PRIVATE RESIDENCE

NEW CUSTOM SINGLE FAMILY DWELLING

324 SPRUCE STREET, OAKVILLE, ONTARIO L6J 2H1

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:

AREA CALCULATIONS

BASEMENT = 1517 sqft (141 m2) MAIN FLOOR PLAN = 1535 sqft (143 m2) SECOND FLOOR PLAN = 1250 sqft (116 m2)

TOTAL GFA = 2785 sqft (116 mz)

LOT COVERAGE CALCULATIONS

 DWELLING
 = 1541 sqft (143 m2)

 FRONT PORCH
 = 247 sqft (22.9 m2)

 FUTURE SHED
 = 95.8 sqft (8.9 m2)

 TOTAL COVERAGE
 = 1884 sqft (175 m2)

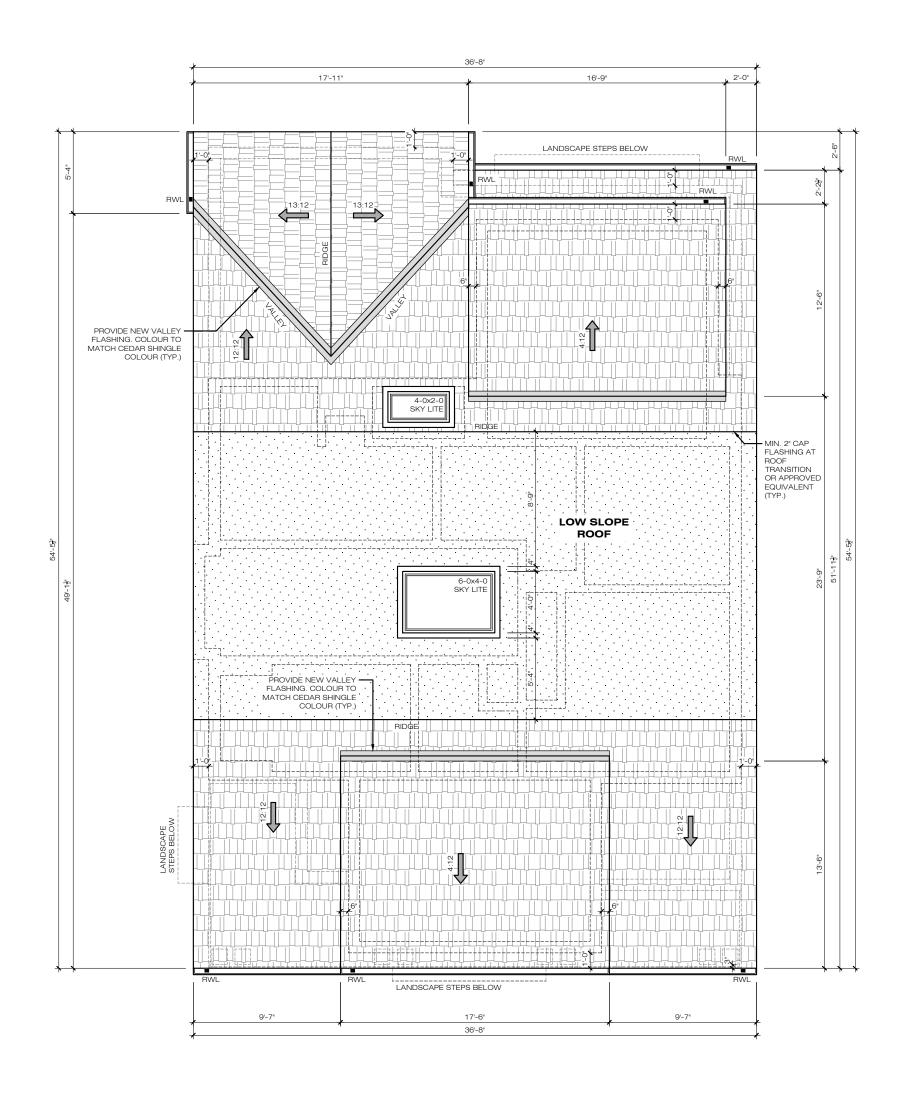
ZONING AN	ND PROPE	ERTY STATIST	TICS	
DESCRIPTION:	LOT 9 REGISTERED TOWN OF OA			
ADDRESS:	324 SPRUCE	STREET, OAKVILLE, ON	ITARIO	
		REQUIRED:	PROPOSED:	
ZONING DESIGNAT	ION:	RL3-0 SP:10	RL3-0 SP:10	(EXISTING)
LOT AREA:		557.5 m2	674.33 m2	(EXISTING)
FRONTAGE:		18.00 m	15.24 m	(EXISTING)
DWELLING COVER	AGE:		143.2 m2 (21.24	1%)
FRONT PORCH CO	VERAGE:		22.9 m2 (3.40%)
FUTURE SHED COV	ERAGE:		8.9 m2 (1.32%)	
TOTAL LOT COVER	AGE:	128.12 m2 (19%)	**175.0 m2 (25	.96%)
FLOOR AREA RATIO	D:	276.48 m2 (41%)	258.73 m2 (38.3	37%)
FRONT YARD TO H	OUSE:	6.07 m	6.45 m	
REAR YARD TO HO	USE:	7.50 m	20.52 m	
RIGHT YARD TO HO	OUSE:	1.20 m	1.80 m	
LEFT YARD TO HOL	JSE:	2.40 m	2.83 m	
BUILDING HEIGHT:		9.0 m	8.68 m	
PARKING SPACES:		2	2	
** MINOR VARIANC	E REQUIRED			

