

## Committee of Adjustment Decision for: CAV A/054/2022

Owner (s)	Agent	Location of Land
SANAA HASBANI, MOHEB SHARED, KARAM TADROS, MADLANE TADROS 482 BROOKSIDE DR OAKVILLE ON, L6K 1R3	TOM KOLBASENKO OUR COOL BLUE ARCHITECTS INC. 450 BRONTE ST S UNIT 213 MILTON ON, L9T 8T2	482 BROOKSIDE DR PLAN 543 LOT 6

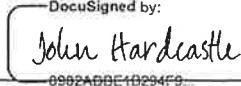
This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to permit the construction of a two-storey detached dwelling on the subject property **proposing** the following variance(s):

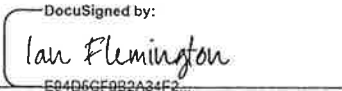
No.	Zoning By-law Regulation	Variance Request
1	<b>Section 5.8.6 b)</b> For <i>detached dwellings on lots</i> having greater than or equal to 12.0 metres in <i>lot frontage</i> , the maximum total <i>floor area</i> for a <i>private garage</i> shall be 45.0 square metres.	To permit the maximum total <i>floor area</i> for the <i>private garage</i> to be 57.4 square metres on a <i>lot</i> having greater than or equal to 12.0 metres in <i>lot frontage</i> .
2	<b>Section 6.4.1</b> The maximum <i>residential floor area ratio</i> for a <i>detached dwelling</i> on a <i>lot</i> with a <i>lot area</i> between 650.00 m <sup>2</sup> and 742.99 m <sup>2</sup> shall be 41% (284.24m <sup>2</sup> ); (Lot area is 693.27m <sup>2</sup> ).	To permit the maximum <i>residential floor area ratio</i> for the <i>detached dwelling</i> to be 44.5% (308.5 m <sup>2</sup> ).
3	<b>Section 6.4.2 a) (Row RL3, Column 3)</b> The maximum <i>lot coverage</i> shall be 35% (242.64 m <sup>2</sup> ) where the <i>detached dwelling</i> is greater than 7.0 metres in <i>height</i> .	To permit the maximum <i>lot coverage</i> to be 37.3% (258.5m <sup>2</sup> ) for the <i>detached dwelling</i> which is greater than 7.0 metres in <i>height</i> .

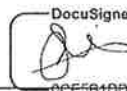
The Committee of Adjustment considered all written submissions in opposition to the application. Notwithstanding, the Committee is of the opinion that the variances are considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan – Livable Oakville Plan and the zoning by-law, subject to:

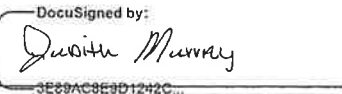
- That the dwelling be built in general accordance with the submitted site plan and elevation drawings submitted for the proposed dwelling dated 02/17/22; and
- That the approval expires two (2) years from the date of the decision if a building permit has not been issued for the proposed construction.

