

PROPOSED SITE PLAN

1/16"=1'-0" (1:200)

1
A100

REPORT SUMMARY

PROPERTY DESCRIPTION: 268 AND 270 ROBINSON STREET, BEING PART OF LOTS B AND C IN BLOCK 16, REGISTERED PLAN 1, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24780-0011 AND PIN 24780-0012
EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE.

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOTS B AND C
IN BLOCK 16
REGISTERED PLAN 1
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

#268
VARIANCES REQUESTED

- LOT COVERAGE
PERMITTED=35%=176.92m2
PROPOSED=57.23%=289.27m2
VARIANCE=22.23%=112.35m2
- FRONT YARD SETBACK
4.01m TO EXISTING PORCH
LEGAL NON-CONFORMING
PERMITTED=7.5m
PROPOSED=3.95m TO PORCH
VARIANCE=0.06m
- REAR YARD SETBACK
PERMITTED=7.5m
PROPOSED=6.27m TO PORCH
VARIANCE=1.23m
- SIDE YARD SETBACK
PERMITTED=3.0m
PROPOSED=0.96m
VARIANCE=2.04m
- PARKING SPACE SIZE
Required (Min 2.7 x 5.7m)
#268 -Proposed (Min 2.44m Wide)

#270
VARIANCES REQUESTED

- LOT COVERAGE
PERMITTED=35%=176.92m2
PROPOSED=57.23%=289.27m2
VARIANCE=22.23%=112.35m2
- FRONT YARD SETBACK
4.01m TO EXISTING PORCH
LEGAL NON-CONFORMING
PERMITTED=7.5m
PROPOSED=3.95m TO PORCH
VARIANCE=0.06m
- REAR YARD SETBACK
PERMITTED=7.5m
PROPOSED=6.43m TO PORCH
VARIANCE=1.07m
- SIDE YARD SETBACK
PERMITTED=3.0m
PROPOSED=0.05m
VARIANCE=2.95m
- PARKING SPACE SIZE
Required (Min 2.7 x 5.7m)
#270 -Proposed (Min 2.60mx5.2m)

268 PROPOSED
SITE STATISTICS – ZONE RM1 sp:50
(ZONE RL7)

- LOT AREA =505.49 m2 (743.0 m2 Minimum)LEGAL NON-CONFORMING
- LOT FRONTAGE = 7.38m (21.0m Minimum).
- ESTABLISHED GRADE =85.50m.
- BUILDING HEIGHTS:
– ROOF RIDGE =10.56m (12.00m Maximum);
- SETBACKS:
– FRONT = 3.95m TO PORCH (MIN. 7.5m);
– REAR = 6.27m TO COVERED PORCH (MIN.7.50m);
– SIDES: 0.96m (Min 3.0m) Semi Detached Dwelling
- FLOOR AREA =268.23m2 (2887.21 sq.ft).

PROPOSED DWELLING COVERAGE CALC.

- AREAS FOR COVERAGE =131.81m2 (1418.79 sq.ft)
(A) MAIN DWELLING =104.25m2 (1122.23sq.ft) (44.16%)
(B) FRONT PORCH = 3.30m2 (35.54sq.ft) (1.39%)
(C) REAR PORCH = 18.27m2 (196.69sq.ft) (7.74%)
(D) COVERED AREA= 5.99m2 (64.5sq.ft) (2.53%)
- TOTAL LOT COVERAGE =57.23% (35.0% Maximum(176.92m2)).

270 PROPOSED
SITE STATISTICS – ZONE RM1 sp:50
(ZONE RL7)

- LOT AREA =505.49 m2 (743.0 m2 Minimum)LEGAL NON-CONFORMING
- LOT FRONTAGE = 8.53m (21.0m Minimum).
- ESTABLISHED GRADE =85.50m.
- BUILDING HEIGHTS:
– ROOF RIDGE =10.56m (12.00m Maximum);
- SETBACKS:
– FRONT = 3.95m TO PORCH (MIN. 7.5m);
– REAR = 6.43m TO COVERED PORCH (MIN.7.50m);
– SIDES: 0.05m (Min. 3.0m) Semi Detached Dwellings;
- FLOOR AREA =262.74m2 (2828.16 sq.ft).

PROPOSED DWELLING COVERAGE CALC.

