

**SURVEYOR'S REAL PROPERTY REPORT - PART 1**

PLAN OF SURVEY OF  
**PART OF LOT C, BLOCK 16**  
**REGISTERED PLAN 1**  
**TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON  
 0 5 10 15 20 Metres

Scale 1:200

J. H. Gelbloom Surveying Limited  
 Ontario Land Surveyor 2024

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**SURVEYOR'S REAL PROPERTY REPORT - PART 2**

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY  
 None

**NOTABLES**  
 Note the location of the Fences around the Subject Property.

**LEGEND**

□	Survey Monument Set	N	North
■	Survey Monument Found	E	East
SIB	Standard Iron Bar	S	South
IB	Iron Bar	W	West
(1724)	McCannell and Maughan Ltd., O.L.S.	TOC	Top of Concrete
(950)	F. G. Cunningham O.L.S.	BF	Board Fence
(1808)	J. H. Gelbloom Ltd., O.L.S.		
(OU)	Origin Unknown		
(WIT)	Witness		
PI	Plan 20R-20256		
UGS	Unfinished Garage Sill Elevation		
SCP	Specified Control Point		

**BENCHMARK**  
 Elevations are Geodetic and are Referred to the Geodetic Surveys of Canada Benchmark No. 18 having an Elevation of 90.393 m.

**NOTE**  
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
 All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Craig Auwaerter and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
 BEARINGS ARE GRID, DERIVED FROM SPECIFIED CONTROL POINTS LISTED IN THE FOLLOWING TABLE, AND ARE REFERENCED TO THE CENTRAL MERIDIAN OF 6° UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (ORIG).

SPECIFIED CONTROL POINTS: UTM ZONE 17, NAD83 (ORIG).  
 COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
00119653145	4 810 478.250	608 001.415
04519910016	4 812 799.242	609 426.602
00819830507	4 812 448.026	606 736.355

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Distances shown on this plan are Ground Distances and can be converted to Grid Distances by Multiplying the Combined Scale Factor of 0.999737.

**SURVEYOR'S CERTIFICATE**

I certify that:  
 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
 2: The survey was completed on the 29th day of January, 2024.

May 16, 2024  
 Date

Andrew Musil, O.L.S.

Party Chief:	Drawn By:	Checked By:	Project:
D.L.	N.A.	A.M.	23-134

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-69429



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

**J. H. Gelbloom Surveying Limited**  
 Ontario Land Surveyor  
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
 office@jhsurveying.ca  
 Phone:(905) 338-8210