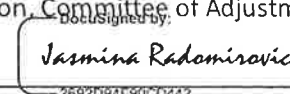
M. Telawski 

 J. Hardcastle

I. Flemington 

 S. Mikhail

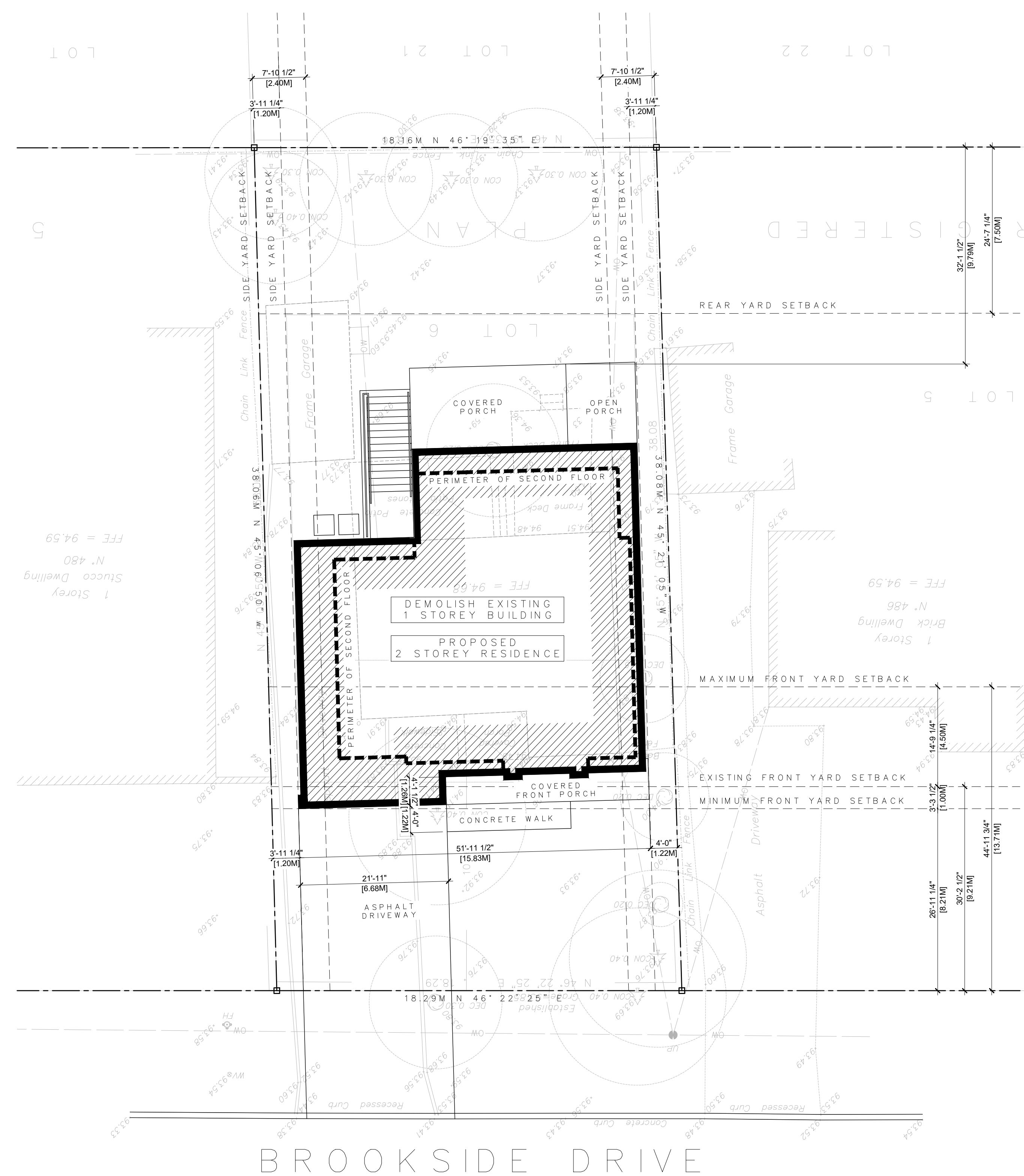
J. Murray 

Chairperson, Committee of Adjustment  
 J. Radomirovic  
Assistant Secretary-Treasurer

Dated at the meeting held on April 5, 2022.  
Last date of appeal of decision is April 25, 2022.

**NOTE:** It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**  
This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

Jasmina Radomirovic  
Assistant Secretary-Treasurer



**SITE DATA:**  
**ZONING:** RL3-0  
**LOT AREA:** 693.27 SQM (7462.25 SQFT)

**LEGAL SETBACKS:**  
**EXIST. FRONT YARD SETBACK:** 9.21 M  
**MIN. FRONT YARD SETBACK:** 9.21 + 1.0 = 8.21 M  
**MAX. FRONT YARD SETBACK:** 8.21 + 5.50 = 13.71 M  
**SIDE YARD SETBACKS:** 2.40 M  
 1.20 M  
**REAR YARD SETBACK:** 7.50 M

**PROPOSED SETBACKS:**  
**FRONT YARD SETBACK:** 8.21 M  
**EAST SIDE YARD SETBACK:** 1.20 M  
**WEST SIDE YARD SETBACK:** 1.22 M  
**REAR YARD SETBACK:** 9.79 M

**LOT COVERAGE:**  
**MAXIMUM PERMISSIBLE - 35%:** 0.35 x 693.27 SQM = 242.64 SQM (2611.79 SQFT)  
**PROPOSED: 37.3%:** 2782.4 SQFT 258.5 SQM

**BUILDING FOOTPRINT AREA:**  
**MAIN HOUSE - PROPOSED:** 2352.9 SQFT  
 218.6 SQM  
**COVERED FRONT PORCH:** 120.0 SQFT  
 11.1 SQM  
**COVERED REAR PORCH:** 301.2 SQFT  
 28.0 SQM  
**TOTAL:** 2774.1 SQFT 257.7 SQM