OCT 2024 2023-18

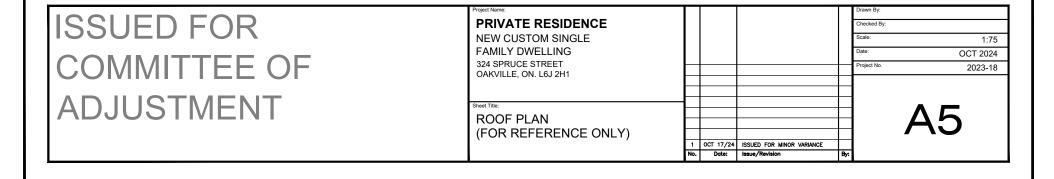


NEW ELEVATION (FOR REFERENCE ONLY):

ISSUED FOR	Project Name: PRIVATE RESIDENCE NEW CUSTOM SINGLE FAMILY DWELLING			
COMMITTEE OF ADJUSTMENT	324 SPRUCE STREET OAKVILLE, ON. L6J 2H1 Sheet Title:			
ADJUSTNIENT	COVER PAGE & ZONING STATISTICS	1 No.	OCT 17/24 Date:	ISSUED FOR MINOR VARIANCE







COMMITTEE OF ADJUSTMENT

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: Issue/Revision	OCT 17/24 ISSUED FOR MINOR VARIANCE									
By:							_			
			>)	•		Project No. 2023-18	Date: OCT 2024	Scale: 1:75	Checked By:	Drawn By:

