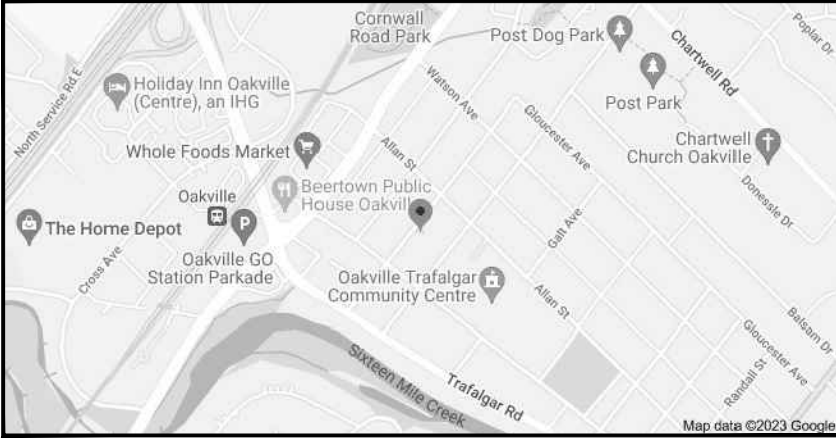


PRIVATE RESIDENCE

NEW CUSTOM SINGLE FAMILY DWELLING

324 SPRUCE STREET, OAKVILLE, ONTARIO L6J 2H1

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:

ZONING AND PROPERTY STATISTICS

DESCRIPTION:	LOT 9 REGISTERED PLAN 121 TOWN OF OAKVILLE		
ADDRESS:	324 SPRUCE STREET, OAKVILLE, ONTARIO		
	REQUIRED:	PROPOSED:	
ZONING DESIGNATION:	RL3-0 SP:10	RL3-0 SP:10	(EXISTING)
LOT AREA:	557.5 m ²	674.33 m ²	(EXISTING)
FRONTAGE:	18.00 m	15.24 m	(EXISTING)
DWELLING COVERAGE:		143.2 m ²	(21.24%)
FRONT PORCH COVERAGE:		22.9 m ²	(3.40%)
FUTURE SHED COVERAGE:		8.9 m ²	(1.32%)
TOTAL LOT COVERAGE:	128.12 m ² (19%)	**175.0 m² (25.96%)	
FLOOR AREA RATIO:	276.48 m ² (41%)	258.73 m ² (38.37%)	
FRONT YARD TO HOUSE:	6.07 m	6.45 m	
REAR YARD TO HOUSE:	7.50 m	20.52 m	
RIGHT YARD TO HOUSE:	1.20 m	1.80 m	
LEFT YARD TO HOUSE:	2.40 m	2.83 m	
BUILDING HEIGHT:	9.0 m	8.68 m	
PARKING SPACES:	2	2	
** MINOR VARIANCE REQUIRED			

AREA CALCULATIONS

BASEMENT	= 1517 sqft (141 m ²)
MAIN FLOOR PLAN	= 1535 sqft (143 m ²)
SECOND FLOOR PLAN	= 1250 sqft (116 m ²)
TOTAL GFA	= 2785 sqft (259 m ²)

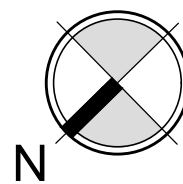
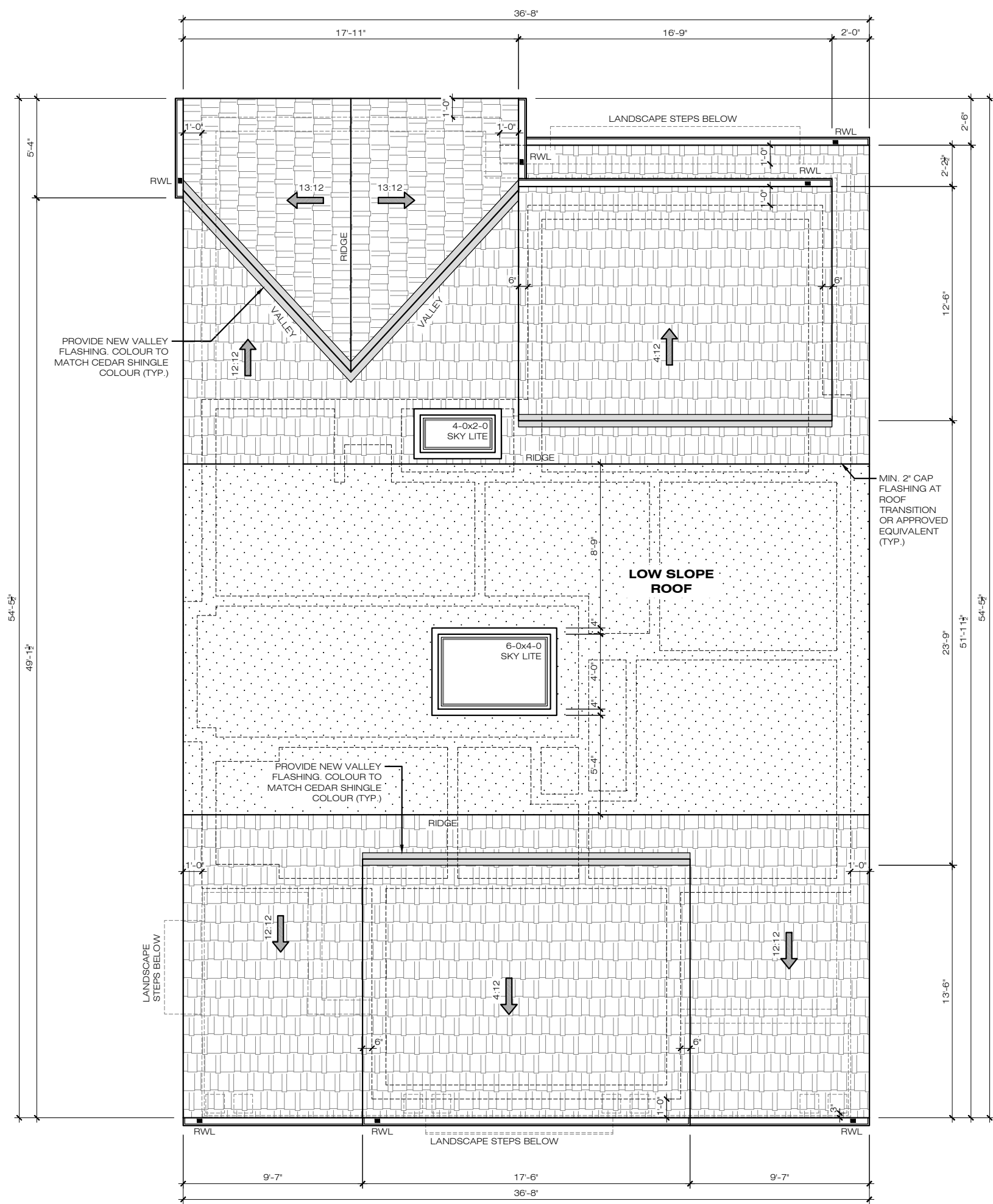
LOT COVERAGE CALCULATIONS