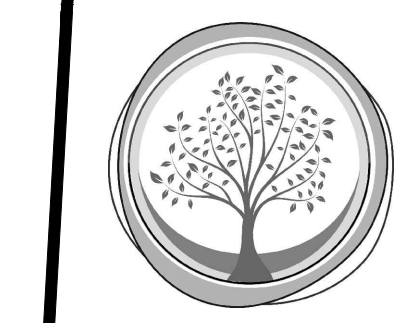
**GROSS FLOOR AREA (EXTERIOR FACE):**  
**MAX. PERMISSIBLE: 41%:** 0.41 x 693.27 SQM = 284.24 SQM (3059.52 SQFT)  
**PROPOSED: 44.5%:** 3320.7 SQFT 308.5 SQM

**MAIN FLOOR:** 1678.3 SQFT  
**SECOND FLOOR:** 1642.4 SQFT  
**TOTAL:** 3320.7 SQFT 308.5 SQM

**GARAGE AREA:**  
**MAX. PERMISSIBLE:** 45.0 SQM (484.4 SQFT)  
**PROPOSED:** 57.4 SQM 617.9 SQFT

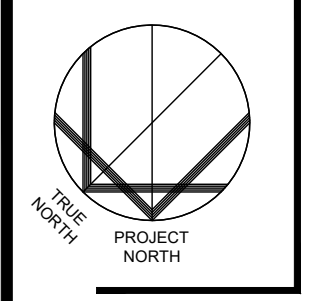
**MAXIMUM BUILDING HEIGHT:**  
**MAX. PERMISSIBLE:** 9.0 M  
**PROPOSED HEIGHT:** 9.00 M

**MAX. DRIVEWAY WIDTH:**  
**MAX. PERMISSIBLE:** 9.00 M  
**PROPOSED WIDTH:** 6.88 M



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 f: 905 363 7677

OCBA



**general notes:**

1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.
6. REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION, AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE

ISSUE

#	DATE	DESCRIPTION	INITIAL
1	09/23/21	PRELIMINARY SITE PLAN	TK
2	12/07/21	SPA REVIEW	TK
3	01/20/22	REVIEW	TK
4	01/24/22	REVIEW	TK
5	02/17/22	SPA	TK