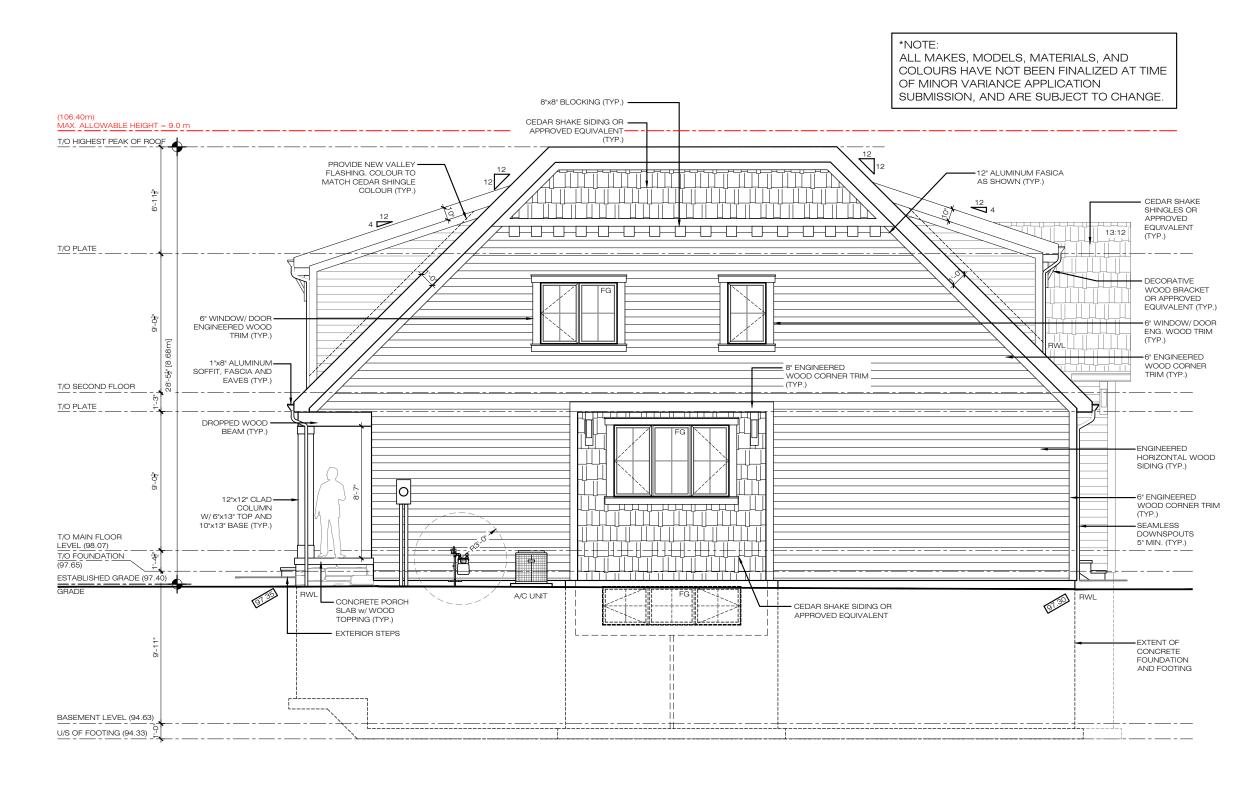
ALL MAKES, MODELS, MATERIALS, AND COLOURS HAVE NOT BEEN FINALIZED AT TIME OF MINOR VARIANCE APPLICATION SUBMISSION, AND ARE SUBJECT TO CHANGE. PROVIDE NEW VALLEY -FLASHING. COLOUR TO MATCH CEDAR SHINGLE (106.40m) MAX. ALLOWABLE HEIGHT = 9.0 m COLOUR (TYP.) T/O HIGHEST PEAK OF ROOF CEDAR SHAKE SHINGLES OR APPROVED EQUIVALENT T/O PLATE DECORATIVE WOOD BRACKET OR APPROVED EQUIVALENT (TYP.) ENGINEERED HORIZONTAL WOOD SIDING (TYP.) SEAMLESS -DOWNSPOUTS 5" MIN. (TYP.) -6" ENGINEERED WOOD CORNER TRIM (TYP.) -1"x8" ALUMINUM SOFFIT, FASCIA T/O SECOND FLOOR T/O PLATE DROPPED WOOD BEAM (TYP.) ENGINEERED WOOD TRIM (TYP.) -12"x12" CLAD COLUMN W/ 6"x13" TOP AND 10"x13" BASE (TYP.) ENGINEERED = HORIZONTAL WOOD SIDING (TYP.) T/O MAIN FLOOR LEVEL (98.07) T/O FOUNDATION (97.65) **F** EXTERIOR STEPS (TYP.) CONCRETE PORCH SLAB -W/ WOOD TOPPING (TYP.) EXTENT OF CONCRETE FOUNDATION AND FOOTING BASEMENT LEVEL (94.63) U/S OF FOOTING (94.33)

*NOTE:

