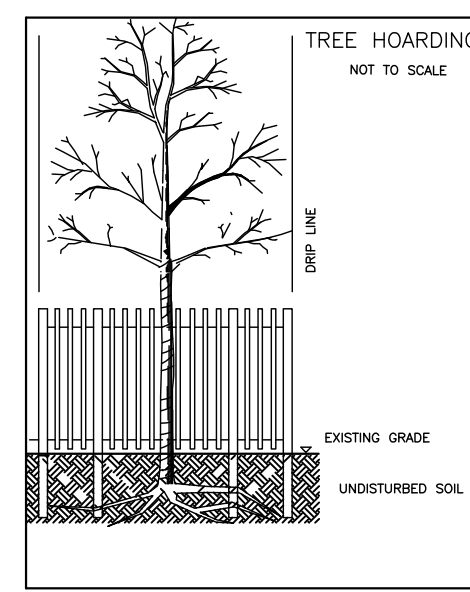


TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDINGS, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)*	MINIMUM PROTECTION DISTANCES REQUIRED*
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTITATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTITATED WITH TOPSOIL AND SOD.

(C) UTILITIES CONNECTION

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
- STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

EROSION AND SILTATION NOTES

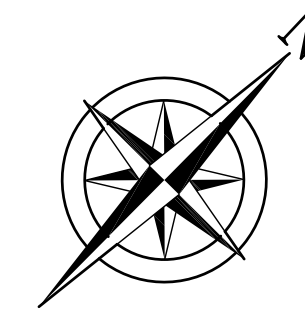
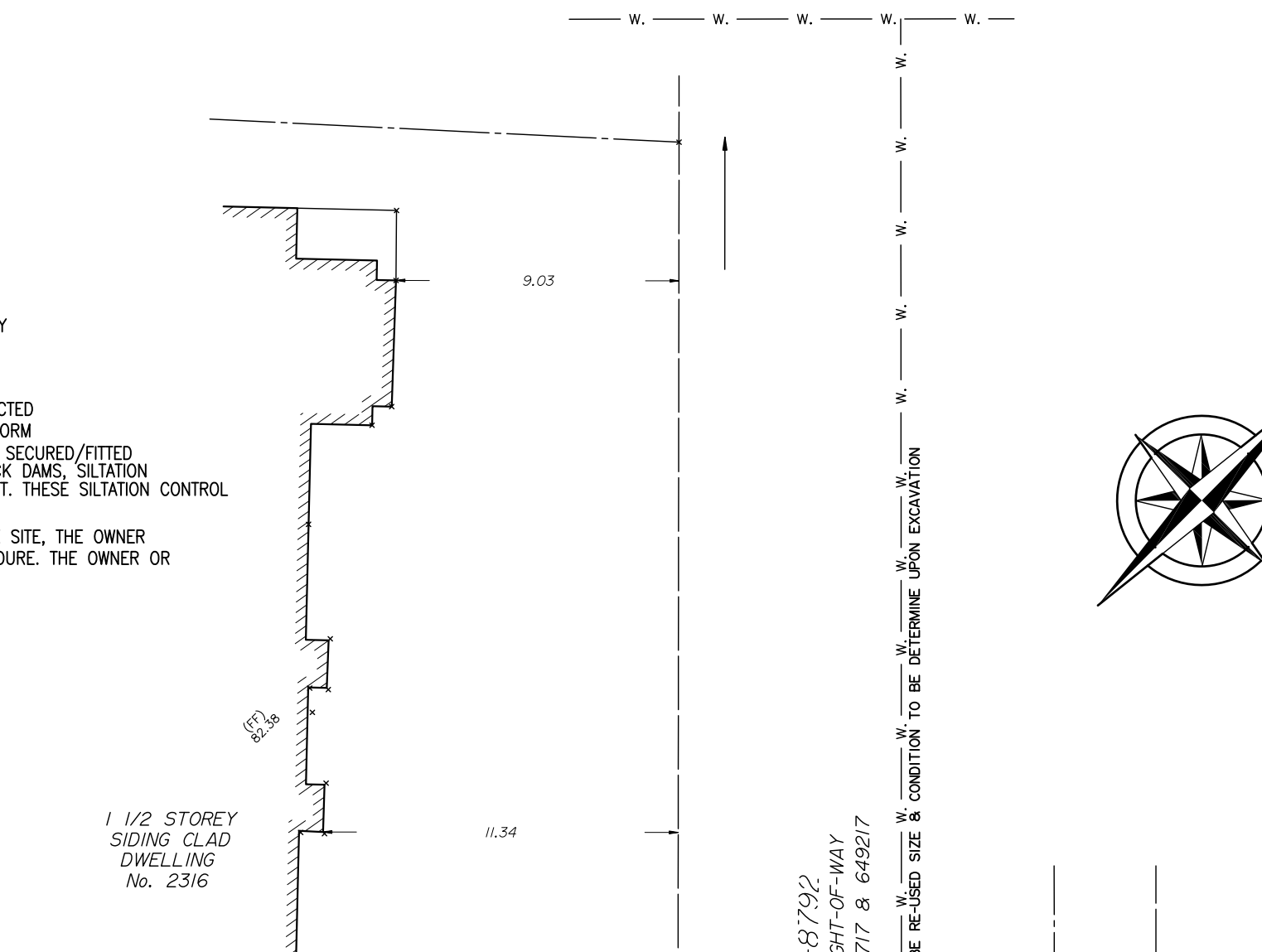
- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.

- WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
 - WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MDECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING—NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
 - EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
 - IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MDECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

LANDSCAPE AREA CALCULATION:

TOTAL FRONT YARD AREA	816.08 SQ.M.
DRIVEWAY AREA	317.71 SQ.M.
WALKWAY AREA	32.84 SQ.M.
TOTAL HARD SURFACE AREA	350.55 SQ.M.
TOTAL HARD SURFACE AREA %	42.96%

BENNINGTON GATE



SCHEDULE 1 TREE PROTECTION BARRIER

Tree Protection Barriers

- Tree protection barriers must be 1.2m (4ft) high, waterproof hoarding or an equivalent approved by Urban Forestry Services.
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.5m (5ft) high and consist of plastic with snow fencing on a wood frame made of 2"x4"s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should ensure no damage to trees outside the Tree Protection Barrier.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

SITE, SERVICE & GRADING PLAN

PART OF LOT 3, CONCESSION 4, S.D.S. SOUTH OF DUNDAS STREET
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR, COUNTY OF HALTON)
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200
J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2024

METRIC
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	204-04	
ZONING DESIGNATION	RS-10	
LOT AREA (MAX/MIN)	1933.50 SQ.M.	2130.42 SQ.M.
LOT FRONTAGE (MIN/MAX)	30.50	34.95
LOT COVERAGE (MAX/MIN)	530.61 SQ.M.	519.24 SQ.M.
LOT COVERAGE % (MAX/MIN)	25%	24.37%
RFA (MAX/MIN)	617.82 SQ.M.	660.36 SQ.M.*
RFA/LOT RATIO (MAX/MIN)	29%	31.00%*
FRONT YARD SETBACK (MIN/MIN)	20.93	21.77
SIDE YARD SETBACK (MIN/MIN)	4.20 & 4.20	4.28 & 4.26
REAR YARD SETBACK (MIN/MIN)	10.50	15.79
OVERALL HEIGHT	9.00	9.00

LEGEND

CLF	Chain Link Fence	INV.	Invert Elevation
EF	Established Fence	EG	Established Grade
TFW	Top of Foundation Wall	ES	Established Slope
MH	Maintenance Hole	T.B.R.	To Be Removed
FF	Finished Floor	TOS	Top of Slope
UP	Utility Pole	BOS	Bottom of Slope
DEC.	Deciduous Tree	CSP	Corrugated Steel Pipe
CON.	Coniferous Tree	WV	Water Valve
Ø	Diameter	HO	Hoarding
TOC	Top of Curb	EE	Existing Elevation
BOT	Bottom of Curb	RRW	Rain Water Leader
ENT	Entrance	EM	Embankment
HP	High Point		
TRW	Top of Retaining Wall		
BRW	Bottom of Retaining Wall	X	Tree to be Retained
Ø	Arborist's Tree Number	---	Silt Fence

