fit within the existing neighborhood with the adjustments to the massing and setbacks of the proposed single family dwelling. The setbacks are consistent with the existing dwelling on the propose specifically the front setback creating a more harmonized street scape. Given the overall massing, height and floor area all comply with the zoning-by law, we believe the requested variances of a front yard setback, rear yard setback and garage floor area are minor in nature and meet the 4 tests.