- AREAS FOR COVERAGE =157.46m2 (1694.88 sq.ft)
(A) MAIN DWELLING =108.12m2 (1174.58sq.ft) (40.12%)
(B) FRONT PORCH = 9.53m2 (102.60sq.ft) (3.53%)
(C) REAR PORCH = 20.78m2 (223.72sq.ft) (7.83%)
(D) CARPORT= 19.03m2 (204.94sq.ft) (3.76%)
- TOTAL LOT COVERAGE =57.23% (35.0% Maximum(176.92m2)).

JRCP
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ARCHITECTURAL DESIGN CONSULTANT
BLOOR STREET, MISSISSAUGA, ONTARIO
(416) 655-0245
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ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	FOR REVIEW	SEP 05 2024
02	FOR REVIEW	SEP 11 2024
03	FOR REVIEW	SEP 19 2024
04	FOR REVIEW	OCT 04 2024
05	FOR REVIEW	OCT 09 2024
06	FOR REVIEW	OCT 24 2024
07	FOR REVIEW	NOV 06 2024
08	FOR REVIEW	NOV 18 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

DRAWING STAGE:

FOR COA

PROJECT NAME AND ADDRESS:

PROPOSED
RESIDENCE AT
268-270
ROBINSON STREET
OAKVILLE,

DRAWINGS TITLE

SITE PLAN

DATE

SEP 05 2024

SCALE

NOTED

SHEET NO.

A100








270 Robinson St #268



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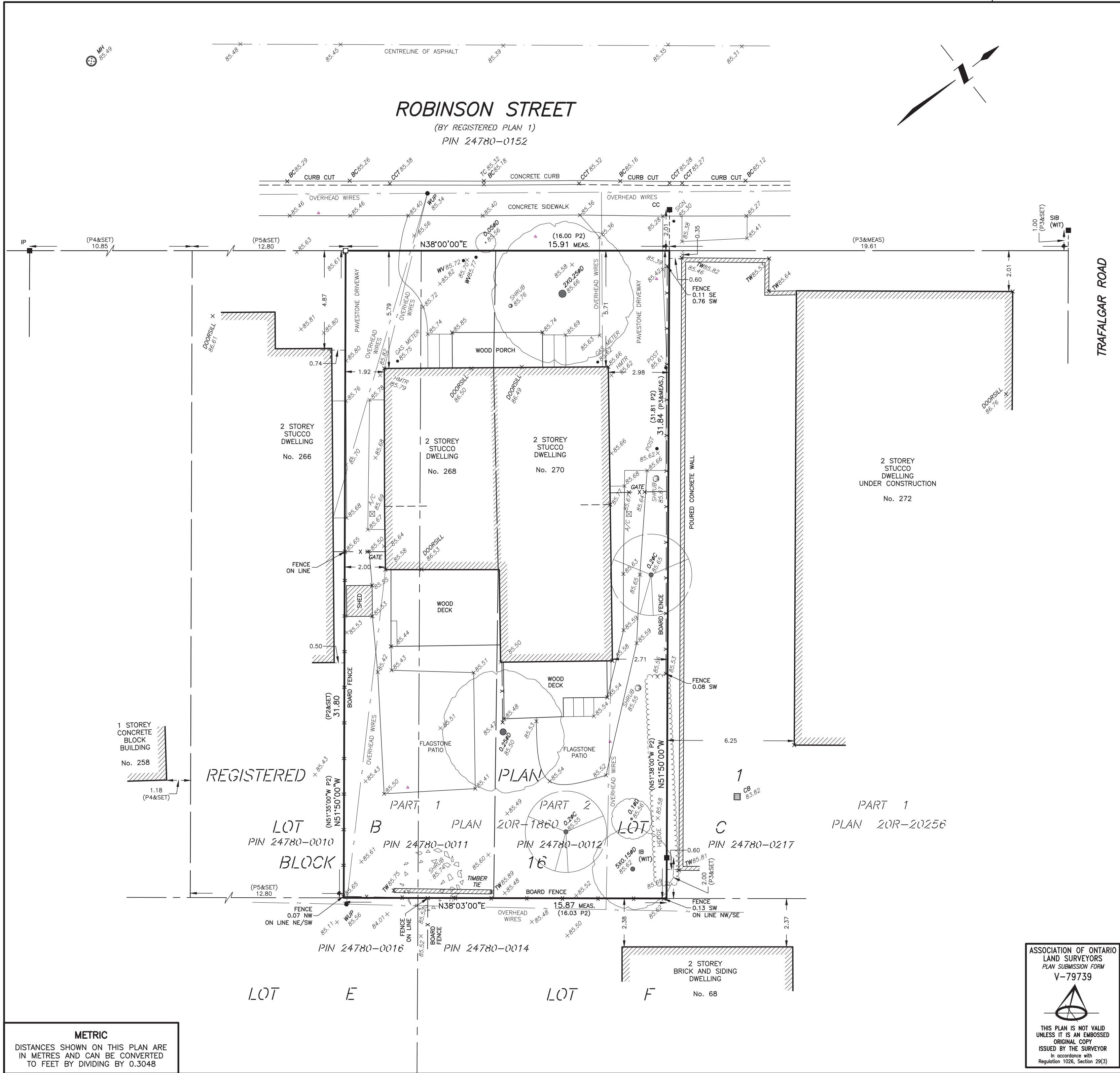