SITE ADDRESS
2318 Bennington Gate
OAKVILLE, ONTARIO

C H WORLD DESIGN & CONSTRUCTION LTD. (OWNER)
2038 DUNCAN ROAD
OAKVILLE, ONTARIO

REVISIONS

No.	Date	Description	By
1	MAR. 5, 2021	SITE & GRADING	M.K.
2	MAY 7, 2021	REVISED BUILDING	M.K.
3	AUG 30, 2021	ADDED DRY WELLS & GAS LINE	M.A.
4	OCT. 8, 2021	REVISED GRADING	A.M.
5	NOV. 22, 2021	ZONING COMMENTS	A.M.
6	DEC. 15, 2021	ZONING COMMENTS	A.M.
7	MAR. 4, 2022	REVISED DRY WELLS & TOWN COMMENTS	A.M.
8	MAY 24, 2022	CABANA LOCATION	A.M.
9	JUNE 15, 2022	ADDED EROSION CONTROL	A.M.
10	MAR 14, 2024	ADD WATER SERVICE TO CABANA	R.H.
11	JUNE 10, 2024	ADD WINDOW WELLS	R.H.
12	AUGUST 13, 2024	ADD LANDSCAPE	R.H.

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.
DATED : JANUARY 6, 2021

BENCHMARK
Elevations are referred to the Town of Oakville Benchmark No. 182 having an Elevation of 82.2683 m.

SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 2318 Bennington Gate AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PROVIDE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

November 8, 2024
DATE
Andrew MUSA, O.L.S.

PERSPECTIVE VIEW

PLAN

SECTION A-A

SECTION B-B (NOT TO SCALE)

NOTE:
A All dimensions are in millimetres unless otherwise shown.

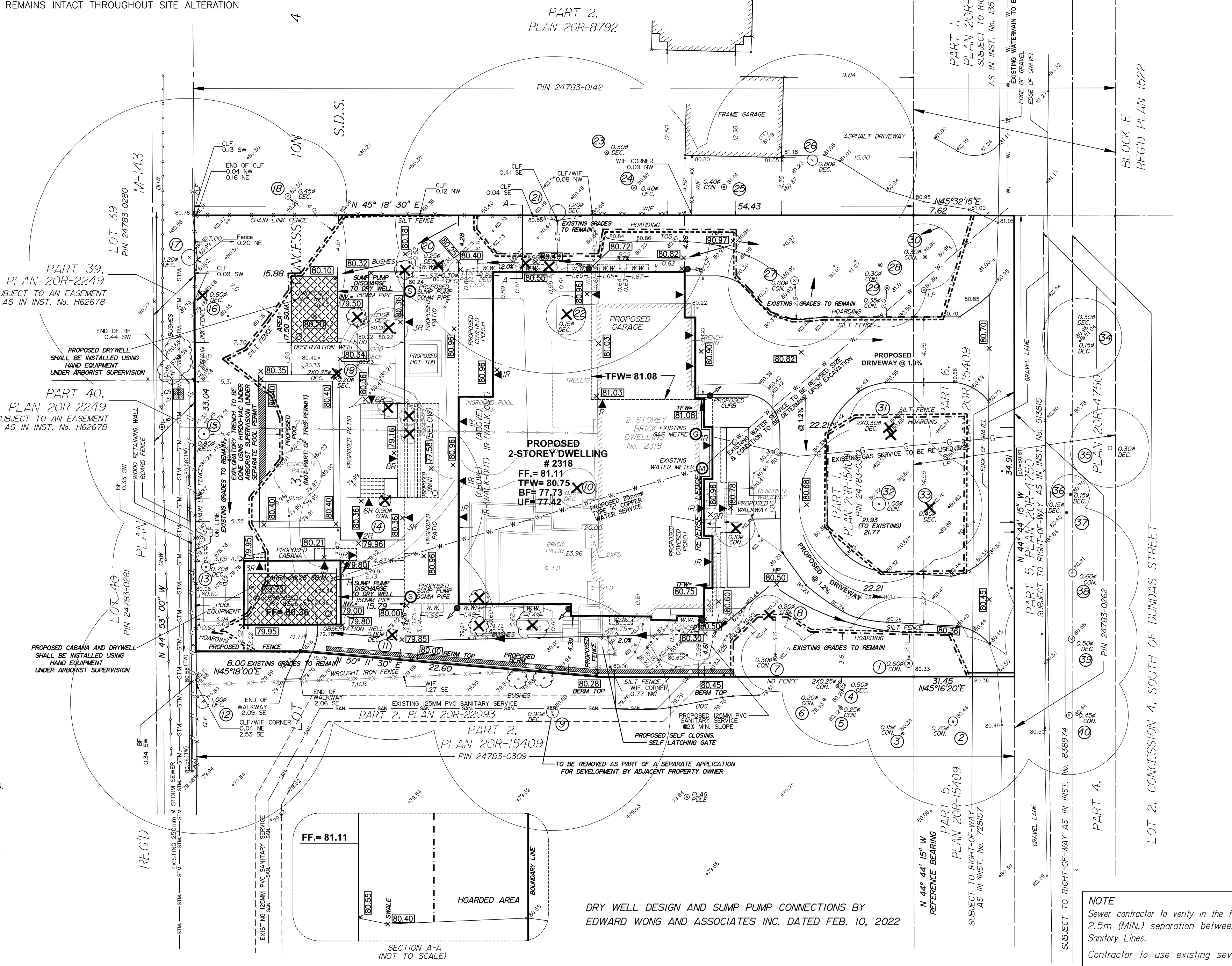
ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2
OPSD 219.110