**STRUCTURAL NOTES**

- AN ALLOWABLE SOIL BEARING CAPACITY OF 75 KPa (1550 psf) HAS BEEN USED FOR THE DESIGN OF FOUNDATIONS. THE ALLOWABLE SOIL BEARING CAPACITY SHALL BE SITE VERIFIED BY A CERTIFIED SOILS ENGINEER AT THE UNDERSIDE OF FOOTINGS PRIOR TO POURING CONCRETE.
- CONTRACTOR IS TO NOTIFY ENGINEER OF COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR IS TO NOTIFY ENGINEER 48 HOURS PRIOR TO FIRST FOUNDATION WALL POUR FOR REBAR INSPECTION.
- CONTRACTOR IS TO CONTACT ENGINEER FOR FINAL FRAMING INSPECTION.
- CONTRACTOR IS TO PROVIDE ADEQUATE SHORING DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS.
- ALL TIMBER TO BE SPF #2 OR BETTER. ROOF TRUSS LATERAL DEFLECTION NOT TO EXCEED 1/4".
- ALL ENGINEERED LUMBER TO BE GRADE 2.0e PSL OR LVL (EXCEPT WHERE NOTED).
- ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL CONFORM TO CSA G40.21-92.
- ALL REINFORCING STEEL TO BE GRADE 400 MPa AND SHALL CONFORM TO CSA-G30.18-M92.
- CONCRETE FOR FOOTINGS AND FOUNDATION WALLS:  $f'_c = 25$  MPA AT 28 DAYS, SLUMP 75 MM (3"), AIR CONTENT IN CONCRETE EXPOSED TO WEATHER 3%-6%.
- ALL TIMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED, INCLUDING STRUCTURAL TIMBER WITHIN EXTERIOR COLUMNS.
- ALL STEEL EXPOSED TO THE EXTERIOR IS TO BE HOT DIPPED GALVANIZED.
- ARCHITECT TO CONFIRM FLUSH AND DROPPED BEAMS (ALL BEAMS FLUSH UNLESS OTHERWISE NOTED). PROVIDE SADDLE FOR WOOD BEAMS WHICH BEAR ONTO OR INTO STEEL COLUMNS W/ 2-1/2" THROUGH BOLTS.
- PROVIDE AND CONNECT A 2"x6" WOOD TOP PLATE TO THE TOP OF ALL STEEL BEAMS AND FASTEN WITH 1/2" DIAMETER THROUGH BOLT @ 2'-0" o/c STAGGERED IN PRE-DRILLED HOLES. IF USING SIDE MOUNTED HANGERS, FILL WEB OF STEEL BEAM WITH 2"x MEMBERS TO CLEAR FLANGE AND FASTEN TO BEAM WEB USING 1/2" THROUGH BOLT @ 2'-0" o/c.
- ENGINEER JOIST AND BEAM SHOP DRAWINGS (STAMPED BY P. ENG.) WHICH INCLUDE SPECS FOR ALL REQUIRED JOIST AND BEAM HANGERS ARE TO BE PROVIDED TO ENGINEER FOR REVIEW.
- DESIGN LOADS:  
GROUND AND SECOND FLOOR LIVE LOADS = 40 PSF. ROOF SNOW LOAD = 25 PSF.  
GROUND AND SECOND FLOOR DEAD LOADS = 15 PSF. ROOF DEAD LOAD = 15 PSF.  
TERRACE/BALCONY LIVE LOAD = 40 PSF. CEILING LIVE LOAD = 7 PSF.  
TERRACE/BALCONY DEAD LOAD = 12 PSF. CEILING DEAD LOAD = 5 PSF.  
DEAD LOAD FOR ALL TILED AREAS = 20 psf
- ROOF SHEATHING TO BE 1/2" PLYWOOD MIN. W/ H-CLIPS.
- FLOOR SHEATHING TO BE 3/4" PLYWOOD MIN. T&G, GLUED AND SCREWED.
- PROVIDE DOUBLE JOISTS (D.J.) BELOW WALLS WHICH ARE NON-BEARING AND PARALLEL TO SAID JOISTS.
- PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO SAID JOISTS.
- FLOOR JOIST SCHEDULE**  
TJI JOISTS HAVE BEEN DESIGNED FOR A DIRECT APPLIED GYPSUM CEILING TO THEIR BOTTOM CHORDS PLUS SOLID BLOCKING OR BRIDGING AT 8'-0" O.C. MAX.  
FJ-2= 9 1/2" TJI-S31 @ 16" o.c.  
FJ-3= 9 1/2" TJI-S33 @ 12" o.c.  