DWELLING	= 1541 sqft (143 m ²)
FRONT PORCH	= 247 sqft (22.9 m ²)
FUTURE SHED	= 95.8 sqft (8.9 m ²)
TOTAL COVERAGE	= 1884 sqft (175 m ²)



NEW ELEVATION (FOR REFERENCE ONLY):

<h2>ISSUED FOR COMMITTEE OF ADJUSTMENT</h2>	Project Name: PRIVATE RESIDENCE NEW CUSTOM SINGLE FAMILY DWELLING 324 SPRUCE STREET OAKVILLE, ON. L6J 2H1	Drawn By: Checked By: Scale: N.T.S. Date: OCT 2024 Project No: 2023-18
	Sheet Title: COVER PAGE & ZONING STATISTICS	<h1>A1</h1>
	1 OCT 17/24 ISSUED FOR MINOR VARIANCE No. Date: Issue/Revision By:	



ROOF PLAN

**ISSUED FOR
COMMITTEE OF
ADJUSTMENT**

Project Name:
**PRIVATE RESIDENCE
 NEW CUSTOM SINGLE
 FAMILY DWELLING**
 324 SPRUCE STREET
 OAKVILLE, ON. L6J 2H1

Sheet Title:
**ROOF PLAN
 (FOR REFERENCE ONLY)**

No.	Date:	Issue/Revision
1	OCT 17/24	ISSUED FOR MINOR VARIANCE

Drawn By:	
Checked By:	
Scale:	1:75
Date:	OCT 2024
Project No.:	2023-18

A5

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
324 SPRUCE STREET
OAKVILLE, ON L6J 2H1

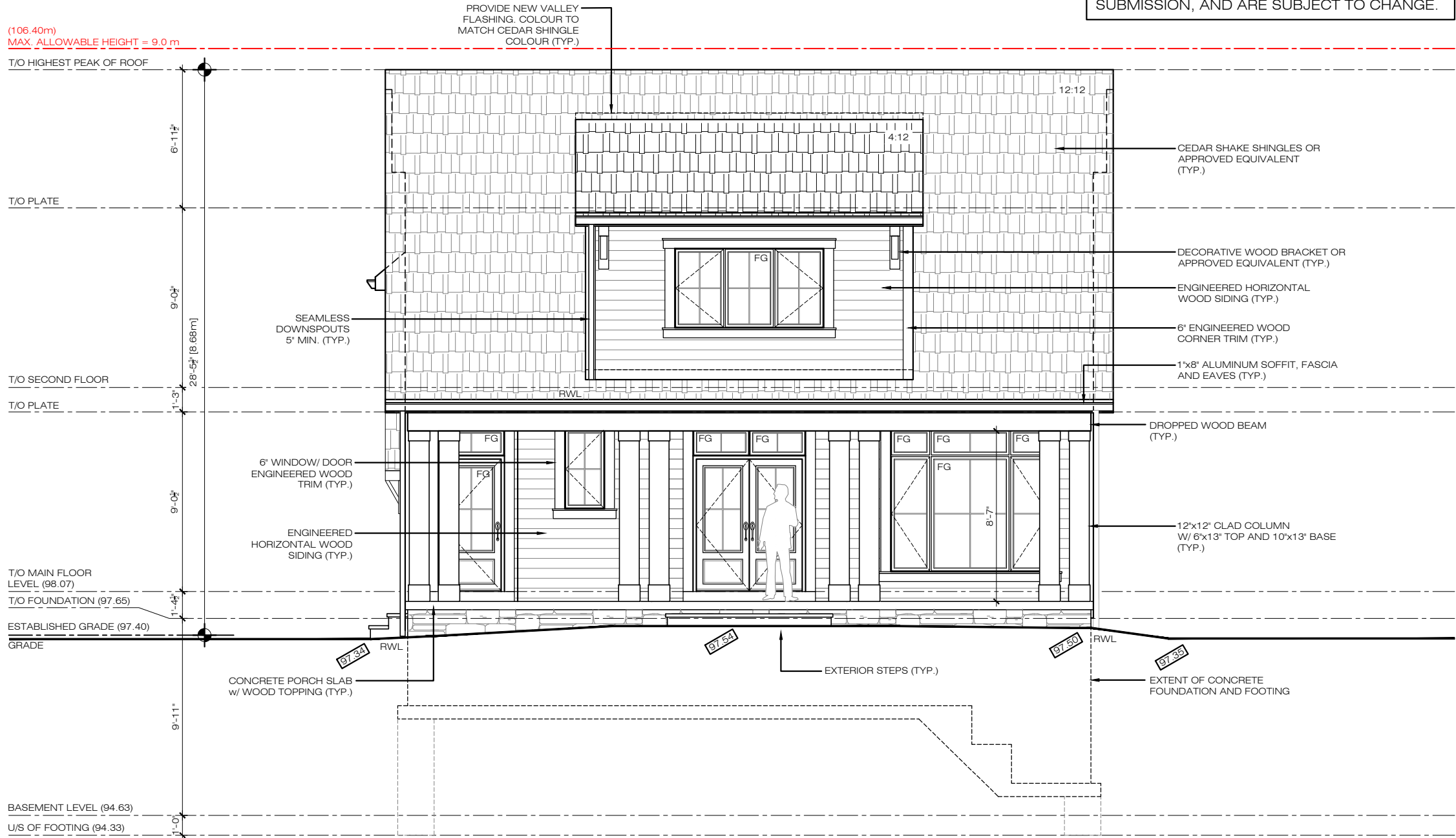
Sheet Title:
FRONT ELEVATION
(FOR REFERENCE ONLY)