SPA	Issued for	FEBRUARY 17, 2022
Project No.	DRL	TK
	Drawn by	Checked by

482 Brookside Drive  
 Oakville Ontario

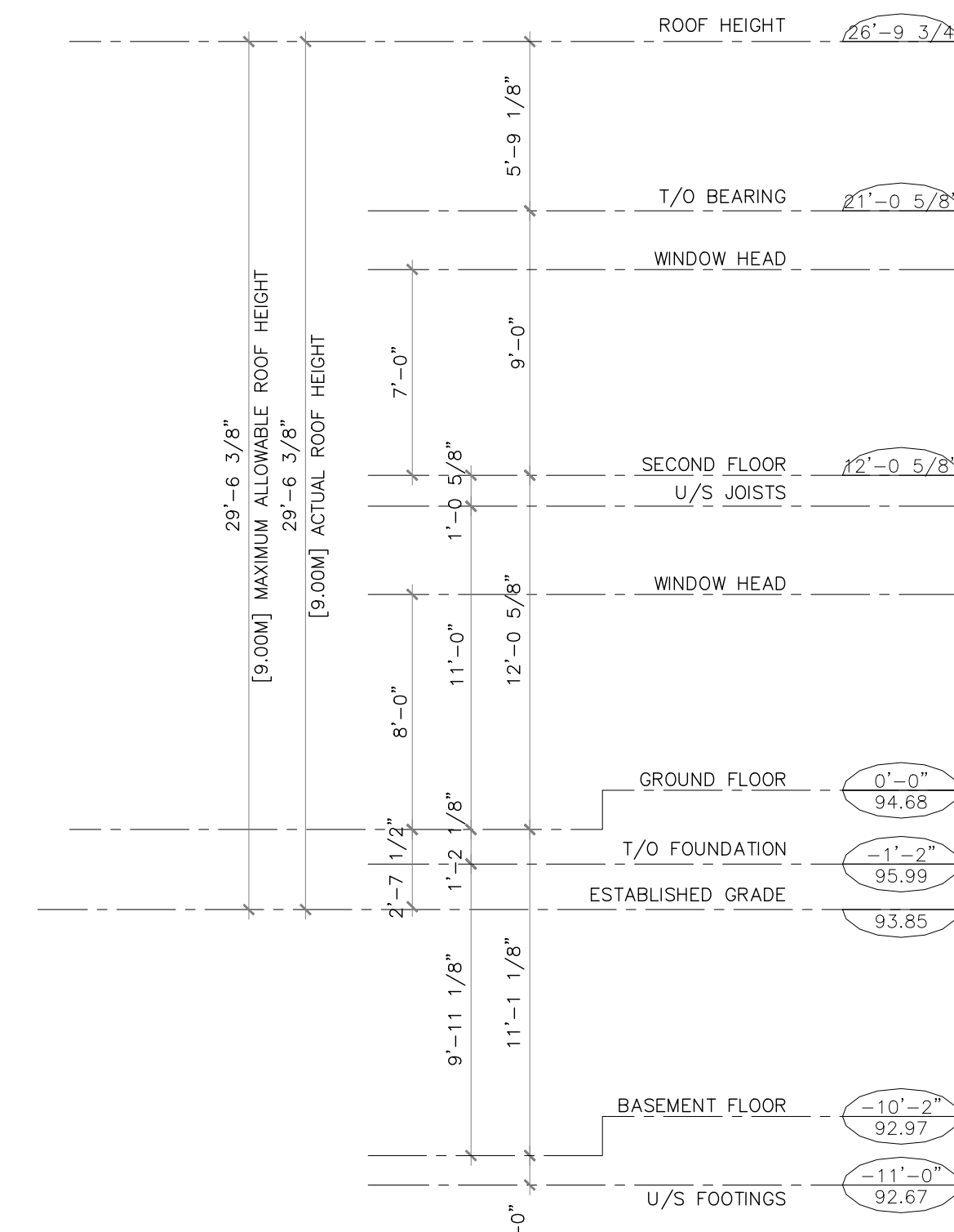
Site Plan  
 Drawing title

1 SITE PLAN  
 A1.1 3/32" = 1'-0"

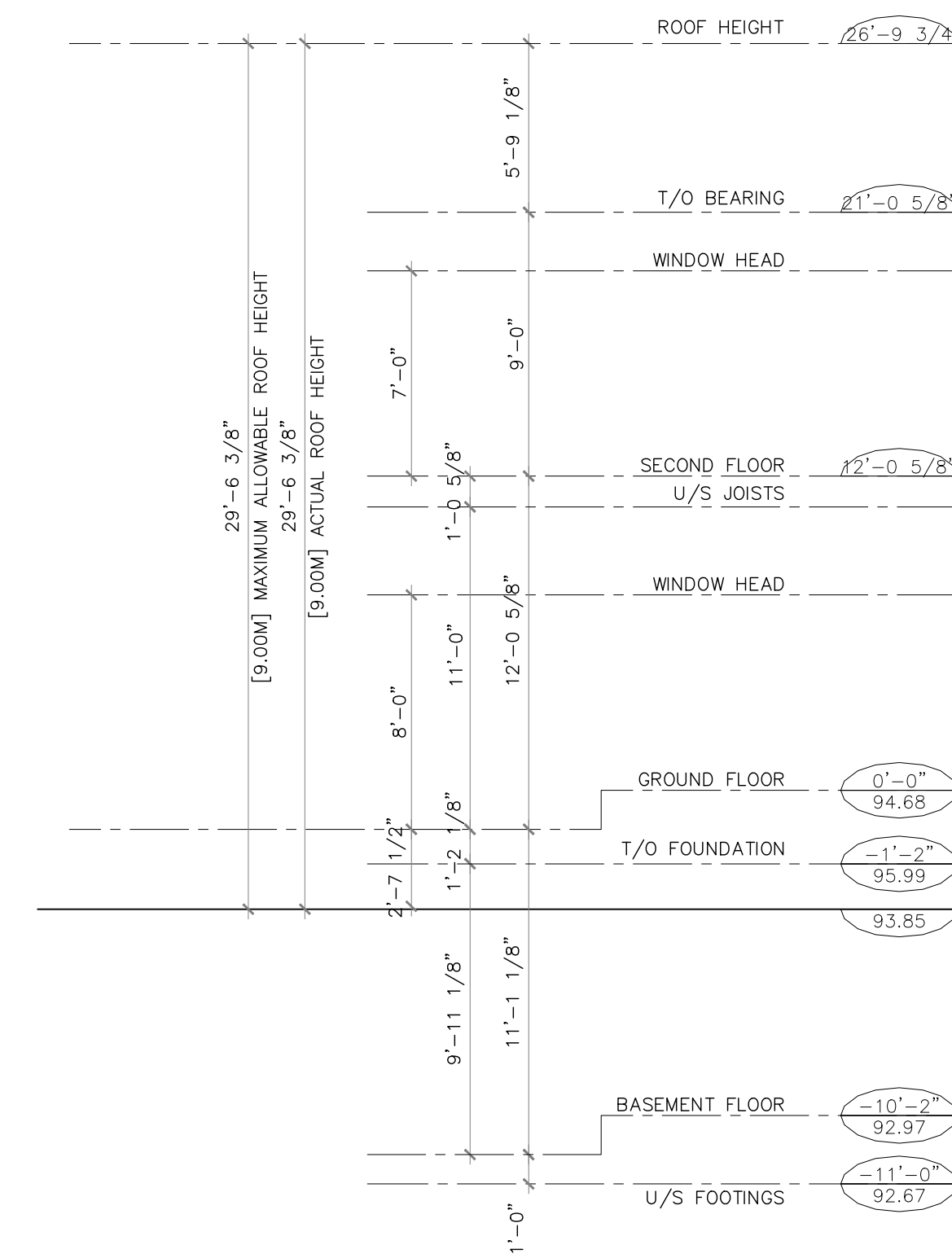


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1 SOUTH ELEVATION  
 A3.2 3/16" = 1'-0"



LIMITING DISTANCE: 1.20 M  
 AREA OF EXPOSING BUILDING FACE: 1101.4 SQFT  
 102.3 SQM  
 MAXIMUM % OF UNPROTECTED OPENINGS: 7%  
 ACTUAL UNPROTECTED OPENINGS: 65.9 SQFT  
 6.1 SQM = 6%