FRONT ELEVATION

COMMITTEE OF ADJUSTMENT

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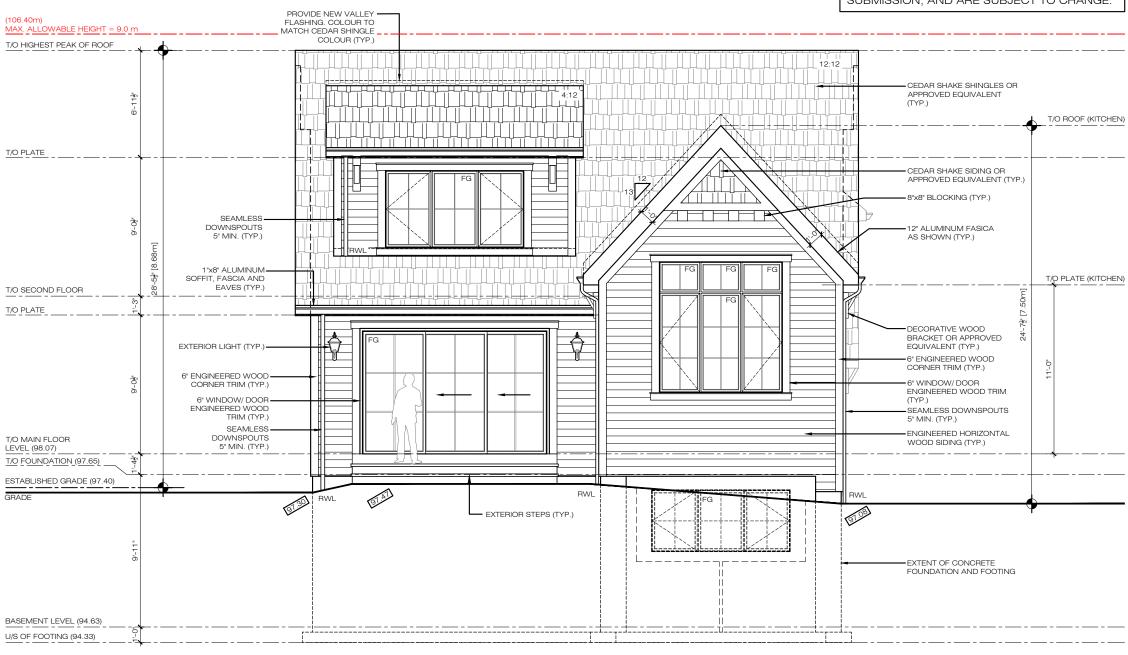


RIGHT SIDE ELEVATION

COMMITTEE OF ADJUSTMENT

Circled By: Scale:

*NOTE:
ALL MAKES, MODELS, MATERIALS, AND
COLOURS HAVE NOT BEEN FINALIZED AT TIME
OF MINOR VARIANCE APPLICATION
SUBMISSION, AND ARE SUBJECT TO CHANGE.

