



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-166

A by-law to amend the North Oakville Zoning By-law 2009-189, as amended, to permit the use of lands described as Part of Lots 17, Con. 1, NDS, Sherborne Lodge Developments Limited, File No.: Z.1319.10

COUNCIL ENACTS AS FOLLOWS:

1. Map 12(4) of By-law 2009-189, as amended, is further amended by rezoning the lands as depicted on Schedule ‘A’ to this By-law.
2. Section 8, Special Provisions, of By-law 2009-189, as amended, is further amended by adding a new Sections 8.134, 8.135, 8.136 and 8.137 as follows:

134	Sherborne Lodge Developments Limited Part of Lots 19, Con. 1, NDS	Parent Zone: S, GU
Map 12(4)		(2024-166)
8.134.1 Zone Provisions for all Lands		
The following regulations apply to all lands identified as subject to this special provision:		
a)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows, with or without foundations which may be a maximum of three <i>storeys</i> in <i>height</i> and which may include a door.	4.0 m
b)	For corner <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	
c)	For interior <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 70% of the <i>porch</i> . Steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	

d)	<i>Porches</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening. The total area of the vertical plane shall be measured from the top of the <i>porch</i> slab to the underside of the <i>porch</i> ceiling.
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8.134.2 Additional Zone Provisions for GU Zoned Lands

a)	The following regulations shall apply to <i>lots</i> with a <i>lot depth</i> of 28.0 metres or less with a <i>single detached dwelling street access attached private garage building type</i> :	
i.	Minimum <i>rear yard setback</i>	6.0 m
ii.	<i>Floor area</i> for the <i>dwelling</i> is not permitted beyond the minimum <i>rear yard</i> .	
iii.	For <i>detached dwelling</i> at the corner of Neyagawa Boulevard and Street A, the <i>lot line</i> abutting Settlers Road West (Street A) shall be deemed the <i>front lot line</i> .	
b)	The following regulation shall apply to <i>townhouse dwelling unit back-to-back</i> blocks:	
i.	Minimum <i>landscape area</i> for the entirety block	8%
ii.	Notwithstanding Section 4.25.2.1, minimum landscaped area requirement per <i>lot</i>	1.75m x 1m

8.134.3 Additional Zone Provisions for S Zoned Lands

The following regulations shall apply to <i>lots</i> with a <i>lot depth</i> of 28.0 metres or less with a <i>single detached dwelling street access attached private garage building type</i> :		
a)	Minimum <i>rear yard setback</i>	6.0 m
b)	<i>Floor area</i> for the <i>dwelling</i> is not permitted beyond the minimum <i>rear yard</i> .	

135	Sherborne Lodge Developments Limited Part of Lots 19, Con. 1, NDS	Parent Zone: NUC-2
Map 12(4)		(2024-166)

8.135.1 Zone Provisions

The following regulations apply to all lands identified as subject to this special provision:		
a)	The <i>lot line</i> abutting William Halton Parkway, formerly Burnhamthorpe Road West shall be deemed the <i>front lot line</i> .	
b)	Minimum and maximum <i>floor space index</i>	Shall not apply
c)	Minimum <i>floor area</i> for non-residential uses	3000 m ²

d)	Minimum <i>rear yard setback</i>	3.0 m
e)	<i>Height</i> shall be measured from the finished floor elevation of the <i>first storey</i> .	

8.135.2 Zone Provisions for Mixed Use Buildings

The following regulations apply to all lands identified as subject to this special provision:

a)	Maximum <i>height</i>	12 <i>storeys</i> and 41m
b)	Minimum <i>floor area</i> for non-residential <i>uses</i>	2000 m ²
c)	Minimum <i>height</i> of the <i>first storey</i> for a <i>mixed use building</i>	4.5 m
d)	Each non-residential unit located on the <i>first storey</i> shall have a minimum of one main entrance oriented towards a <i>public street</i> .	

8.135.3 Parking Regulations for Mixed Use Building

The following parking regulations apply:

a)	Ventilation shafts, stairs and stairways associated with a <i>parking garage</i> below <i>grade</i> , hydro vaults and above <i>grade</i> water and gas meters including any appurtenances thereto are not permitted between a <i>building wall</i> and <i>front lot line</i> or <i>flankage lot line</i> .	
b)	For <i>apartment</i> and <i>mixed use buildings</i> - minimum of 20% of the <i>parking spaces</i> shall include the provision for the installation of electric <i>motor vehicle</i> supply equipment.	