No.	Date	Issued For / Revisions	By
1	OCT 17/24	ISSUED FOR MINOR VARIANCE	

Drawn By:
Checked By:
Scale: 1:75
Date: OCT 2024
Project No: 2023-18

A6

*NOTE:
ALL MAKES, MODELS, MATERIALS, AND
COLOURS HAVE NOT BEEN FINALIZED AT TIME
OF MINOR VARIANCE APPLICATION
SUBMISSION, AND ARE SUBJECT TO CHANGE.



FRONT ELEVATION

**ISSUED FOR
COMMITTEE OF
ADJUSTMENT**

RIGHT SIDE ELEVATION
(FOR REFERENCE ONLY)

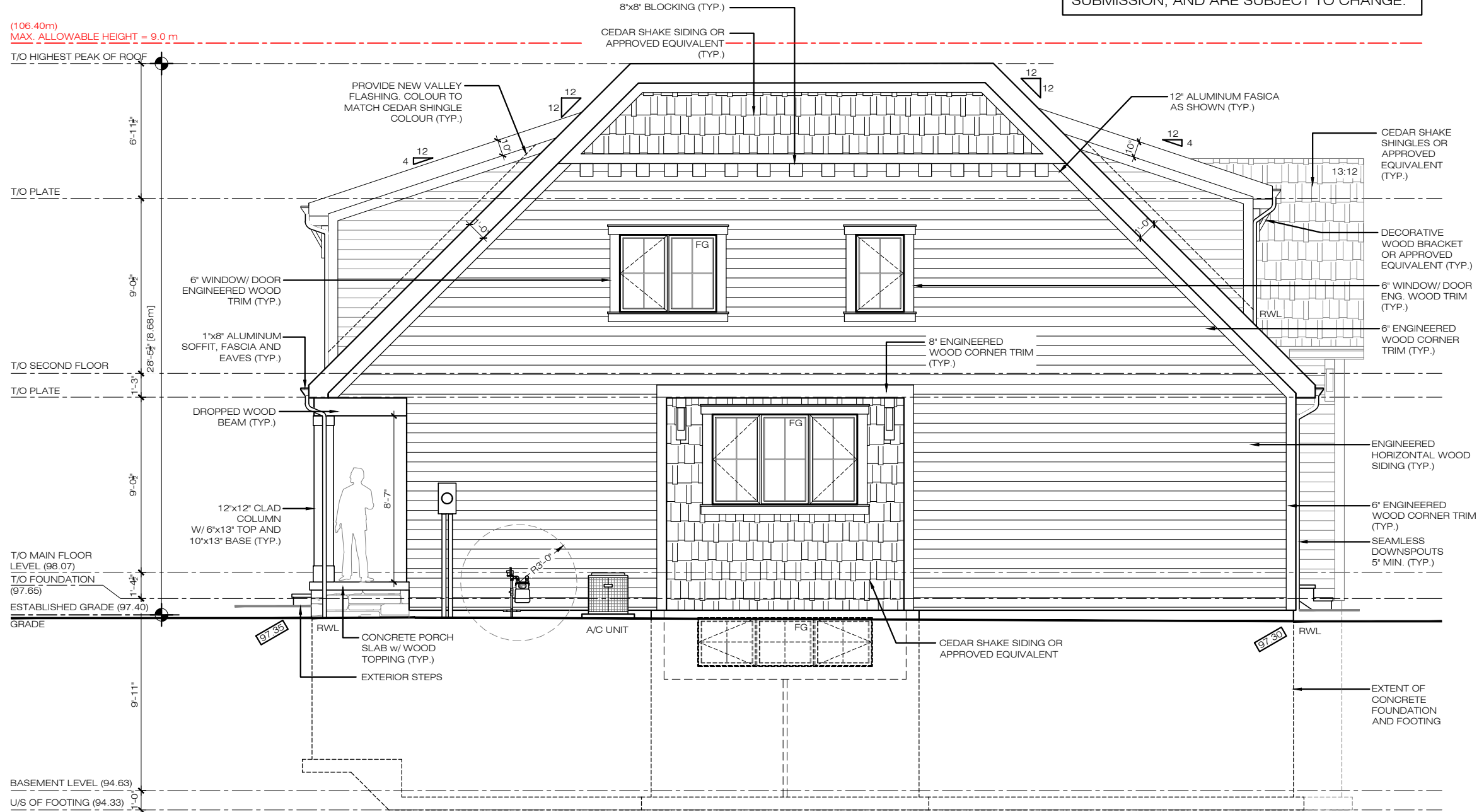
PRIVATE RESIDENCE
 NEW CUSTOM SINGLE
 FAMILY DWELLING
 324 SPRUCE STREET
 OAKVILLE, ON L6J 2H1

No.	1
Date	OCT 17/24
Issued/Revised	ISSUED FOR MINOR VARIANCE
By	

Drawn By: _____
 Checked By: _____
 Scale: 1:75
 Date: OCT 2024
 Project No: 2023-18

A7

*NOTE:
 ALL MAKES, MODELS, MATERIALS, AND
 COLOURS HAVE NOT BEEN FINALIZED AT TIME
 OF MINOR VARIANCE APPLICATION
 SUBMISSION, AND ARE SUBJECT TO CHANGE.