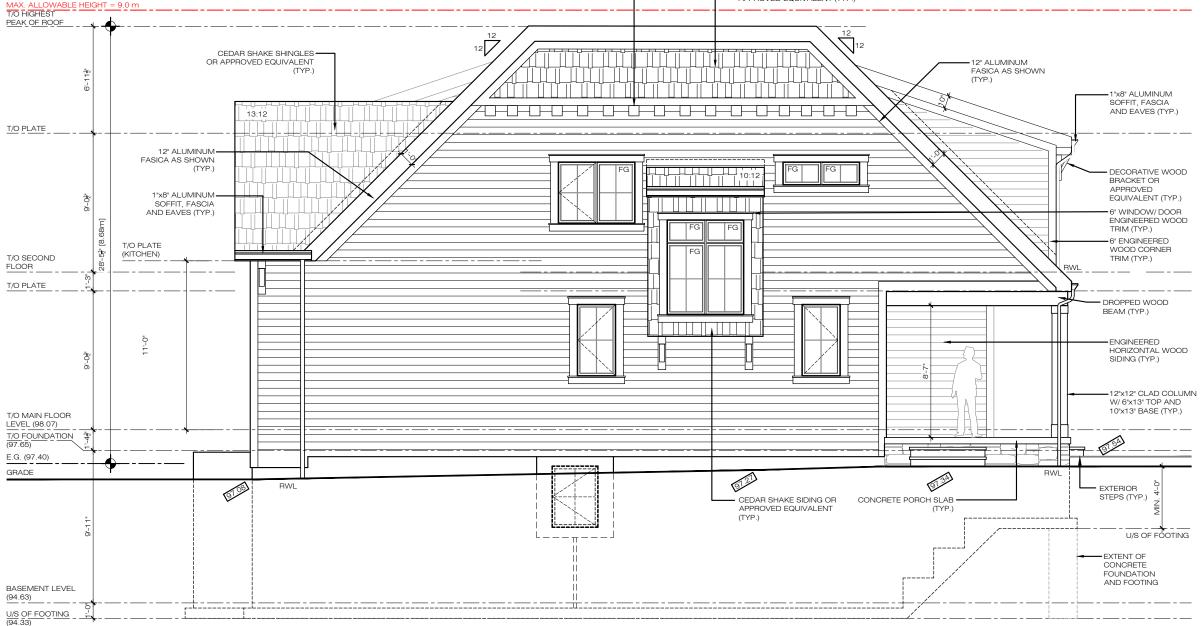


REAR ELEVATION

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ALL MAKES, MODELS, MATERIALS, AND COLOURS HAVE NOT BEEN FINALIZED AT TIME OF MINOR VARIANCE APPLICATION SUBMISSION, AND ARE SUBJECT TO CHANGE. CEDAR SHAKE SIDING OR (106.40m)
MAX. ALLOWABLE HEIGHT = 9.0 m
T/O HIGHEST
PEAK OF ROOF 8"x8" BLOCKING (TYP.) APPROVED EQUIVALENT (TYP.) 12 OR APPROVED EQUIVALENT (TYP.) - 12" ALUMINUM FASICA AS SHOWN



LEFT SIDE ELEVATION

TREE PROTECTION NOTE

BE RETAINED.

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND

2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.

3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO

4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK. THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE. 5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO. OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED

NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION. 6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.

7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE. 8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) 9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND

AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ. STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT 1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING

CONSTRUCTION STAFF. 2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.

3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT. 4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.

5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB. (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED. 2. THERE ARE NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS. 3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.

4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD. 5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM

WALKWAYS, DRIVEWAYS OR PATIO AREAS. 6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.

7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.

8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE. 9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.

10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.

11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.

12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST

VERIFIED PRIOR TO CONSTRUCTION. 13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND

ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND

SPECIFICATIONS. 14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP

OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.

15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.

16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.

17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.

18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%. 19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.

20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. 21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD

ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN. 22. ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.

23. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES. 24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS 25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

EROSION AND SILTATION NOTES

. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER. 2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.

A. WEEKLY B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT

C. FOLLOWING AN UNPREDICTED RAINFALL EVENT

D. DAILY, DURING EXTENDED DURATION RAINFALL EVENTS E. AFTER SIGNIFICANT SNOW MELT EVENTS

3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BR REPAIRED WITH 48 HOURS.

4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASE TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING- NUISANCE OR OTHERWISE,

DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.

INTERFERENCE ISSUES, ETC. 5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILL THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS(REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING. SEDIMENT CONTAINMENT DEVISES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL

6. IN THE EVENT OF A SPILL(RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

IOTE: TREE PROTECTION ZONES TREE HOARDING FOR THE PURPOSES OF THIS BY-LAW, NOT TO SCALE THE TREE PROTECTION ZONE (TPZ) FOR

81-90 CM

91-100+ CM

EXISTING 675mm Ø PVC STORM SEWER

ANY TREE SHALL BE DETERMINED AS RUNK DIAMETER | MINIMUM PROTECTION DISTANCES REQUIRED² <10 CM 1.8 M 11-30 CM 2.4 M 31-50 CM 3.0 M 51-60 CM 3.6 M EXISTING GRADE 61-70 CM 4.2 M 4.8 M 71-80 CM