NOTE
If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE
THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO DRY WELL, COMPLETE WITH BACKFLOW PREVENTER.

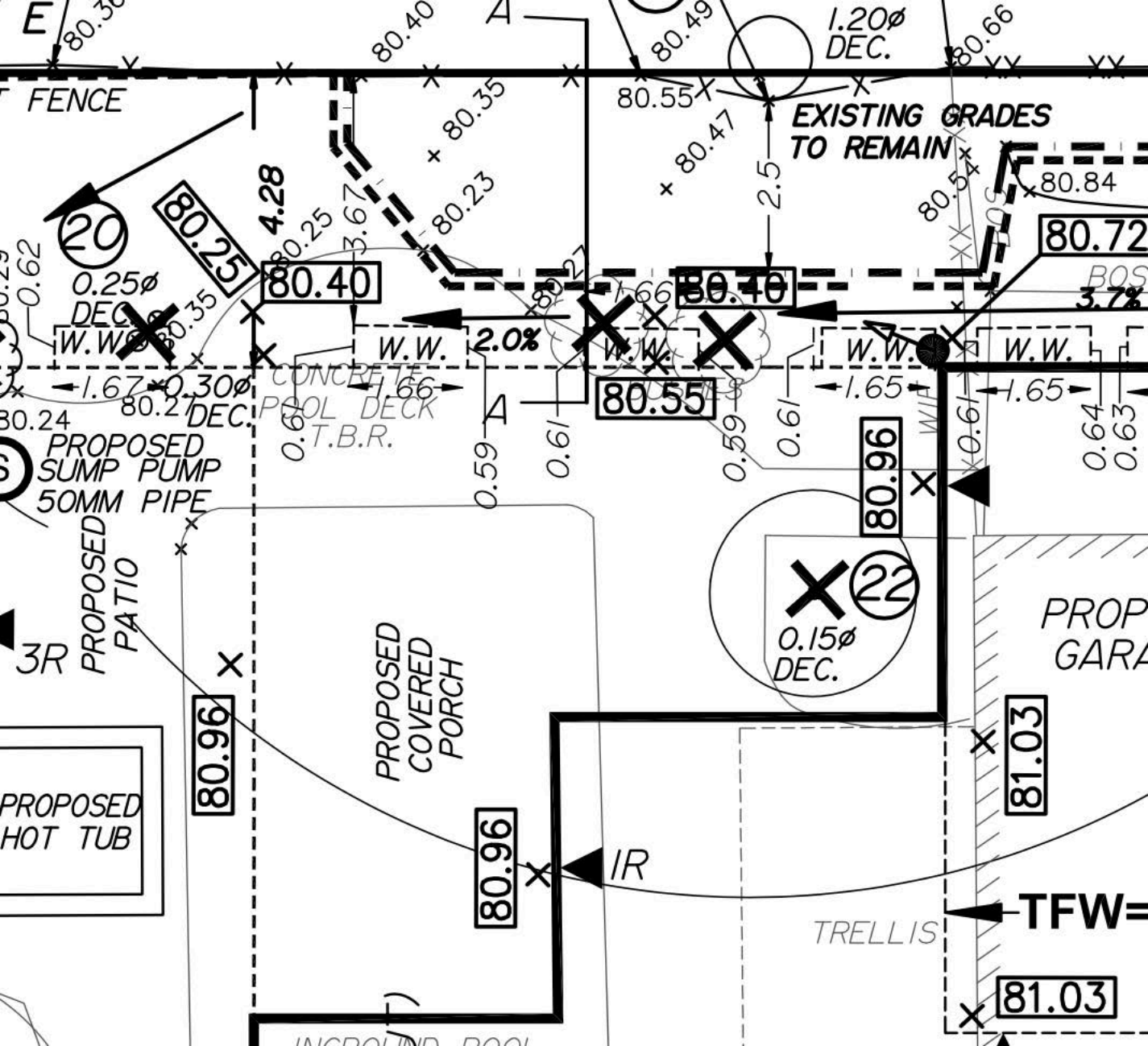
J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4
office@jhgssurveying.ca
Phone(905) 338-8210

