

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/165/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on November 27, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
F. Apa	Stephanie Matveeva Glen Schnarr and Associates Inc. 700-10 Kingsbridge Garden Cir Mississauga ON, L5R 3K6	21 Pebbleridge PI PLAN M1248 LOT 10 RP 20R22193 PART 5

Zoning of Property: RL1-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 4.27 a)</i> A rooftop terrace is permitted on a lot in any Zone, except for Residential Low -0 Suffix Zones.	To permit a rooftop terrace in the RL1-0 Zone.
2	<i>Section 4.27 i)</i> In Residential Low Zones a rooftop terrace is only permitted on the roof of the first storey of the dwelling having two or more storeys, subject to a maximum 1.5 m depth, measured from the main wall.	To permit a rooftop terrace on the roof of the first storey of the dwelling having two or more storeys to have a 5.57 m depth, measured from the main wall.
3	<i>Section 5.8.1 d)</i> A maximum of one attached private garage per dwelling shall be permitted.	To permit a maximum of two attached private garages.
4	<i>Section 5.8.2 c) iii)</i> The maximum width of a driveway shall be 9.0 metres for a lot having a lot frontage equal to or greater than 18.0 metres.	To increase the maximum width of the driveway to be 11.2 metres for a lot having a lot frontage equal to or greater than 18.0 metres.
5	<i>Section 5.8.6 c)</i> For lots located within the Residential Low (RL1) Zone the maximum total floor area for a private garage shall be 56.0 square metres.	To increase the maximum total floor area for the private garage to 66.44 square metres.
6	<i>Section 5.8.7 c)</i> Attached private garages shall not project more than 1.5 metres from the face of the longest portion of the main	To increase the attached private garage projection to 15.17 metres from the face of the longest portion of the main wall containing residential floor area that is on the

	wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line.	first storey of the dwelling oriented toward the front lot line.
7	<i>Table 6.3.1 (Row 9, Column RL1)</i> The maximum dwelling depth shall be 20.0 m.	To increase the maximum dwelling depth to 35.13 m.
8	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1301.00 m ² or greater shall be 29%.	To increase the maximum residential floor area ratio to 39.94%.
9	<i>Table 6.4.2 (Row RL1, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 29.63%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Sharon Coyne, Assistant Secretary-Treasurer
Committee of Adjustment
1225 Trafalgar Rd Oakville, ON L6H 0H3
Phone: 905-845-6601
Email: coarequests@oakville.ca

Date mailed:

November 12, 2024

CAV A/165/2024 - Pebbleridge Place