2 EAST ELEVATION  
 A3.2 3/16" = 1'-0"

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**FEBRUARY 17, 2022**  
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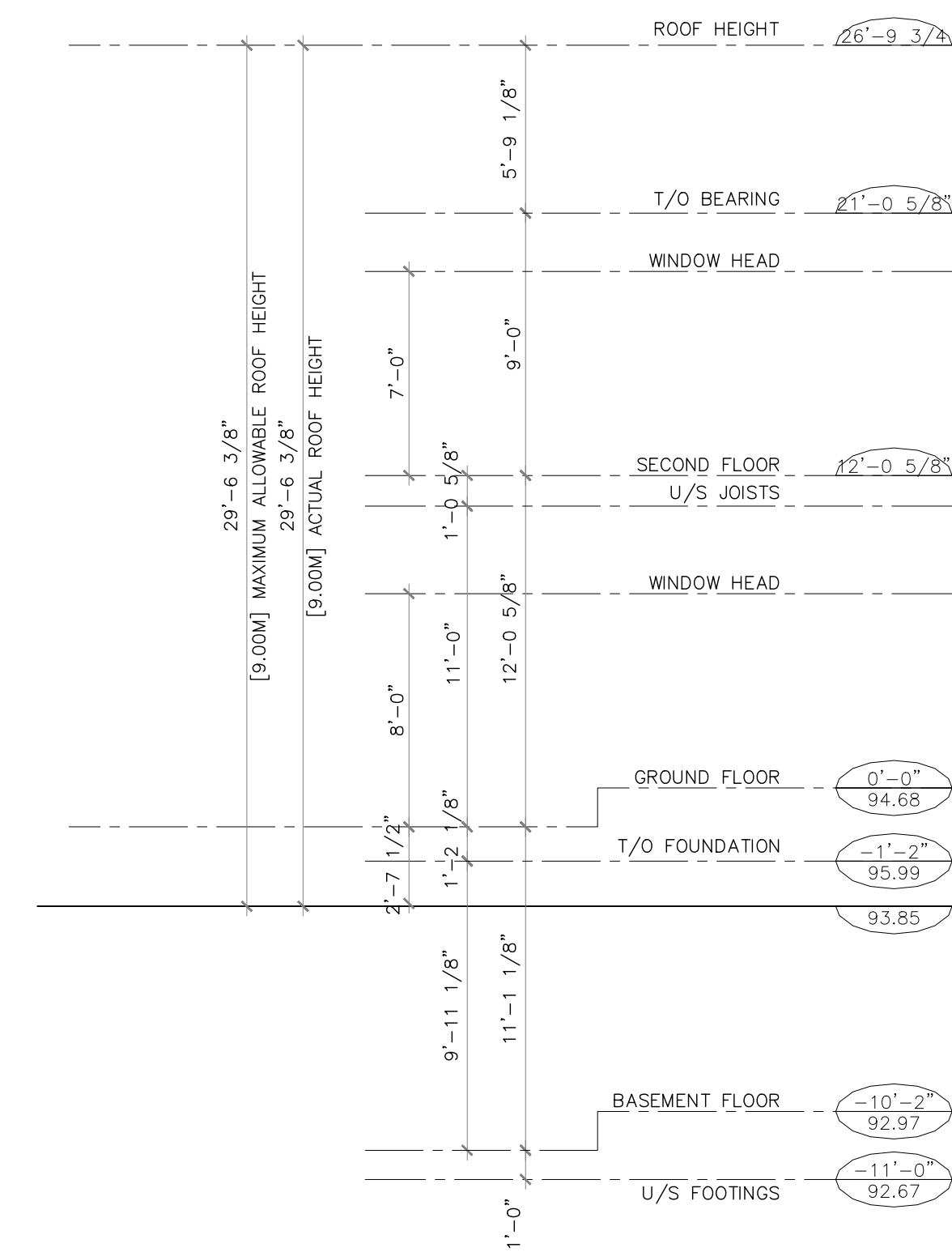
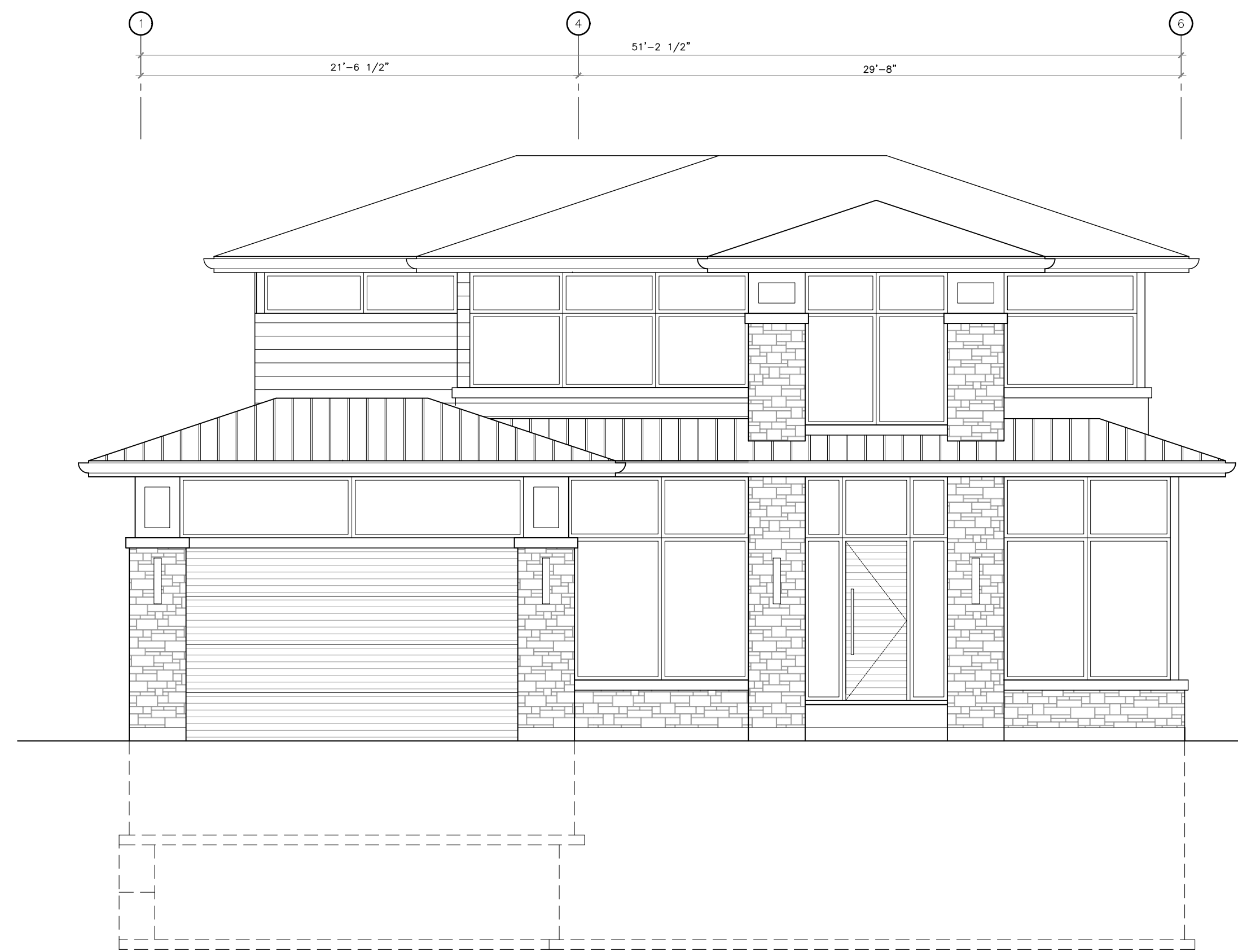
Exterior Elevations