Project: 20-216
Checked By: A.M.
Drawn By: M.K.
Party Chief: D.L.



DRY WELL DESIGN AND SUMP PUMP CONNECTIONS BY EDWARD WONG AND ASSOCIATES INC. DATED FEB. 10, 2022

NOTE
Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.
Contractor to use existing services.



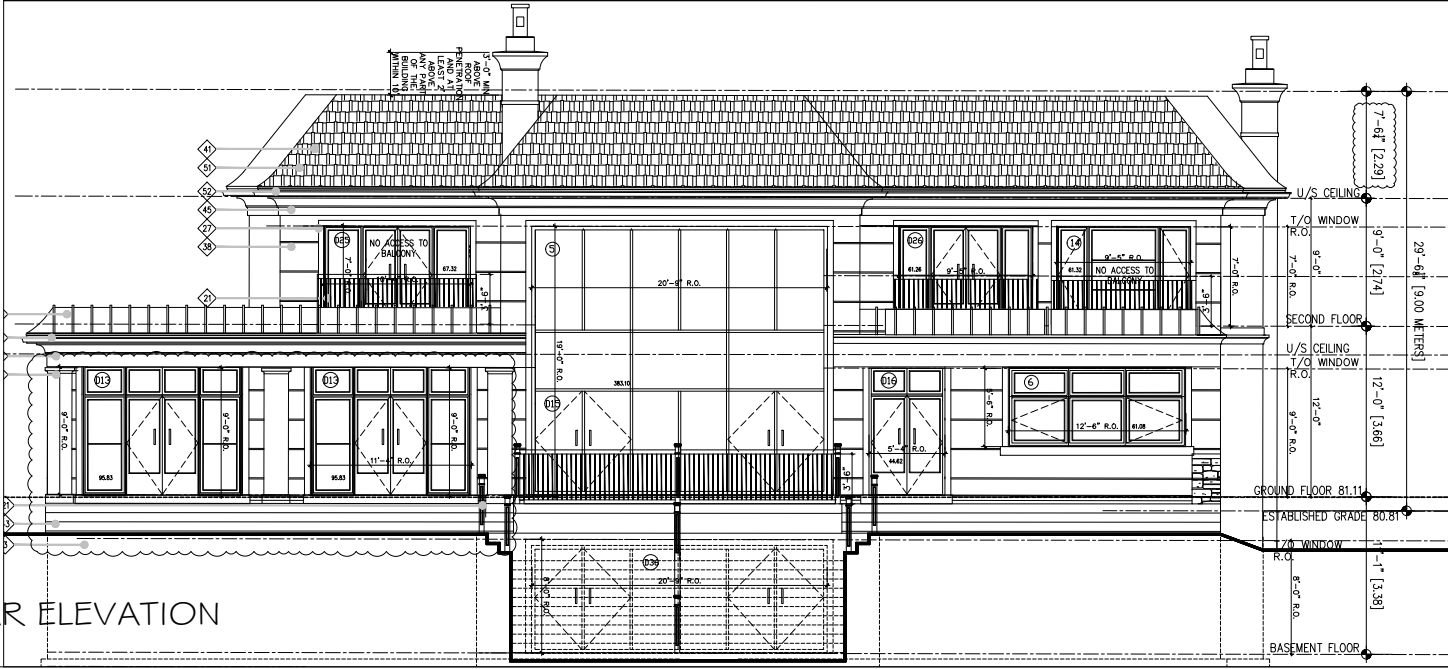
WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
2.	12.85 SF, 25.70 SF.
2.	49.30 SF, 98.60 SF.
1.	37.30 SF.
2.	23.86 SF, 47.72 SF.
2.	74.47 SF, 148.94 SF.
1.	74.68 SF.
1.	78.86 SF.
SPATIAL CALCULATION	
WALL AREA	1914.48 SF.
LIMITING DISTANCE	
MAX. % OPENING	
OPENING ALLOWED	
OPENING PROVIDED	511.8 SF.

WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
1.	67.32 SF.
2.	95.83 SF, 191.66 SF.
1.	383.10 SF.
1.	61.26 SF.
1.	61.32 SF.
1.	44.62 SF.
1.	61.08 SF.
SPATIAL CALCULATION	
WALL AREA	1669.72 SF.
LIMITING DISTANCE	
MAX. % OPENING	
OPENING ALLOWED	
OPENING PROVIDED	870.36 SF.

WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



C. H. WORLD DESIGN & CONSTRUCTION Ltd.
1559 Waterside Road, Mississauga, ON, L3J 1A6, (647) 298-1206

DESIGNED BY: Ni Ni
B. C. I. N. #: 41885

- GENERAL NOTES
- Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
 - These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 - These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

NO.	DATE	REVISION	BY
1	17.02.27	REVISED PER CITY'S COMMENTS	

DRAWING
FRONT ELEVATION
&
REAR ELEVATION

PROJECT
DHADWAR RESIDENCE

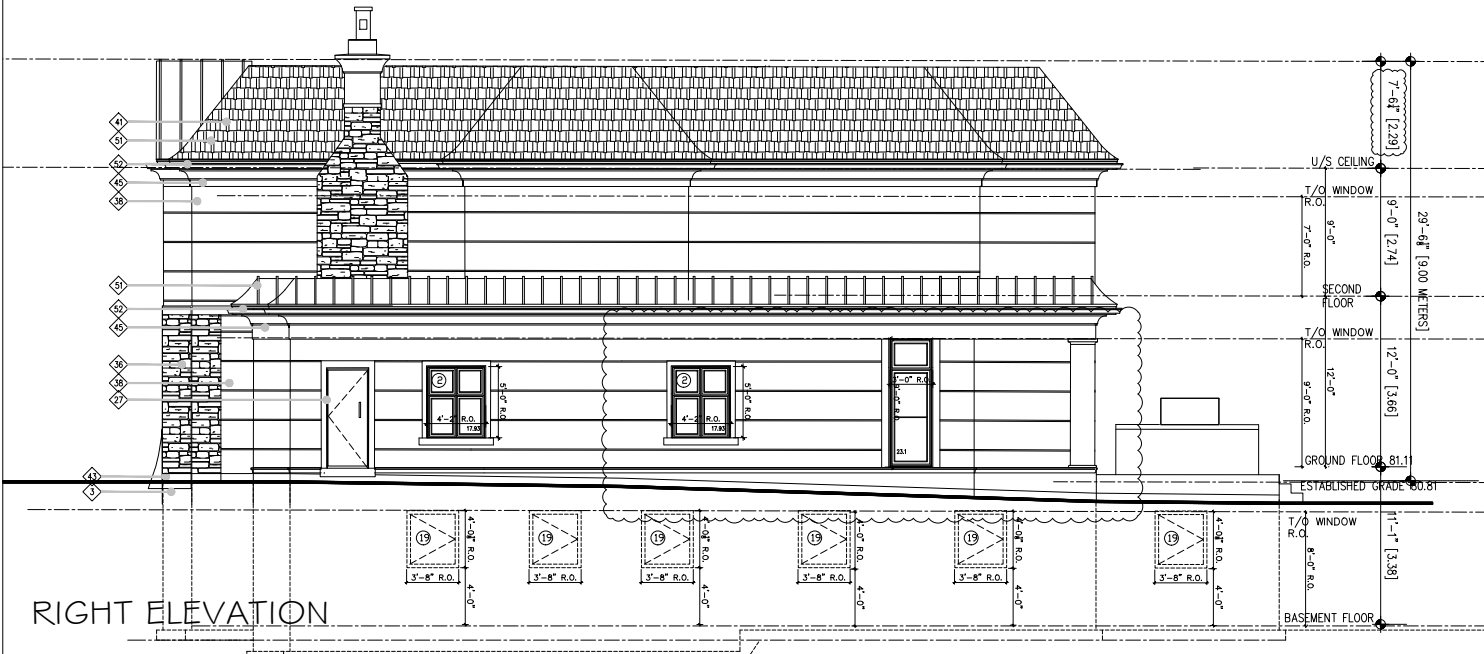
PROJECT
2318 BENNINGTON GATE,
OAKVILLE,
ONTARIO
L6J 6C2