RIGHT SIDE ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

***NOTE:**
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COLOURS HAVE NOT BEEN FINALIZED AT TIME
OF MINOR VARIANCE APPLICATION
SUBMISSION, AND ARE SUBJECT TO CHANGE.



REAR ELEVATION

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
324 SPRUCE STREET
OAKVILLE, ON L6J 2H1

Sheet Title:
REAR ELEVATION
(FOR REFERENCE ONLY)

No.	Date	Issue/Revision
1	OCT 17/24	ISSUED FOR MINOR VARIANCE

Drawn By: _____
Checked By: _____
Scale: 1:75
Date: OCT 2024
Project No: 2023-18

A8

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
324 SPRUCE STREET
OAKVILLE, ON L6J 2H1

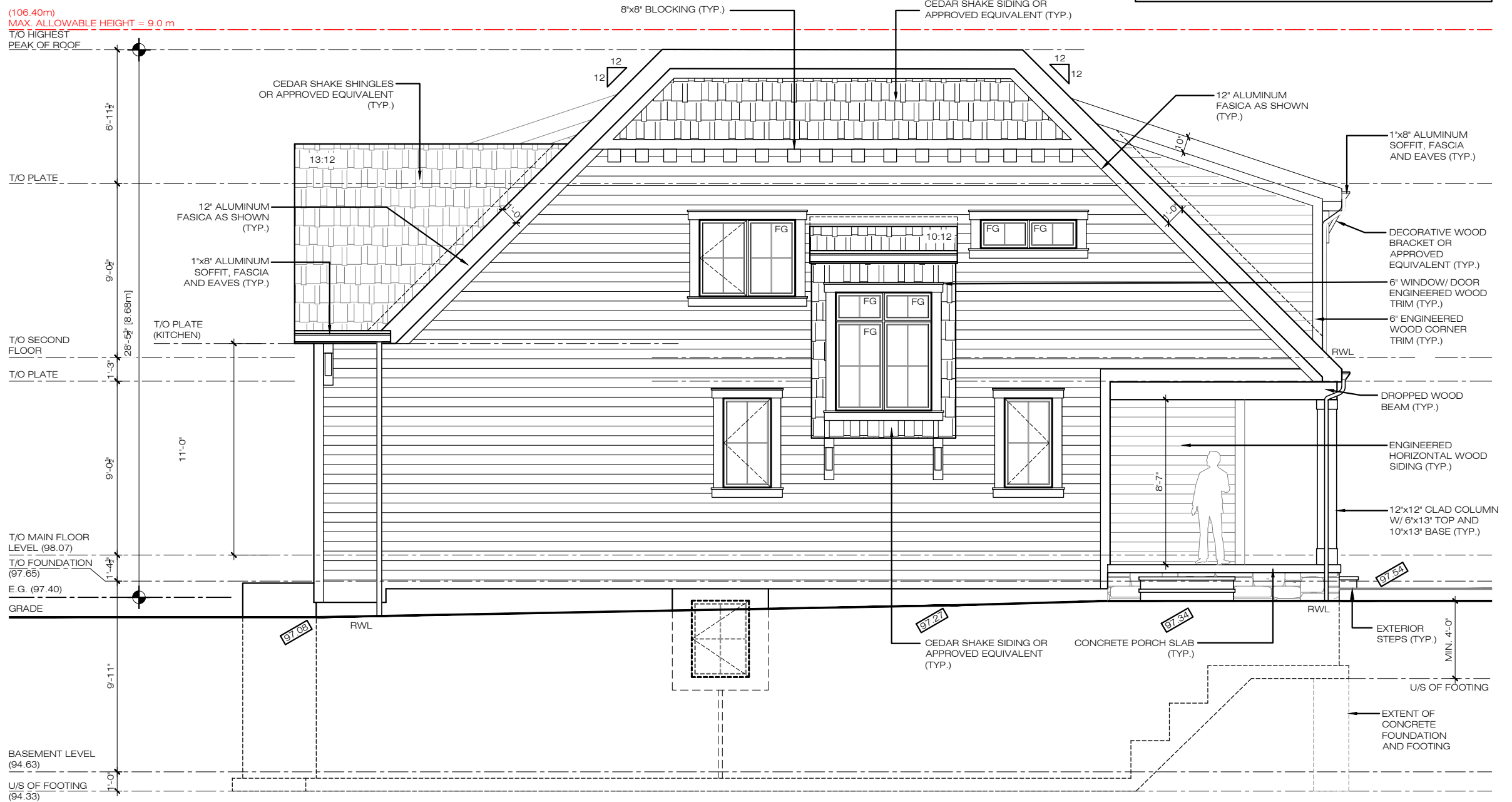
Sheet Title:
LEFT SIDE ELEVATION
(FOR REFERENCE ONLY)

No.	Date	Issue/Revisions	By
1	OCT 17/24	ISSUED FOR MINOR VARIANCE	

Drawn By:
Checked By:
Scale: 1:75
Date: OCT 2024
Project No: 2023-18

A9

***NOTE:**
ALL MAKES, MODELS, MATERIALS, AND
COLOURS HAVE NOT BEEN FINALIZED AT TIME
OF MINOR VARIANCE APPLICATION
SUBMISSION, AND ARE SUBJECT TO CHANGE.