136	Sherborne Lodge Developments Limited	Parent Zone: NUC
Map 12(4)	Part of Lots 19, Con. 1, NDS	(2024-166)

8.136.1 Permitted Building Type

The following *building types* are the only *building types* permitted:

a)	<i>Apartment</i>
b)	<i>Mixed use buildings</i>
c)	<i>Townhouse dwelling</i> in association with <i>apartments</i> or <i>mixed use buildings</i>
d)	<i>Townhouse dwelling back-to-back</i> in association with <i>apartments</i> or <i>mixed use buildings</i>

8.136.2 Zone Provisions

The following regulations apply to all lands identified as subject to this special provision:

a)	The <i>lot line</i> abutting William Halton Parkway, formerly Burnhamthorpe Road West shall be deemed the <i>front lot line</i> .
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b)	Minimum and Maximum <i>Floor Space Index</i>	Shall not apply
c)	Minimum number of <i>dwelling units</i>	280
d)	Minimum <i>rear yard setback</i>	3.0 m
e)	Maximum <i>height</i>	12 storeys and 41m

8.136.3 Parking Regulations

The following parking regulations apply:

a)	Ventilation shafts, stairs and stairways associated with a <i>parking garage</i> below <i>grade</i> , hydro vaults and above <i>grade</i> water and gas meters including any appurtenances thereto are not permitted between a <i>building wall</i> and <i>front lot line</i> or <i>flankage lot line</i> .
b)	Ventilation shafts associated with a <i>parking garage</i> above or below <i>grade</i> , that are incorporated into a <i>building wall</i> abutting a <i>public street</i> shall be located a minimum 2.5 m above finished floor level of the <i>first storey</i> .
c)	A minimum of 20% of the <i>parking spaces</i> shall include the provision for the installation of electric <i>motor vehicle</i> supply equipment.

8.136.4 Special Site Provisions

The following additional provisions apply:

a)	<i>Height</i> shall be measured from the finished floor elevation of the <i>first storey</i> .
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137	Sherborne Lodge Developments Limited	Parent Zone: NUC
Map 12(4)	Part of Lots 19, Con. 1, NDS	(2024-166)

8.137.1 Only Permitted Building Type

The following *building type* is the only *building type* permitted:

a)	<i>Townhouse dwelling unit street access private garage</i> subject to the GU zone regulations
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8.137.2 Zone Provisions

The following regulations apply to all lands identified as subject to this special provision:

a)	The <i>lot line</i> abutting Neyagawa Boulevard shall be deemed the <i>front lot line</i> .	
b)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows, with or without foundations which may be a maximum of three <i>storeys</i> in <i>height</i> and which may include a door.	4.0 m

c)	For corner <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.
d)	For interior <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 70% of the <i>porch</i> . Steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.
e)	<i>Porches</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening. The total area of the vertical plane shall be measured from the top of the <i>porch</i> slab to the underside of the <i>porch</i> ceiling.

3. Part 9, Holding Provisions, of By-law 2009-189, as amended, is further amended by amending the header to Holding Provision 54 as follows:

H54	<p>Argo (West Morrison Creek) Ltd. 3270 Sixth Line</p> <p>Digram Developments Oakville Inc. 3380 Sixth Line</p> <p>Docasa Group Ltd Part of Lots 17, Con. 1, NDS</p> <p>Sherborne Lodge Developments Limited Part of Lots 19, Con. 1, NDS</p>	<p>Parent Zone: NUC</p> <p>(2022-039)</p> <p>(2022-048)</p> <p>(2022-100)</p> <p>(2023-018)</p> <p>OLT-22-004475</p> <p>(2024-166)</p>
Map 12(4)		

4. Part 9, Holding Provisions, of By-law 2009-189, as amended, is further amended by adding a new Section 9.3.54 as follows:

H64	<p>Sherborne Lodge Developments Limited Part of Lots 19, Con. 1, NDS</p>	<p>Parent Zone: NUC</p> <p>(2024-166)</p>
Map 12(4)		
9.3.64.1 Only Permitted Uses Prior to Removal of the “H”		

For such time as the “H” symbol is in place, these lands shall only be used for the following uses:	
a)	Legal uses, <i>buildings</i> and <i>structures</i> existing on the <i>lot</i>
b)	Non-residential uses and related <i>building</i> types permitted in the NUC-2 zone
9.3.64.2 Conditions for Removal of the “H”	
The “H” symbol shall, upon application by the landowner, be removed from all or part of the lands subject to the “H” symbol by the Town passing a By-law under Section 36 of <i>the Planning Act</i> . The following condition(s) shall first be completed to the satisfaction of the Town of Oakville and/or the Region of Halton:	
a)	The Owner shall secure the appropriate amount of water and wastewater Servicing Allocation under the Region of Halton Allocation Program.
b)	The Owner shall have signed the applicable Allocation Agreement or any required Amending Agreements.
c)	The Owner shall have made all required payments associated with the Allocation Program;
d)	The Owner shall be in receipt of the Region of Halton Public Works Commissioner’s Notice (PWCN) letter.