DATE	OCT 2022	SHEET	
SCALE			A5
	1/4" = 1'-0"		

REAR ELEVATION

WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
2	17.93 SF, 35.86 SF.
1	23.1 SF.
SPATIAL CALCULATION	
WALL AREA	1550.16 SF.
LIMITING DISTANCE	4.28 m
MAX. % OPENING	12%
OPENING ALLOWED	186.02 SF.
OPENING PROVIDED	58.96 SF.

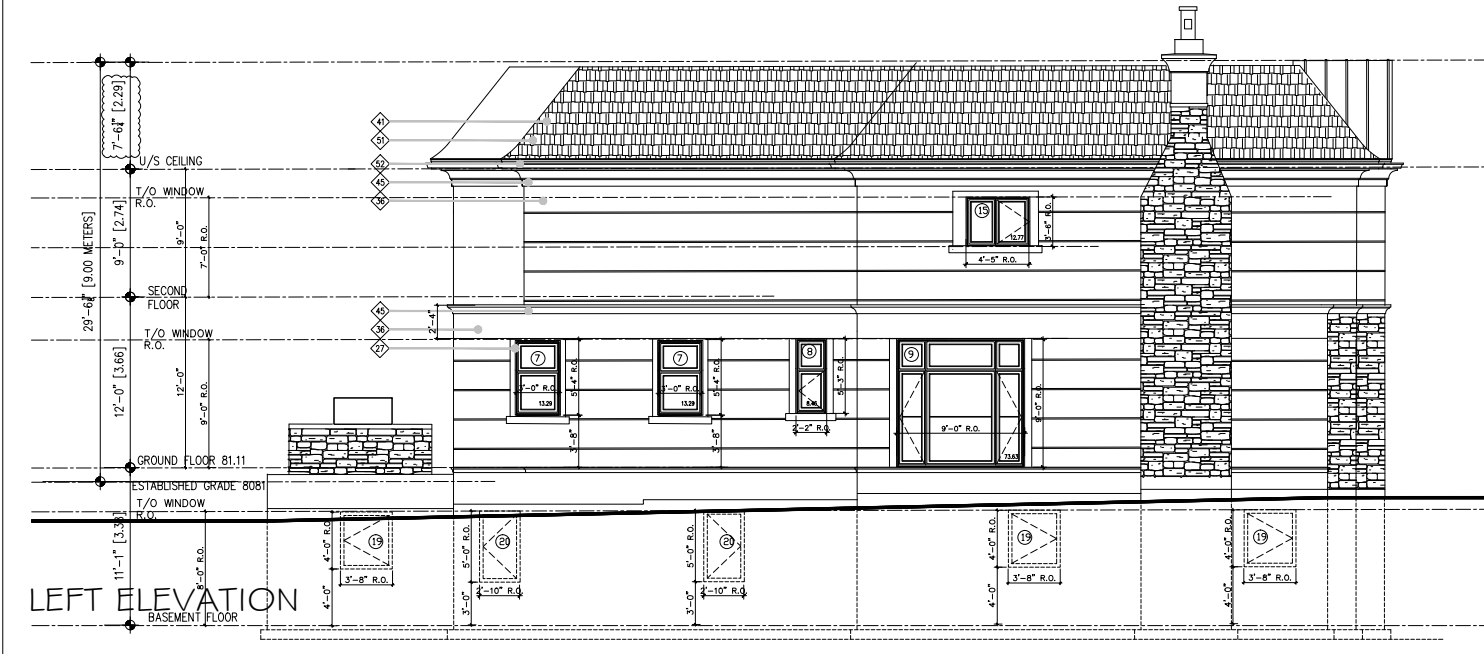
WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



RIGHT ELEVATION

WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
1	12.77 SF.
2	13.29 SF, 26.58 SF.
1	8.46 SF.
1	73.64 SF.
SPATIAL CALCULATION	
WALL AREA	1508.0 SF.
LIMITING DISTANCE	4.23 m
MAX. % OPENING	12%
OPENING ALLOWED	180.96 SF.
OPENING PROVIDED	121.45 SF.

WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



LEFT ELEVATION

C. H. WORLD DESIGN & CONSTRUCTION Ltd.
1559 Wateredge Road, Mississauga, ON, L5T 1A6, (416) 298-1206

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

GENERAL NOTES

- 1) Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
- 2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

NO.	DATE	REVISION	BY
17.02.27	REVISED PER CITY'S COMMENTS		1

DRAWING

SIDE ELEVATIONS

PROJECT
DHADWAR RESIDENCE

PROJECT
2318 BENNINGTON GATE,
OAKVILLE,
ONTARIO
L6J 6C2

DATE	OCT 2022	SHEET	
NO.			A6
SCALE		1/4" = 1'-0"	

David Nelson
Development Consultant
382 Bartos Drive
Oakville ON
L6K3E6
Telephone: 905-580-9431
email: david.nelson@sympatico.ca

October 31, 2024

Committee of Adjustment
Town of Oakville
By email:

Re: Minor Variance Application
2318 Bennington Gate

Official Plan Policies

Development within stable residential communities is to be evaluated using the criteria found in Part D, Section 11.1.9 of the Official Plan. The intent of the Plan is to maintain the existing neighbourhood character. The relevant polices of Section 11.1.9 are provided below with comments as to how the policy is being met through this application.

- The built form of *development*, including scale, height, massing, architectural *character* and materials, is to be *compatible* with the surrounding neighbourhood.

The building which is under construction was approved through Building Permit number xxxxxxxx and that permit was issued as the height of the building, lot coverage, setbacks and Residential Floor Area met the requirements of the by-law. The owner of the property wishes to enclose an open patio area which already has a roof overhead and use the space for a home office/sun room. The zoning parameters noted above are met except for the RFA which increases from 29% of the lot area to 31%. We note that while there is reliance on precedent by the Committee of Adjustment in processing an application that the RFA ratio was increased from 29% to 30.9% on the property to the south. Height, massing and architectural treatment are compatible with existing buildings in the neighbourhood.

- *Development* should be *compatible* with the setbacks, orientation and separation distances within the surrounding neighbourhood.

These parameters are met through the issuance of the building permit for the subject property.

- Where applicable, the proposed lotting pattern of *development* shall be *compatible* with the predominant lotting pattern of the surrounding neighbourhood.

The predominant lotting pattern is rectangular lots. This lotting pattern was established in 2003 through approval of the creation of the subject lot through an Ontario Municipal Board decision. This lotting pattern is unchanged through the application for an increase in RFA.

- Roads and/or municipal *infrastructure* shall be adequate to provide water and wastewater service, waste management services and fire protection.

The subject lands are located on a private lane which has existed since 1961 when the first severance of a lot from the lakefront lot owned by William Stone was approved by Trafalgar Township East. The lane provides access to 5 lots and contains the water services two of those lots. The lane is of adequate width to provide for emergency services access to the properties. Wastewater services to the subject property and the abutting property to the south are provided through easements leading to Chancery Lane West.

- Surface parking shall be minimized on the site.

Surface parking is minimized as a three-car garage is incorporated into the building design.

- Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.

A Site Plan was approved by Planning Staff in 2023, and these issues were considered at that time. The grading plan included with the building permit application ensured that water from the site was not spilled onto abutting properties.

In conclusion we consider that the intent of the policies in the Official Plan are met in this application as there is no change to building height, building massing, lot coverage and building setbacks through the approval of the minor variance application.

Zoning By-law

A building permit was issued for the construction of the building based on compliance with building height, building setbacks, lot coverage and RFA. The application seeks to enclose a roofed area to create a home office/sun room, and this requires the approval of a minor variance for the RFA /lot area ratio contained in Table 6.4.1 of By-law 2014-014. The intent of the by-law is to limit building massing through the application of the ratio. The building massing is unchanged through this application.

In conclusion we consider that the intent of the Zoning By-law is maintained through approval of this application.

Application is Minor in Nature

We consider that the determination of whether an application is minor in nature is related to the impact of the approval on neighbours. The new walls enclosing the existing roofed area are visible to one neighbour to the north from their rear lot. There is no change to the massing of the building or setbacks that could impact the use of those neighbouring properties, and we note that there is existing vegetation along the rear and westerly lot lines which softens views to the subject dwelling.

Respectfully submitted.

D. Nelson

David Nelson