LEFT SIDE ELEVATION

TREE PROTECTION NOTE

- 1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEFORE THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT...

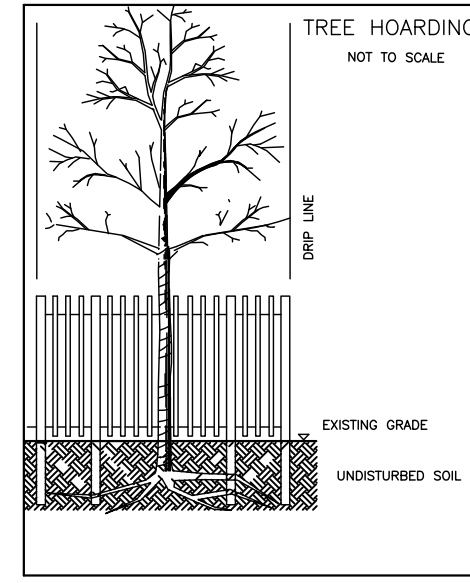


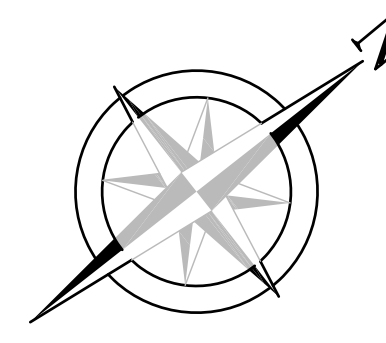
Table with 2 columns: TRUNK DIAMETER (DBH) and MINIMUM PROTECTION DISTANCES REQUIRED. Rows include diameters from <10 CM to 91-100+ CM.

- 1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND

REGIONAL APPROVAL REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: Development Services DATED: _____

The approval of the water system on private property property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met...



SCHEDULE 1 TREE PROTECTION BARRIER. Includes a diagram of a tree protection barrier and a list of notes detailing requirements for barrier height, placement, and support.

SITE, GRADING & SERVICING PLAN. LOT 9 REGISTERED PLAN 121 TOWN OF OAKVILLE. Includes a key plan and a scale of 1:150.

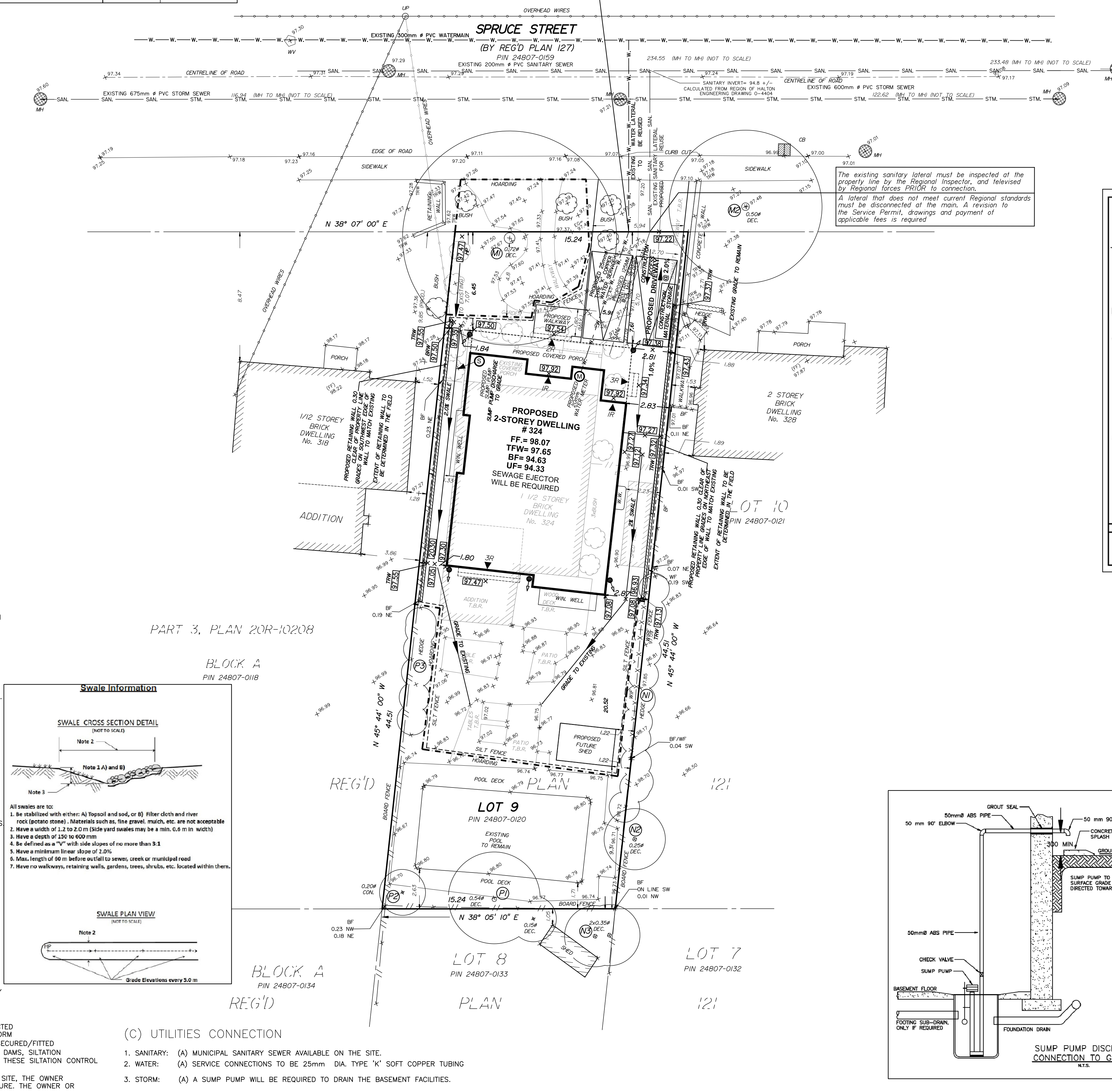
METRIC METERS shown on this plan are in metres and can be converted to feet dividing by 0.3048. Table with columns: ITEM DESCRIPTION, PERMITTED METERS, ACTUAL OR PROPOSED METERS.

LEGEND. Lists symbols for various features like Wire Fence, Chain Link Fence, Board Fence, etc., and their corresponding abbreviations.

SITE ADDRESS 324 SPRUCE STREET OAKVILLE, ONTARIO. Includes a table for REVISIONS with columns for date, description, and initials.

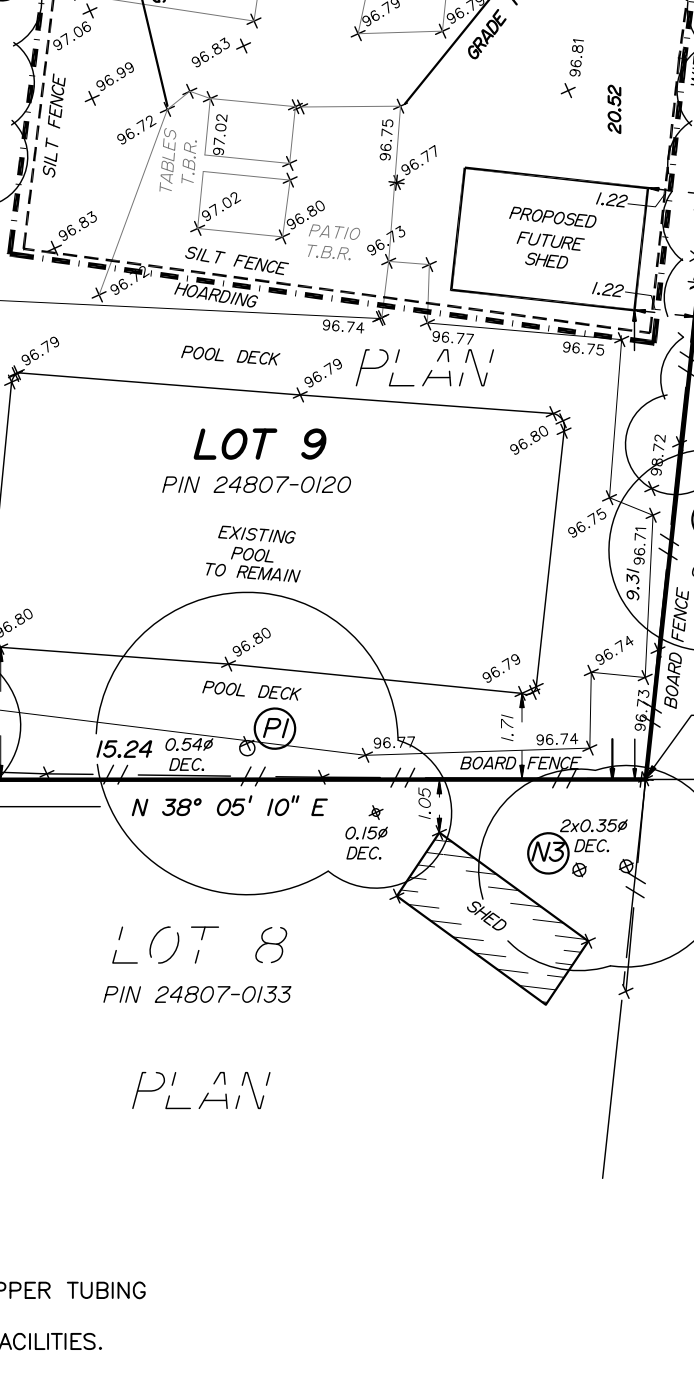
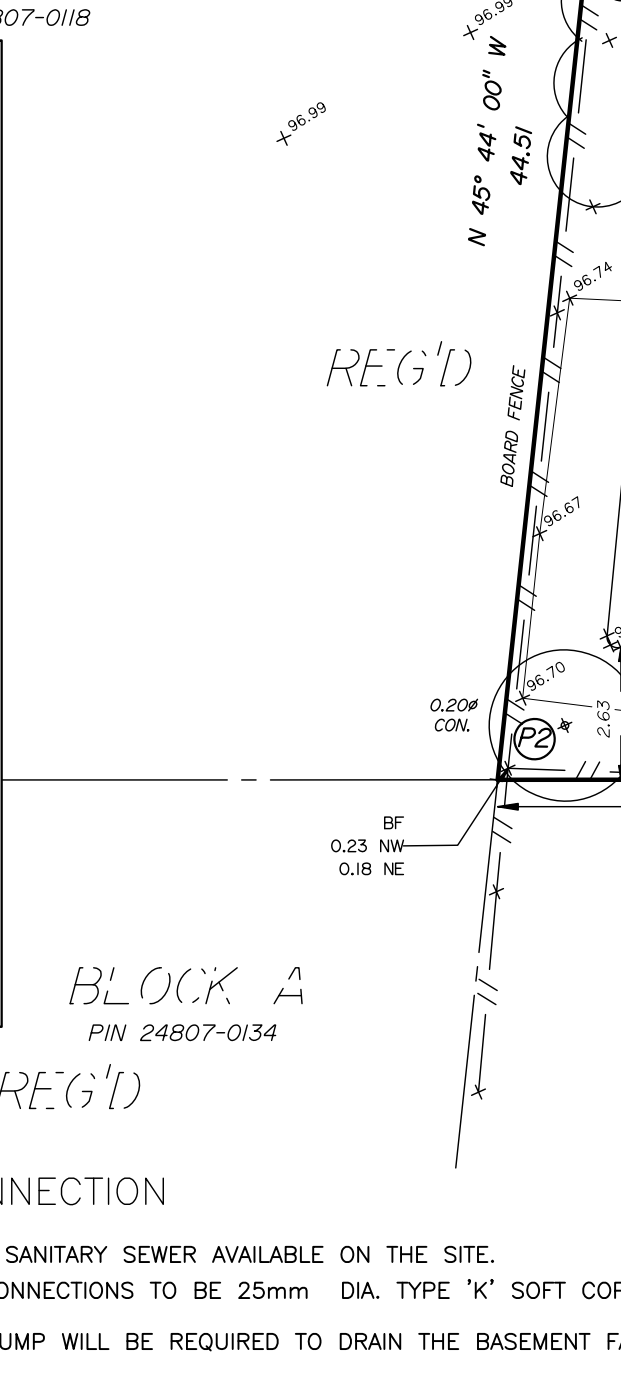
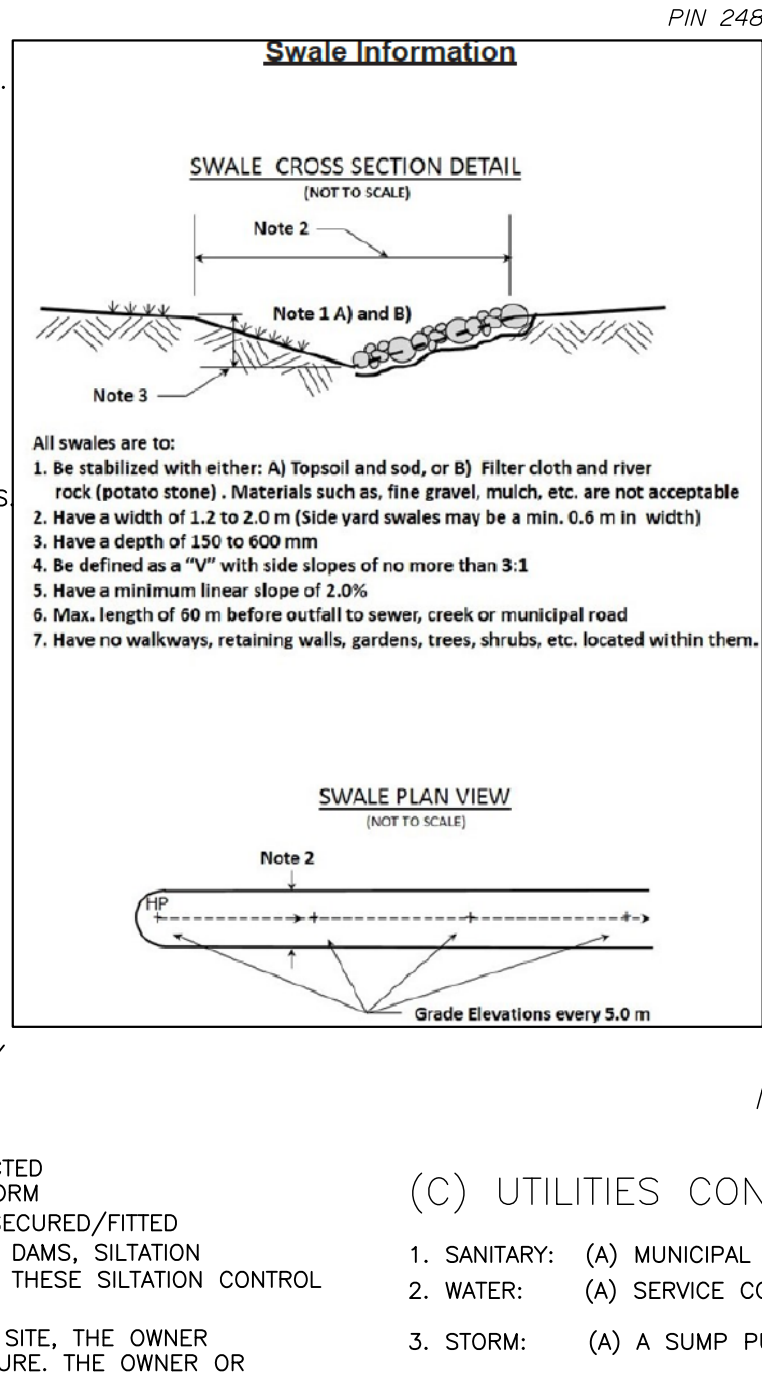
INFORMATION TAKEN FROM A SURVEY PREPARED BY J. H. GELBLOOM SURVEYING LTD. DATED: JANUARY 18, 2023. Includes a BENCHMARK note and a SURVEYOR'S CERTIFICATE.

AS PER OBC 9.14.6.1(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. Includes a signature block for J.H. Gelbloom Surveying Limited.



- (A) TRANSPORTATION AND WORKS DEPARTMENT 1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.

- (B) GENERAL NOTES 1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.



- EROSION AND SILTATION NOTES 1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE...

- (C) UTILITIES CONNECTION 1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.



NOTE: ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS.

NOTE: EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

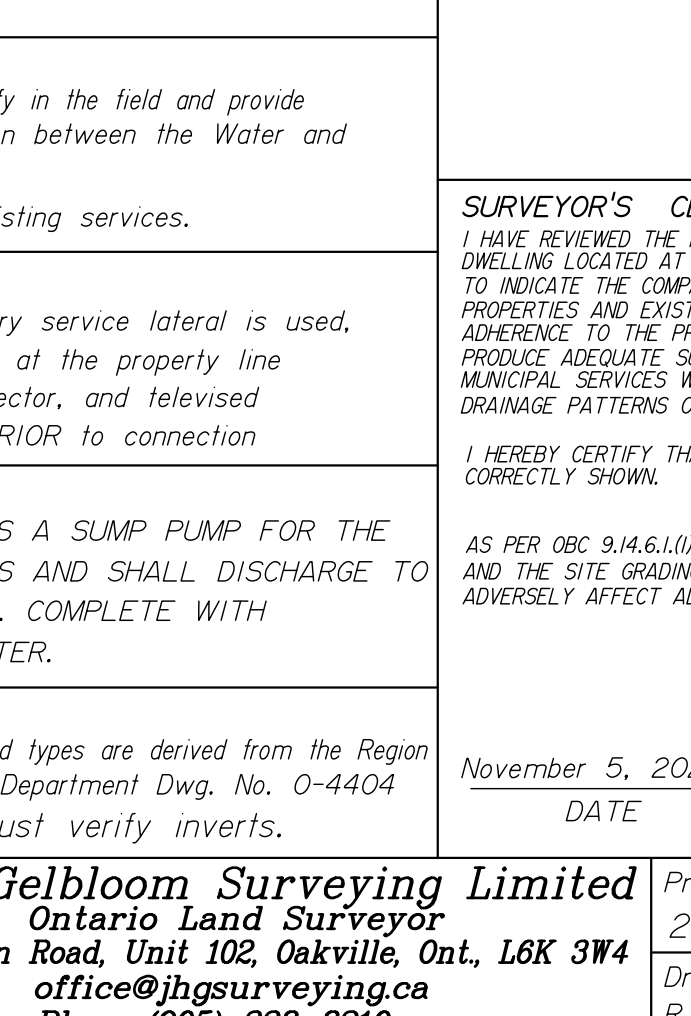
NOTE: ALL NEW WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

NOTE: DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

NOTE: ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN...

NOTE: Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

NOTE: If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector...



November 5, 2024

Committee of Adjustment – Planning Services

Town of Oakville, 1225 Trafalgar Road, Oakville. On. L6H 0H3

Attn: Heather McCrae, Secretary Treasurer

Project Address: 324 Spruce Street, Oakville, Ontario.

Carrothers and Associates Inc. are the consultants to Jeremy Hammond and Carolyn Best of the lands municipally known as 324 Spruce Street, Oakville, Ontario. On behalf of the owners, we are pleased to provide this submission letter to provide further information for item #10 on page 5 of the 2024 Minor Variance application.

1. Do the variance(s) meet the intent and purpose of the Official Plan?

The Subject Property is designated 'Low Density Residential' of the Livable Oakville Official Plan. The intent of the 'Low Density Residential' is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed dwelling has been designed to be complimentary with recent and existing development forms in the neighbourhood including similar features providing a high-quality character design. Given this, the proposal will provide a built form massing that will integrate with the established heritage neighbourhood and it's transitioning character. There are no natural heritage features on or adjacent to the subject property that will be adversely impacted by our proposal as the home will stay well within the required building setbacks and the building height is well within the Zoning regulations. The variance request represents a minor departure from what is currently permitted while meeting the general intent of the Official Plan.

2. Do the variance(s) meet the intent and purpose of the Zoning By-law?

The general purpose and intent of the Zoning By-Law is to implement the policies of the Official Plan through specific permissions and regulations. In our case RL3-0 SP:10 'Low Density Residential' regulates the maximum lot coverage to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding area and to mitigate any potential grading and drainage impacts from decreased permeability. It's important to note that although we are asking for an increase in lot coverage, our residential floor area remains under the maximum limit. The requested 25.96% lot coverage includes a front covered porch which By-Law 2014-014 requires to be included in the total area. In the case of the Subject lands, the proposed house footprint is 21.24% (143.2 square metres) and the front covered porch is 3.40% (23 square metres)

Being an integral part of the home design. The porch allows the roof slope to extend down to the main level helping provide a 1.5 storey appearance from Spruce Street. The porch compliments the heritage character of the neighbourhood streetscape while providing relief to the overall massing of the dwelling.

In addition to the house and porch - we are asking for 1.32% (8.9 square metres) of lot coverage for a future detached shed as the new dwelling does not have an attached garage and the owners will require there an area for garden tools and lawn maintenance items. In our opinion, the following request represents a minor departure from what meets the intent of the Zoning By-Law.

3. The variance(s) is desirable for the appropriate use of the land?

The approval of the requested variance will allow for the proposed development and reinvestment on the Subject lands which are in close proximity to transit and various Town amenities. It is my opinion that the new dwelling has been designed and will maintain compatibility with the surrounding area and will be in keeping with the current streetscape character and general massing. The variance will help facilitate additional living space without creating any excessive additional massing or negative impacts on any neighbouring properties.

4. The variance(s) is minor in nature:

The requested variance will permit the construction a custom home project on the Subject lands and represents a minor departure from what is currently permitted. The variance is consistent and compatible with the existing and transitioning community-built form character. The variance will allow for reinvestment to occur and will not adversely impact the adjoining properties or the surrounding neighbourhood. It is my opinion that the requested minor variance is minor in nature

Conclusion

It is my opinion that our requested variance satisfies the four tests of Section 45(1) of the Planning Act, is minor in nature and appropriate for the development and use of the lands and maintains the general intent and purpose of the Official Plan and Zoning By-Law.

Regards,



David Carrothers
Carrothers and Associates Inc.
905.574.1504 ext. 1



CARROTHERS AND ASSOCIATES INC.

505 York Boulevard, Unit 3
HAMILTON, ONTARIO L8R 3K4
P: 905-574-1504