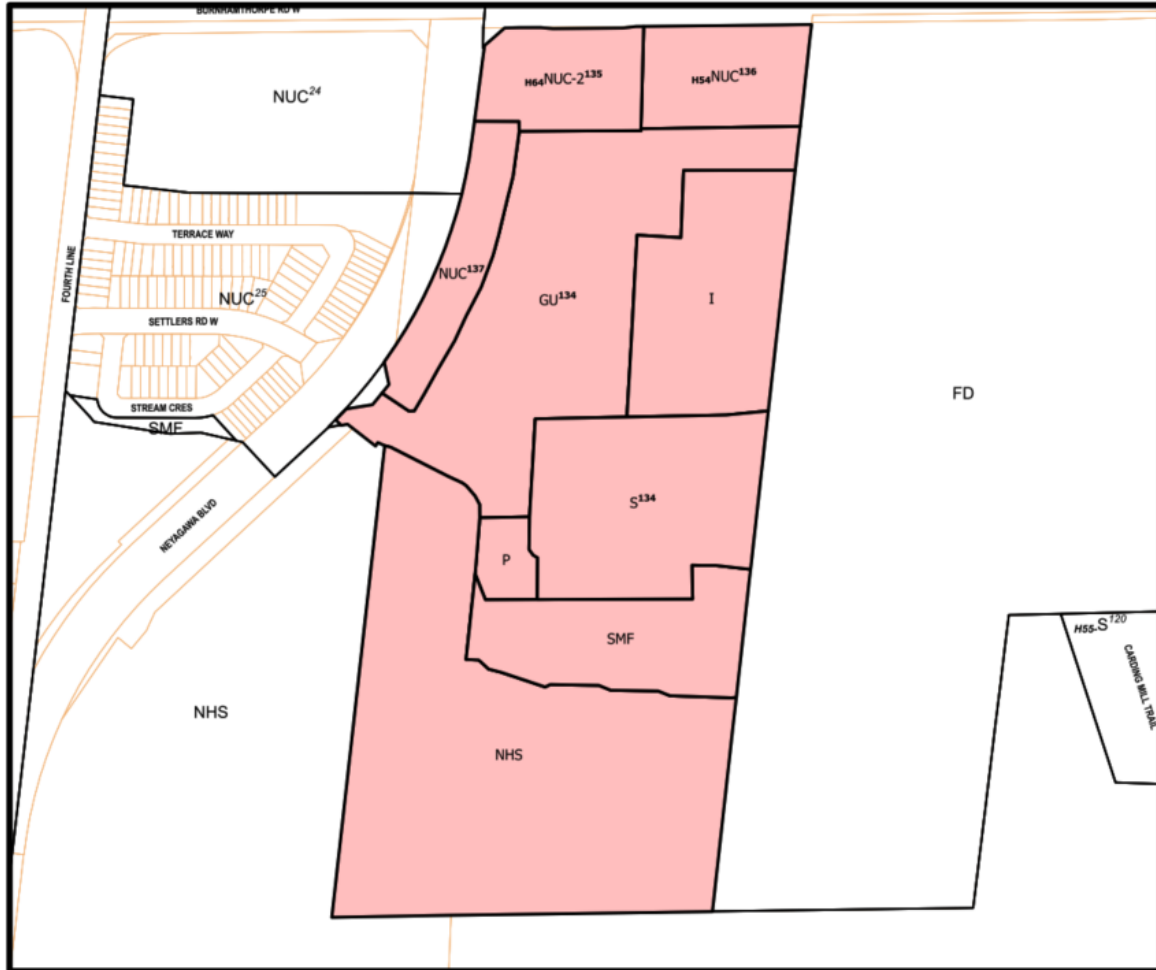
5. This By-law comes into force in accordance with Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended.

PASSED this ____th day of _____, 2024

_____ MAYOR

_____ CLERK

SCHEDULE "A"
To By-law 2024-166



AMENDMENT TO BY-LAW 2009-189

- Re-zoned from FD (Future Development) to H64-NUC-2 sp:135 (Neyagawa Urban Core Area);
- H54-NUC sp:136 (Neyagawa Urban Core Area);
- NUC sp:137 (Neighbourhood Centre);
- GU sp:134 (General Urban);
- I (Institutional);
- S sp:134 (Sub-urban);
- P (Park);
- SMF (Stormwater Management Facility); and,
- NHS (Natural Heritage System).

EXCERPT FROM MAP
12 (4)



SCALE: 1:7,000