5.4 M

6.0 M

1 DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND 2 TREE PROTECTION ZONE DISTANCES ARE TO BE

MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

EXISTING 300mm & PVC WATERMAIN

EDGE OF ROAD

N 38° 07' 00" E

1/12 STOREY

BRICK

DWELLING

ADDITION

PART 3, PLAN 20R-10208

BLOCK A

PIN 24807-0118

Swale Information

SWALE CROSS SECTION DETAIL

Note 1 A) and B)

1. Be stabilized with either: A) Topsoil and sod, or B) Filter cloth and river

6. Max. length of 60 m before outfall to sewer, creek or municipal road

4. Be defined as a "V" with side slopes of no more than 3:1

rock (potato stone) . Materials such as, fine gravel, mulch, etc. are not acceptable

. Have no walkways, retaining walls, gardens, trees, shrubs, etc. located within them.

Grade Elevations every 5.0 m

(C) UTILITIES CONNECTION

2. Have a width of 1.2 to 2.0 m (Side yard swales may be a min. 0.6 m in width)

All swales are to:

3. Have a depth of 150 to 600 mm

5. Have a minimum linear slope of 2.0%

0.19 NE

0.23 NW---

0.18 NE

BLOCK A

PIN 24807-0I34

OPEN TRENCHING WILL NOT RE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS

NO OPEN TRENCHING

TO BE HORIZONTALLY BORED ONLY

To re-use existing water service ovidina it meets Current Standards. (otherwise, use proposed 25mmø Copper Type-K water service) The existina water service must be inspected at the property line by the Peaional Inspector.

OVERHEAD WIRES

SPRUCE STREE

(BY REG'D PLAN 127)

PROPOSED

ર્લ 2-STOREY DWELLING

324

FF.= 98.07

TFW= 97.65

BF= 94.63

UF = 94.33

WILL BE REQUIRED

OR 74 HOARDING 96.75

DI AN

POOL DECK

LOT 9

PIN 24807-0120

POOL TO REMAIN

POOL DECK

N 38° 05' 10" E

15.24 0.540

PIN 24807-0133

PLAN

WIN. WELL

PIN 24807-0159

EXISTING 200mm Ø PVC SANITARY SEWER

97.2§AN. — SAN. — SAN. — SAN. —

REGIONAL APPROVAL REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS &

Development Services DATED: _____

LOCAL APPROVAL FROM AREA MUNICIPALITY.

The approval of the water system on private property property is the responsibility of the Local Municipality, Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (the Water and Wastewater Lineau Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

SANITARY INVERT= 94.8 +/- CENTRELINE OF ROAD

SIDEWALK

2 STOREY

DWELLING

— STM, — STM, — STM, —

EXISTING 600mm Ø PVC STORM SEWER

The existing sanitary lateral must be inspected at the

property line by the Regional Inspector, and televised by Regional forces PRIOR to connection.

must be disconnected at the main. A revision to

the Service Permit, drawings and payment of

applicable fees is required

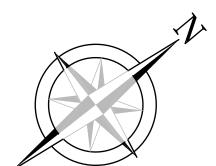
lateral that does not meet current Regional standards

50mmØ ABS PIPE -----

CHECK VALVE ---

BASEMENT FLOOR

FOOTING SUB-DRAIN, ONLY IF REQUIRED



Tree Protection Barriers Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services. be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on 233.48 (MH TO MH) (NOT TO SCALE) — SAN. — All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier. 6 No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

OAKVILLE

ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS

EAVES DO NOT PROJECT MORE THAN O.60M INTO PROPOSED SETBACKS.

taps are to be performed by Region of Halton forces only

All NEW water and sanitary main

DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS

Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing services.

NOTE

f the existing sanitary service lateral is used, t must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

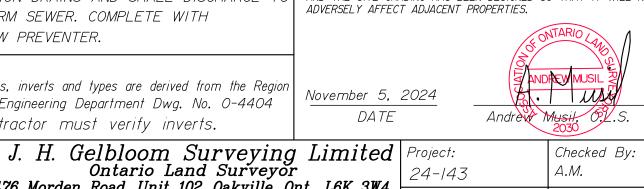
THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE STORM SEWER. COMPLETE WITH BACKFLOW PREVENTER.

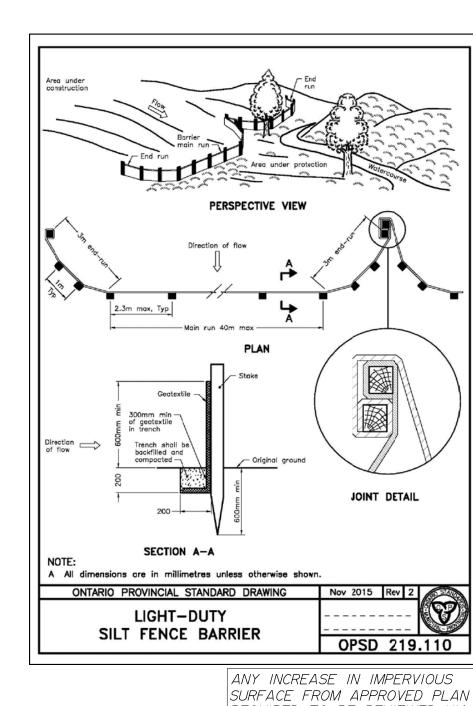
SUMP PUMP DISCHARE

CONNECTION TO GRADE

Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-4404 The contractor must verify inverts.







SCHEDULE 1 TREE PROTECTION BARRIES

> KEY PLAN (NOT TO SCALE) SITE, GRADING & SERVICING PLAN REGISTERED PLAN 121 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

> > SCALE 1 : 150 J.H. Gelbloom Surveying Limited Ontario Land Surveyor

stances shown on this plan are in metres and can be converted to feet dividing by 0.3048. ITEM DESCRIPTION ZONING DESIGNATION OT AREA (MINIMUM. T FRONTAGE (MINIMUM) ARKING SPACES DRIVEWAY WIDTH (MAXIMUM) ¥166.13 SQ.M. 24.6. T COVERAGE (DWELLING) 128.12 SQ.M. T COVERAGE (FUTURE SHEL 8.90 SQ.M. 1.339 **★** 175.03 SQ.M. LOT COVERAGE (TOTAL) 128.12 SQ.M. X 25.96% LOT COVERAGE % (TOTAL) 276.48 SQ.M. RFA (MAXIMUM) 258.73 SQ.M. RFA/LOT RATIO (MAXIMUM) 41% 38.37% 6.45 FRONT YARD SETBACK (MINIMUM SIDE YARD SETBACK (MINIMUM) 1.80 & 2.83 1.20 & 2.40 20.52 REAR YARD SETBACK (MINIMUM)

OVERALL	HEIGHT	9.00	8.68	
★ SUBJ	ECT TO COMMITTEE OF ADJ	IUSTMENTS FILE NO	Э.	
LEGE	ND			
WF CLF BF TFW MH FF UP DEC. CON. Ø TOC BOC	Wire Fence Chain Link Fence Board Fence Top of Foundation Maintenance Hole Finished Floor Utility Pole Deciduous Tree Coniferous Tree Diameter Top of Curb Bottom of Curb Entrance	Wall EG 92.5 T.B.F TOS BOS CSP WV	Estab Propos Top C Botton Corrugat Water Hoardin	f Elevation dished Grade sed Elevation e Removed of Slope m of Slope ded Steel Pipe Valve ng g Elevation
HP TRW BRW	High Point Top of Retaining Wo Bottom of Retaining Arborist's Tree Num	Wall •	Rain W Embank Tree to Remove	be

324 SPRUCE STREET oakville, ontario

CARROTHERS & ASSOCIATES 505 YORK BLVD HAMILTON, ONTARIO

SEPTEMBER 3, 2024 SITE PLAN OCTOBER 9, 2024 TOWN COMMENTS R.H. Date Description REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY H. GELBLOOM SURVEYING LTD DATED : JANUARY 18, 2023

Tevations are Referred to the Town of Oakville Benchmark No. 183, having an Elevation of 91.701 m.

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 324 SPRUCE STREET AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WIL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER OBC 9.14.6.1.(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT

Party Chief:

476 Morden Road, Unit 102, Oakville, Ont., L6K 3W4 office@jhgsurveying.ca

Drawn By:

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

—ON LINE SW

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L07

PIN 24807-0132

121



CARROTHERS AND ASSOCIATES INC.

505 York Boulevard, Unit 3 HAMILTON, ONTARIO L8R 3K4

P: 905-574-1504

November 5, 2024

Committee of Adjustment - Planning Services

Town of Oakville, 1225 Trafalgar Road, Oakville. On. L6H 0H3

Attn: Heather McCrae, Secretary Treasurer

Project Address: 324 Spruce Street, Oakville, Ontario.

Carrothers and Associates Inc. are the consultants to Jeremy Hammond and Carolyn Best of the lands municipally known as 324 Spruce Street, Oakville, Ontario. On behalf of the owners, we are pleased to provide this submission letter to provide further information for item #10 on page 5 of the 2024 Minor Variance application.

1. Do the variance(s) meet the intent and purpose of the Official Plan?

The Subject Property is designated 'Low Density Residential' of the Livable Oakville Official Plan. The intent of the 'Low Density Residential' is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed dwelling has been designed to be complimentary with recent and existing development forms in the neighbourhood including similar features providing a high-quality character design. Given this, the proposal will provide a built form massing that will integrate with the established heritage neighbourhood and it's transitioning character.

There are no natural heritage features on or adjacent to the subject property that will be adversely impacted by our proposal as the home will stay well within the required building setbacks and the building height is well within the Zoning regulations.

The variance request represents a minor departure from what is currently permitted while meeting the general intent of the Official Plan.

2. Do the variance(s) meet the intent and purpose of the Zoning By-law?

The general purpose and intent of the Zoning By-Law is to implement the policies of the Official Plan through specific permissions and regulations. In our case RL3-0 SP:10 'Low Density Residential' regulates the maximum lot coverage to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding area and to mitigate any potential grading and drainage impacts from decreased permeability. It's important to note that although we are asking for an increase in lot coverage, our residential floor area remains under the maximum limit. The requested 25.96% lot coverage includes a front covered porch which By-Law 2014-014 requires to be included in the total area. In the case of the Subject lands, the proposed house footprint is 21.24% (143.2 square metres) and the front covered porch is 3.40% (23 square metres)

Being an integral part of the home design. The porch allows the roof slope to extend down to the main level helping provide a 1.5 storey appearance from Spruce Street. The porch compliments the heritage character of the neighbourhood streetscape while providing relief to the overall massing of the dwelling.



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In addition to the house and porch - we are asking for 1.32% (8.9 square metres) of lot coverage for a future detached shed as the new dwelling does not have an attached garage and the owners will require there an area for garden tools and lawn maintenance items. In our opinion, the following request represents a minor departure from what meets the intent of the Zoning By-Law.

3. The variance(s) is desirable for the appropriate use of the land?

The approval of the requested variance will allow for the proposed development and reinvestment on the Subject lands which are in close proximity to transit and various Town amenities. It is my opinion that the new dwelling has been designed and will maintain compatibility with the surrounding area and will be in keeping with the current streetscape character and general massing. The variance will help facilitate additional living space without creating any excessive additional massing or negative impacts on any neighbouring properties.

4. The variance(s) is minor in nature:

The requested variance will permit the construction a custom home project on the Subject lands and represents a minor departure from what is currently permitted. The variance is consistent and compatible with the existing and transitioning community-built form character. The variance will allow for reinvestment to occur and will not adversely impact the adjoining properties or the surrounding neighbourhood. It is my opinion that the requested minor variance is minor in nature

Conclusion

It is my opinion that our requested variance satisfies the four tests of Section 45(1) of the Planning Act, is minor in nature and appropriate for the development and use of the lands and maintains the general intent and purpose of the Official Plan and Zoning By-Law.

Regards,

David Carrothers

Carrothers and Associates Inc.

905.574.1504 ext. 1



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