270 Robinson St #268

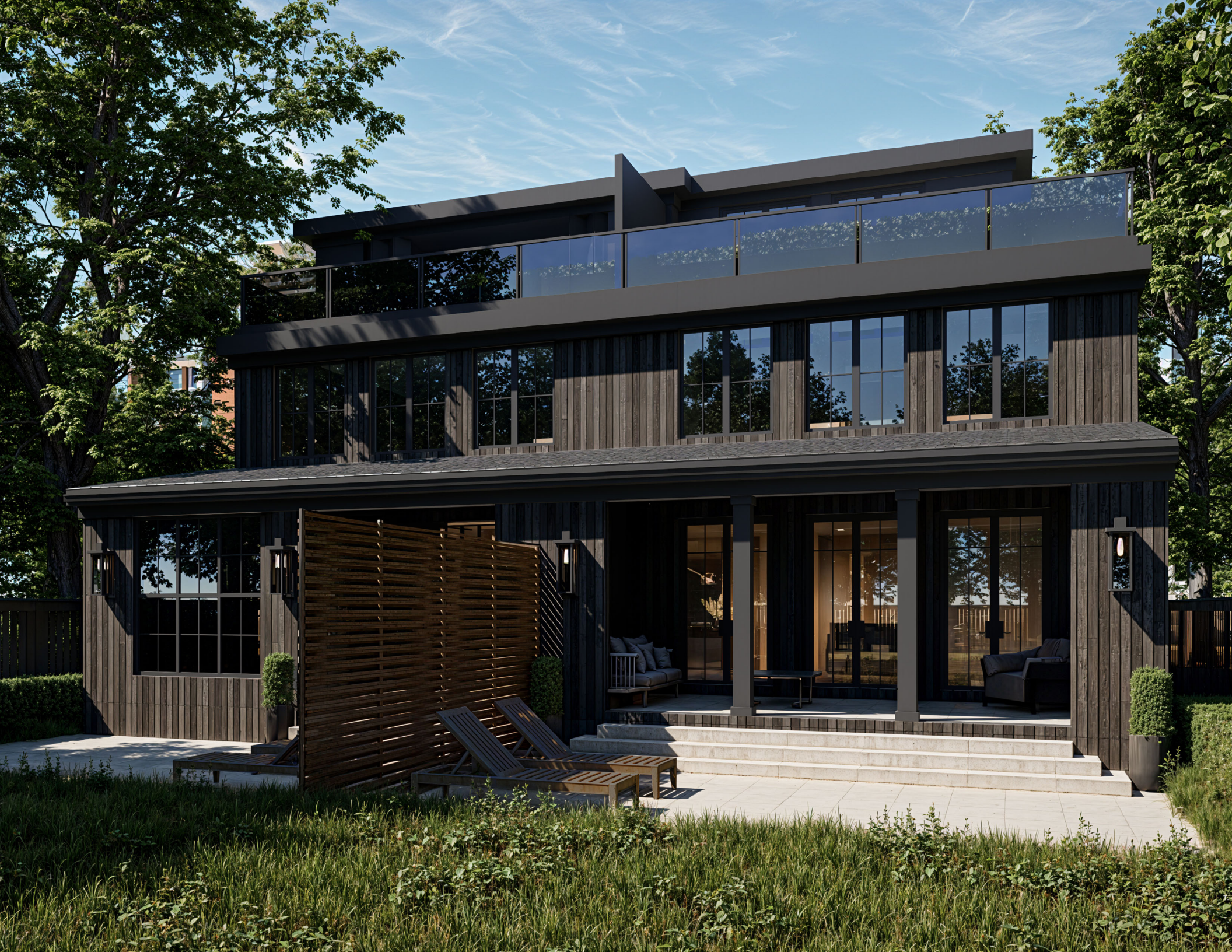
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 270 Robinson St #268, Oakville, ON L6J 1G6

Photos







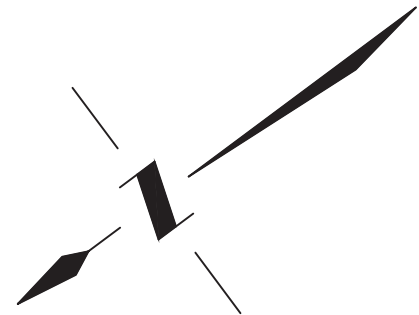
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FOR ARCHITECTURAL & STRUCTURAL

FOR COA

**PROPOSED
RESIDENCE AT
268-270
ROBINSON STREET
OAKVILLE,**

DRAWINGS TITLE		SHEET NO.
ROOF PLAN		
DATE	SEP 05 2024	
SCALE	NOTED	A304



ROOF PLAN

$$1/8'' = 1' - 0'' \quad (1:100)$$

A304

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	FOR REVIEW	SEP 05 2024
02	FOR REVIEW	SEP 11 2024
03	FOR REVIEW	SEP 19 2024
04	FOR REVIEW	OCT 04 2024
05	FOR REVIEW	OCT 09 2024
06	FOR REVIEW	OCT 24 2024
07	FOR REVIEW	NOV 06 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

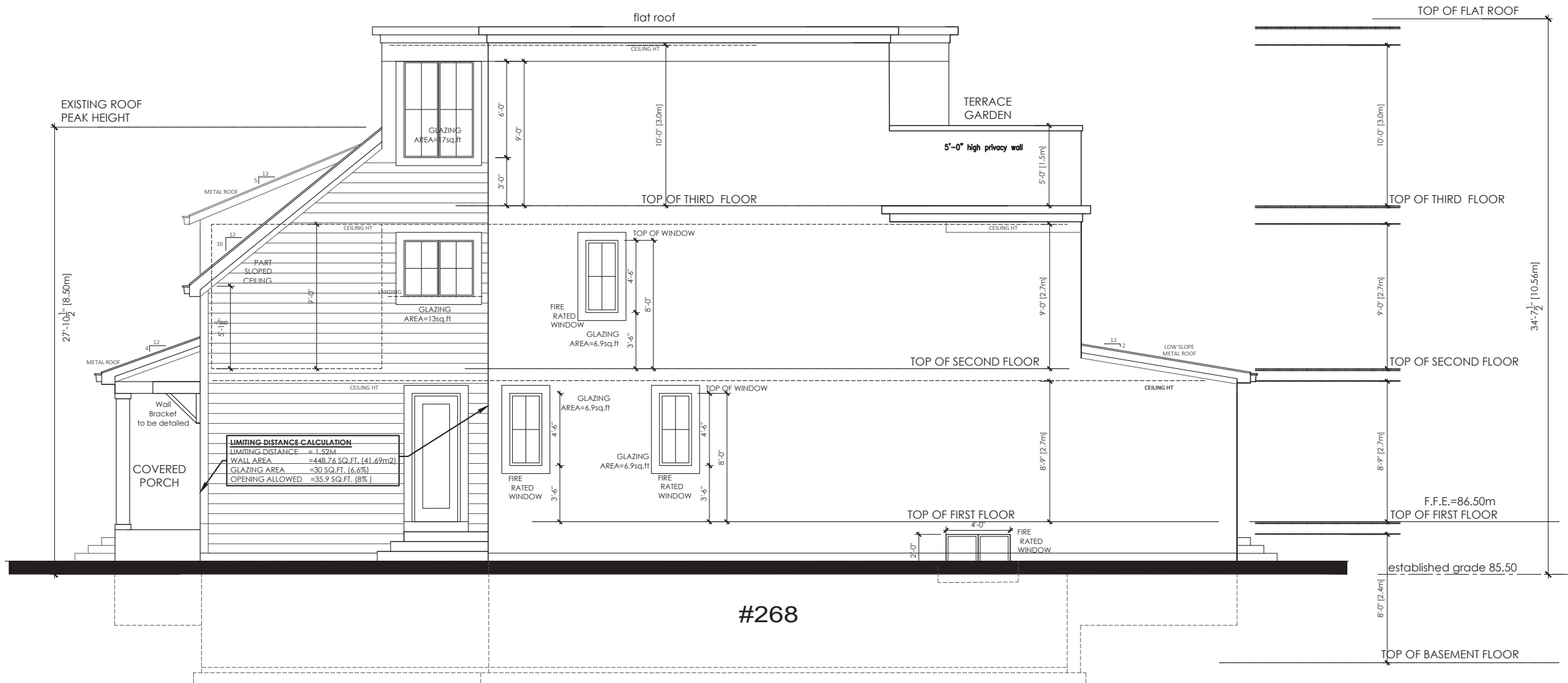
DRAWING STAGE:

FOR COA

PROJECT NAME AND ADDRESS:

**PROPOSED
RESIDENCE AT
268-270
ROBINSON STREET
OAKVILLE,**

DRAWINGS TITLE	SHEET NO.
NORTH ELEVATION	A203
DATE SEP 05 2024	
SCALE NOTED	



WEST ELEVATION

1/8"=1'-0"

1
A203

OAKVILLE PLANNING DEPARTMENT

TOWN OF OAKVILLE

SCHEDULE A 270 ROBINSON

REASONS FOR VARIANCES

LOT COVERAGE

The proposed residences result in a total lot coverage of 57.23% whereas the bylaw only permits no limits on coverage for the lot unless it is a semi detached house in which case the coverage is limited to 35%.

In this case the lot coverage is calculated as a percentage of the entire double lot and compared to this total area and includes area of both houses.

There are many homes townhouses and multi unit buildings along this transitional street that exceed this allowable coverage including the new three storey multiunit building being built immediately east of the proposed development.

The lot coverage is therefore not out of character and the home itself accounts for a coverage of 42.25% and the covered porches and the carport cause the rest of the coverage issue on the site.

The design also carefully implements stepping back of the home as it goes from one storey to three storeys and thus this reduces any visual impact related to coverage mass and scale on the site.

SIDE YARD SETBACK EAST SIDE

The existing carport AT 270 Robinson was approved for a minor variance of 0.05 and thus in our opinion is a legal non conforming previously approved setback . The Building department considers the extent of renovation to effectively be a new building and has there for asked that this side yard setback be approved.

The rest of the east side complies for the most part to the 1.2M required side yard other than the small triangle of the building that relates to the building not being parallel to the side lot line

For the individual lot the west side yard is 0.00 as it is a demising wall situation

SIDE YARD SETBACK WEST SIDE

Similar to the east side yard due to the angular location of the home there is a very small wedge of the proposed building that does not comply and thus we have asked for a side yard setback of 0.96 M whereas the bylaw requires 1.2M.

The west side of 270 however is a demising wall and thus the setback is 0.0M

It is our opinion that this request is minor and has no visual impact on the street or neighbours in fact the side yard at the street is much larger and results due to our intent to protect the heritage house.

FRONT YARD SETBACK

Like the carport the existing house has an existing front yard setback of 4.01M to the exiting covered porch. We are removing this covered porch and replacing it with a wider one that would have been more representative of the original house and this results in the setback being reduced by only 3.95 M to a setback of and again this is technical as it effectively already exists but building is considering the whole home to be a new structure.

This is interesting as heritage considers it a renovation due to our efforts to save the existing house or a portion of it

REAR YARD SETBACK

The proposed rear yard setback for this portion of the semi detached unit is 6.27M on one side and the east side is 6.43M whereas the bylaw requires 7.5M. This setback only relates to a one storey covered porch and thus has no impact on neighbours . The lot is also well treed and tree planting will be increased for privacy. We have provided the largest possible setback adjacent to the only home abutting the lot and thus there is little impact

The need for the covered porch is in fact related to providing outdoor privacy due to the overview from the new condo building being built next door to the east.

PARKING SPACE SIZE

Due to the existing carport and the existing house the parking space sizes are slightly under the required sizes and there is no way of adjusting these. In fact the front yards have been used for parking of two cars for many many years so this is more or less a technical variance

The one in the carport is related to the need for side door and stairs in this location and thus the space length does not comply but a car can still be parked easily in this space.

CONCLUSIONS AND OPINION

It is therefore my position that each of the variances is minor and meets the intent of the official plan and the bylaw and that there are no undesirable impacts as a result of these variances.

In fact the outcome is the character of the street has been maintained due to the preservation of both sides of this semi detached unit.

Heritage department has reviewed these designs and is very happy to provide their approval from staff as a full heritage application is not required on this site as the house is only listed and not designated and was not on the list of desired houses to be designated. In fact the house could be torn down totally and replaced with a higher full three storey structure that meets the bylaw and the impact on scale and mass and character of the street would be much greater.

Yours Truly

William R Hicks

B Arch, OAA, MRAIC