A3.2

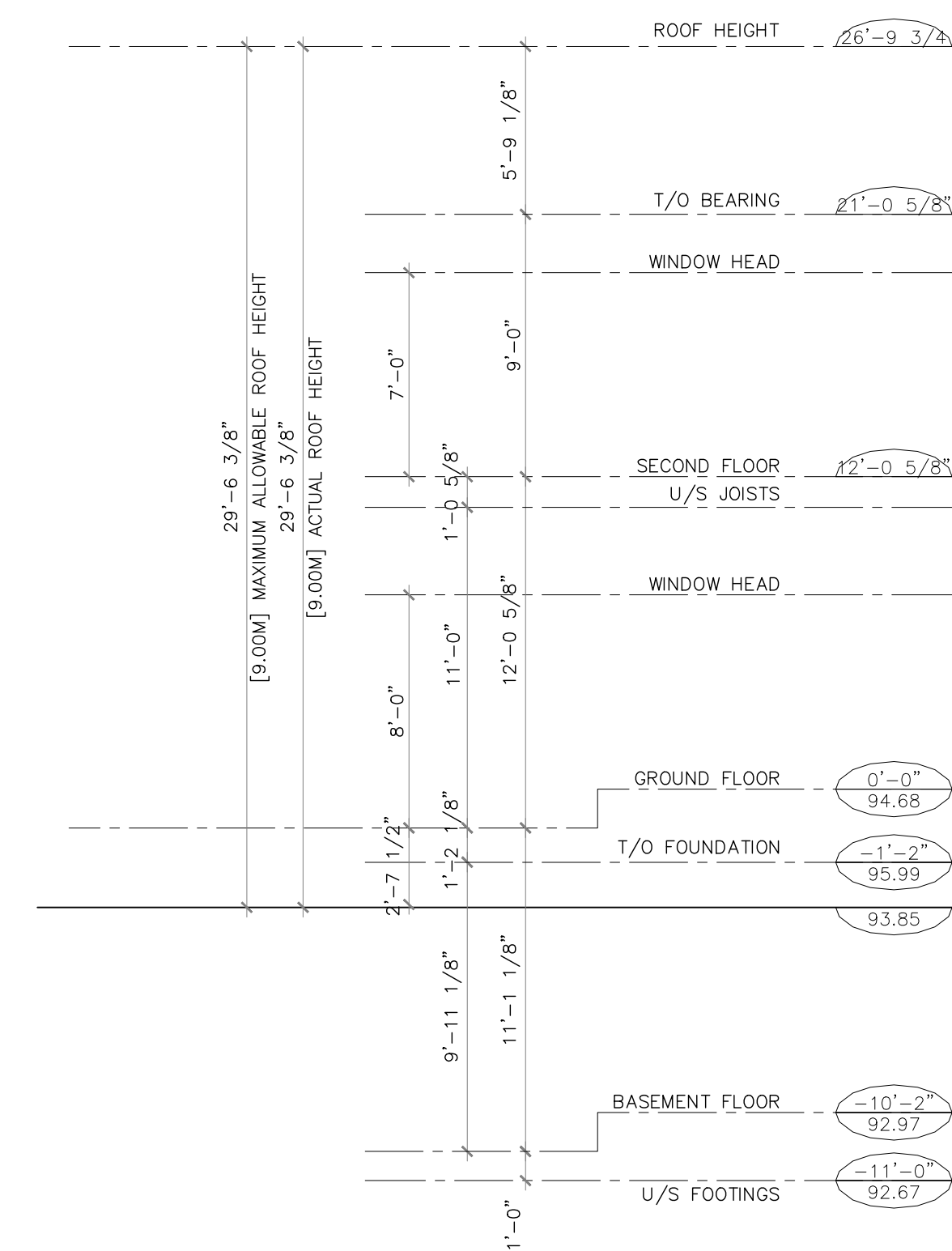
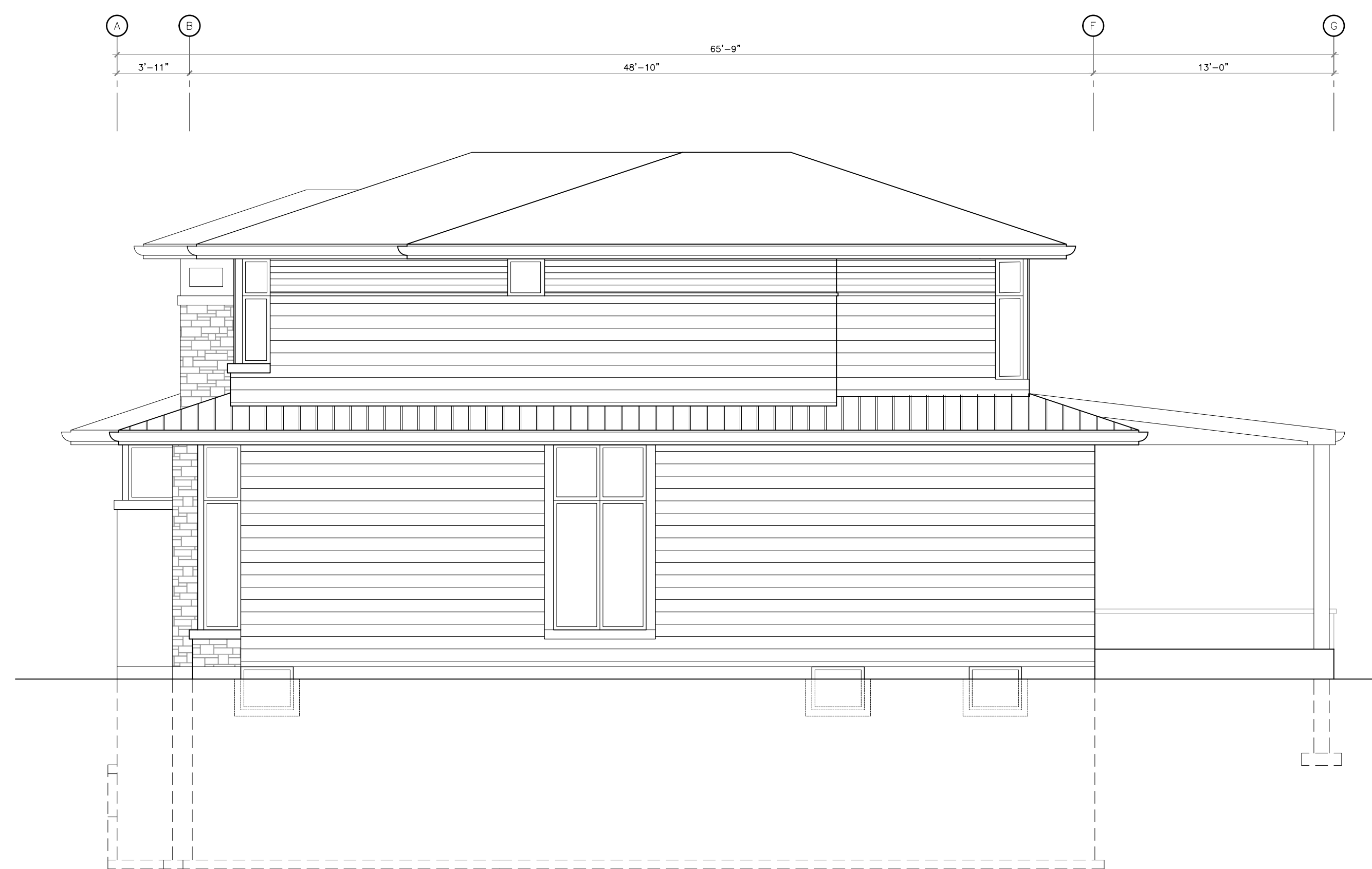


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1 NORTH ELEVATION  
 A3.1 3/16" = 1'-0"



1 WEST ELEVATION  
 A3.1 3/16" = 1'-0"

LIMITING DISTANCE:	1.33 M
AREA OF EXPOSING BUILDING FACE:	1092.2 SQFT 101.5 SQM
MAXIMUM % OF UNPROTECTED OPENINGS:	7%
ACTUAL UNPROTECTED OPENINGS:	76.3 SQFT 7.1 SQM = 6.9%

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Exterior Elevations  
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 Drawing title: