



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-172

A by-law to amend the North Oakville Zoning By-law 2009-189, as amended, to permit the use of lands described as Part of Lots 17, Con. 1, NDS, ENO Investments Limited and Ankara Realty Limited, File No.: Z.1317.07

COUNCIL ENACTS AS FOLLOWS:

1. Map 12(4) of By-law 2009-189, as amended, is further amended by rezoning the lands as depicted on Schedule ‘A’ to this By-law.
2. Section 8, Special Provisions, of By-law 2009-189, as amended, is further amended by adding new 8.138, 8.139, 8.140 and 8.141 as follows:

138	ENO Investments Limited and Ankara Realty Limited Part of Lots 17,18 and 19, Con. 1, NDS	Parent Zone: NUC
Map 12(4)		(2024-172)
8.138.1 Additional Permitted Building Type		
The following additional <i>building type</i> is permitted:		
a)	<i>Stacked townhouse dwelling</i>	
8.138.2 Zone Provisions		
The following regulations apply to all lands identified as subject to this special provision:		
a)	Minimum and maximum <i>floor space index</i>	Shall not apply
b)	Maximum <i>height</i>	12 <i>storeys</i> and 41 m
c)	Minimum <i>height</i> of the <i>first storey</i> for a <i>mixed use building</i>	4.5 m
d)	Minimum number of <i>dwelling units</i>	750
e)	Minimum <i>floor area</i> for non-residential <i>uses</i>	825 m ²
f)	Each non-residential unit located on the <i>first storey</i> shall have a minimum of one main entrance oriented towards a <i>public street</i> .	

8.138.3 Parking Regulations	
The following parking regulations apply:	
a)	Ventilation shafts, stairs and stairways associated with a <i>parking garage</i> below <i>grade</i> , hydro vaults and above <i>grade</i> water and gas meters including any appurtenances thereto are not permitted between a <i>building wall</i> and <i>front lot line</i> or <i>flankage lot line</i> .
b)	Ventilation shafts associated with a <i>parking garage</i> above or below <i>grade</i> , that are incorporated into a <i>building wall</i> abutting a <i>public street</i> shall be located a minimum 2.5 m above finished floor level of the <i>first storey</i> .
c)	For <i>apartment</i> and <i>mixed use buildings</i> , a minimum of 20% of the <i>parking spaces</i> shall include the provision for the installation of electric <i>motor vehicle</i> supply equipment.
8.138.4 Special Site Provisions	
The following additional provisions apply:	
a)	<i>Height</i> shall be measured from the finished floor elevation of the <i>first storey</i> .

139	ENO Investments Limited and Ankara Realty Limited	Parent Zone: NUC
Map 12(4)	Part of Lots 17,18 and 19, Con. 1, NDS	(2024-172)
8.139.1 Additional Permitted Building Type		
The following additional <i>building type</i> is permitted:		
a)	<i>Stacked townhouse dwelling</i>	
8.139.2 Zone Provisions		
The following regulations apply to all lands identified as subject to this special provision:		
a)	Minimum and maximum <i>floor space index</i>	Shall not apply
b)	Maximum <i>height</i>	12 storeys and 41 m
c)	Minimum <i>height</i> of the <i>first storey</i> for a <i>mixed use building</i>	4.5 m
d)	Minimum number of <i>dwelling units</i>	510
e)	Minimum <i>floor area</i> for non-residential <i>uses</i>	900 m ²
f)	Each non-residential unit located on the <i>first storey</i> shall have a minimum of one main entrance oriented towards a <i>public street</i> .	

8.139.3 Parking Regulations	
The following parking regulations apply:	
a)	Ventilation shafts, stairs and stairways associated with a <i>parking garage</i> below <i>grade</i> , hydro vaults and above <i>grade</i> water and gas meters including any appurtenances thereto are not permitted between a <i>building wall</i> and <i>front lot line</i> or <i>flankage lot line</i> .
b)	Ventilation shafts associated with a <i>parking garage</i> above or below <i>grade</i> , that are incorporated into a <i>building wall</i> abutting a <i>public street</i> shall be located a minimum 2.5 m above finished floor level of the <i>first storey</i> .
c)	For <i>apartment</i> and <i>mixed use buildings</i> , a minimum of 20% of the <i>parking spaces</i> shall include the provision for the installation of electric <i>motor vehicle</i> supply equipment.
8.139.4 Special Site Provisions	
The following additional provisions apply:	
a)	<i>Height</i> shall be measured from the finished floor elevation of the <i>first storey</i> .

140	ENO Investments Limited and Ankara Realty Limited	Parent Zone: NUC
Map 12(4)	Part of Lots 17,18 and 19, Con. 1, NDS	(2024-172)

8.140.1 Additional Permitted Building Type	
The following additional <i>building</i> type is permitted:	
a)	<i>Stacked townhouse dwelling</i>
8.140.2 Zone Provisions	
The following regulations apply to all lands identified as subject to this special provision:	
a)	Minimum and maximum <i>floor space index</i> Shall not apply
b)	Minimum number of <i>dwelling units</i> 330
c)	Maximum <i>height</i> 12 storeys and 41 m
8.140.3 Parking Regulations	
The following parking regulations apply:	
a)	Ventilation shafts, stairs and stairways associated with a <i>parking garage</i> below <i>grade</i> , hydro vaults and above <i>grade</i> water and gas meters including any appurtenances thereto are not permitted between a <i>building wall</i> and <i>front lot line</i> or <i>flankage lot line</i> .

b)	Ventilation shafts associated with a <i>parking garage</i> above or below <i>grade</i> , that are incorporated into a <i>building wall</i> abutting a <i>public street</i> shall be located a minimum 2.5 m above finished floor level of the <i>first storey</i> .
c)	A minimum of 20% of the <i>parking spaces</i> shall include the provision for the installation of electric <i>motor vehicle</i> supply equipment.
8.140.4 Special Site Provisions	
The following additional provisions apply:	
a)	<i>Height</i> shall be measured from the finished floor elevation of the <i>first storey</i> .

141	ENO Investments Limited and Ankara Realty Limited	Parent Zone: NC, S, GU
Map 12(4)	Part of Lots 17,18 and 19, Con. 1, NDS	(2024-172)

8.141.1 Zone Provisions for all Lands		
The following regulations apply to all lands identified as subject to this special provision:		
a)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows, with or without foundations which may be a maximum of three <i>storeys</i> in <i>height</i> and which may include a door.	4.0 m
b)	For corner <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	
c)	For interior <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 70% of the <i>porch</i> . Steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	
d)	<i>Porches</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening. The total area of the vertical plane shall be measured from the top of the <i>porch</i> slab to the underside of the <i>porch</i> ceiling.	
8.141.2 Additional Zone Provisions for GU zoned Townhouse Dwelling Unit with Lane Access		

The following regulations shall apply to <i>townhouse dwelling unit with lane access</i> blocks:		
a)	Minimum <i>landscape area</i> for the entire block	9%
b)	Notwithstanding Section 4.25.2.1, minimum landscaped area requirement per <i>lot</i>	1.75 m x 2.0 m
8.141.3 Special Zone Provision for S – Block 1		
The following regulations apply to Block 1 identified in Figure 8.141.1:		
a)	Minimum <i>lot depth</i>	13.9 m
b)	The <i>building envelope</i> shall be defined by the <i>setbacks</i> as identified in Figure 8.141.1	
8.141.4 Special Zone Provision for S – Block 2		
The following regulation applies to Block 2 identified in Figure 8.141.1:		
a)	The <i>building envelope</i> shall be defined by the <i>setbacks</i> as identified in Figure 8.141.1	
8.141.5 Special Site Figure		
Figure 8.141.1		

3. Part 9, Holding Provisions, of By-law 2009-189, as amended, is further amended by amending the header to Holding Provision 54 as follows:

H54	Argo (West Morrison Creek) Ltd. 3270 Sixth Line	Parent Zone: NC
Map 12(4)	Digram Developments Oakville Inc. 3380 Sixth Line	(2022-039)
	Docasa Group Ltd Part of Lots 17, Con. 1, NDS	(2022-048)
	Sherborne Lodge Developments Limited Part of Lots 19, Con. 1, NDS	(2022-100)
	ENO Investments Limited and Ankara Realty Limited Part of Lots 17,18 and 19, Con. 1, NDS	(2024-166)
		(2024-172)

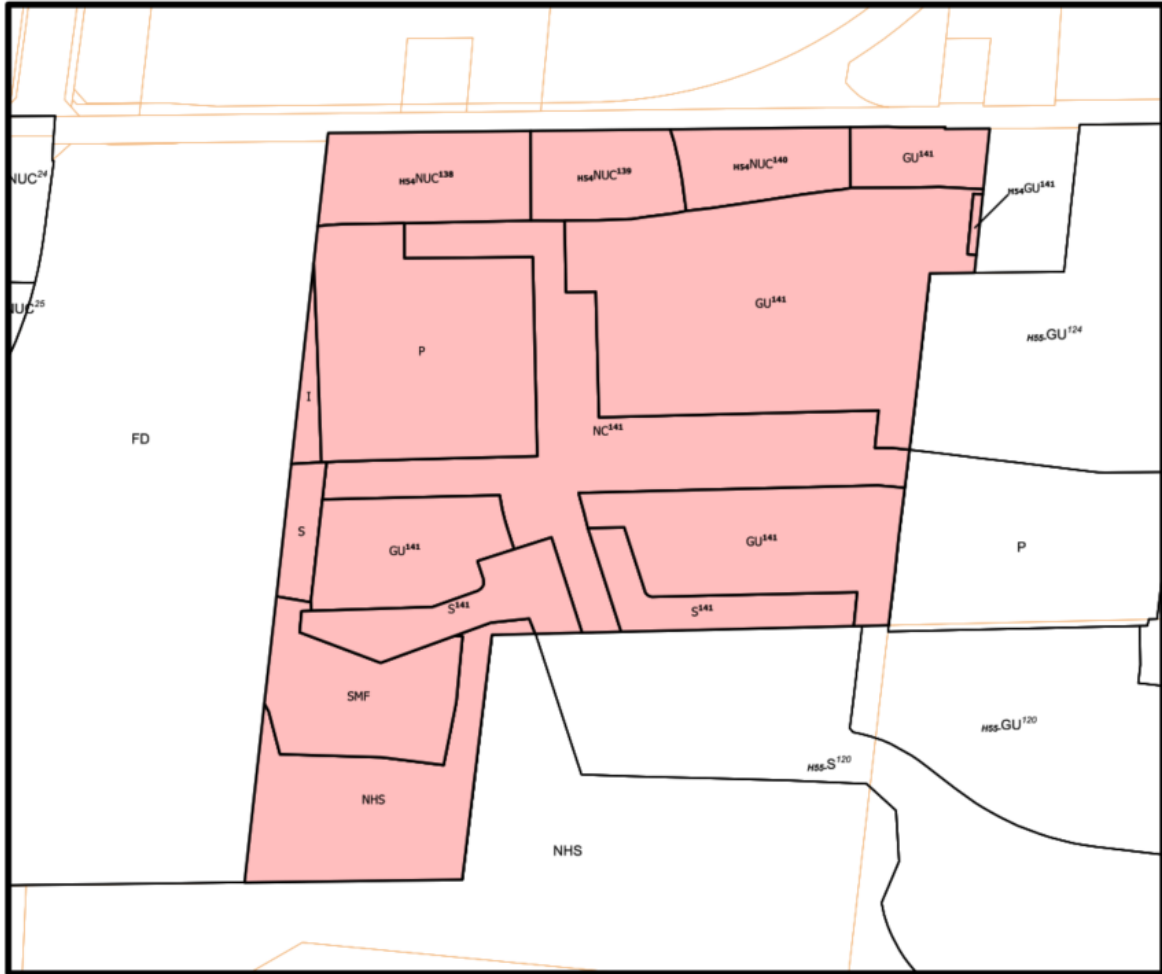
4. This By-law comes into force in accordance with Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended.

PASSED this ____th day of _____, 2024

MAYOR

CLERK

SCHEDULE "A"
To By-law 2024-172



AMENDMENT TO BY-LAW 2009-189



Re-zoned from FD (Future Development) to H54-NUC sp:138 (Neyagawa Urban Core Area); H54-NUC sp:139 (Neyagawa Urban Core Area); H54-NUC sp:140 (Neyagawa Urban Core Area); NC sp:141 (Neighbourhood Centre); H54-GU sp:141 (General Urban); GU sp:141 (General Urban); I (Institutional); S (Sub-urban); S sp:141 (Sub-urban); P (Park); SMF (Stormwater Management Facility); and, NHS (Natural Heritage System).

EXCERPT FROM MAP
12 (4)



SCALE: 1:6,000