FJ-4= EXISTING 2"x8" @ 16"+ NEW 9 1/2" TJI-S31 @ 16" o.c.  
FJ-5= 2"x8" @ 16"
- TIMBER BEAM SCHEDULE**  
2B8=2-2x8  
3B8=3-2x8  
2B9=2 PLY 1 1/2"x9 1/2" 2.0e PSL  
3B9=3 PLY 1 1/2"x9 1/2" 2.0e PSL  
4B9=4 PLY 1 1/2"x9 1/2" 2.0e PSL  
2B10=2-2x10  
3B10=3-2x10  
2B11=2 PLY 1 1/2"x11 1/2" 2.0e PSL  
3B11=3 PLY 1 1/2"x11 1/2" 2.0e PSL  
4B11=4 PLY 1 1/2"x11 1/2" 2.0e PSL  
2B12=2-2x12  
3B12=3-2x12
- TIMBER LINTEL SCHEDULE**  
3L6=3-2x6  
2L8=2-2x8  
3L8=3-2x8  
2L9=2 PLY 1 1/2"x9 1/2" 2.0e PSL  
3L9=3 PLY 1 1/2"x9 1/2" 2.0e PSL  
2L10=2-2x10  
3L10=3-2x10  
2L11=2 PLY 1 1/2"x11 1/2" 2.0e PSL  
3L11=3 PLY 1 1/2"x11 1/2" 2.0e PSL  
3L12=3-2x12
- TYPICAL BEARING WALL IS 2"x6" @ 12" O.C.
- POST SCHEDULE:  
P2: 2-2"x6"  
P3: 3-2"x6"  
P4: 4-2"x6"  
P5: 5-2"x6"
- COLUMN SCHEDULE:  
C1: HSS 3.5" x 0.25" PLUS 6"x3/8"x8" CAP PLATE W/ 4- 1/2" BOLTS AND 6"x3/8"x8" BASE PLATE W/ 2- 1/2" A.BOLTS.  
C2: HSS 4"x4"x0.313" COLUMN PLUS 8"x3/4"x8" CAP PLATE W/ 4- 1/2" BOLTS AND 10"x8"x10" BASE PLATE W/ 4-5/8" A.BOLTS.  
C3: HSS 5"x5"x0.25" COLUMN PLUS 8"x3/4"x8" CAP PLATE 12"x8"x12" BASE PLATE W/ 4-5/8" A.BOLTS.
- WHERE STEEL BEAMS ARE NOTED AS CONTINUOUS OVER INTERMEDIATE COLUMNS, PROVIDE A 3/8" THICK WEB STIFFENER PLATE ON BOTH SIDES OF THE BEAM WEB (DIRECTLY OVER THE COLUMNS).
- 10" (OR 12" THICK - SEE PLAN AND SECTIONS) BASEMENT CONCRETE WALLS NOT EXCEEDING 8'-2" (2500) IN UNSUPPORTED HEIGHT WITH A MAXIMUM HEIGHT OF FINISH GRADE ABOVE THE BASEMENT FLOOR NOT EXCEEDING 7'-7" (2300) CAN BE CONSTRUCTED OF UNREINFORCED CONCRETE. POURED CONCRETE FOUNDATION WALLS, 25 MPA AT 28 DAYS, WITH A MAXIMUM HEIGHT OF 10'-8" (3200MM) IN UNSUPPORTED HEIGHT WILL REQUIRE THE FOLLOWING REINFORCING (DOWELS FROM FOOTINGS TO WALLS SHALL MATCH THE SIZE & SPACING OF WALL REINFORCING):  
15M @ 16" O.C. V.I.F. (V.I.F. = VERTICAL INSIDE FACE)  
15M @ 16" O.C. H.I.F. (H.I.F. = HORIZONTAL INSIDE FACE)
- PROVIDE 2-15M VERT. FULL HEIGHT ON EITHER SIDE OF BASEMENT WINDOW 4'-0" IN WIDTH OR GREATER.
- TYPICAL EXTERIOR STRIP FOOTING TO BE 24"x8" DP. W/ 2-15M CONTINUOUS U/N OTHERWISE
- TYPICAL INTERIOR STRIP FOOTING TO BE 20"x8" DP. W/ 2-15M CONTINUOUS U/N OTHERWISE  
F1-1: 48"x48"x16" THICK  
F1-2: 36"x36"x15" THICK  
F1-3: 66"x66"x30" THICK  
F1-4: 72"x72"x33" THICK
- TYP. FIREPLACE FOOTING: 12" DEEP WITH 12" PROJECTION AROUND BASE REINFORCED WITH 15M @ 12" O.C. TOP AND BOTTOM EACH WAY.
- PROVIDE 4'-0" MINIMUM FROST COVER FOR ALL EXTERIOR FOOTINGS.
- STRUCTURAL SLAB "S1" DENOTES 6" THICK 32 MPa, 6%-8% AIR ENTRAINMENT CONCRETE REINFORCED WITH 10MB8" BOTTOM EACH WAY + 10MB18" TOP DOWELS ALL AROUND.  
STRUCTURAL SLAB S2 DENOTES 8" THICK 32 MPa, 4%-8% AIR ENTRAINMENT CONCRETE REINFORCED WITH 20MB12" BOTTOM LOWER LAYER (SHORT DIRECTION) AND 15MB12" BOTTOM UPPER LAYER (LONG DIRECTION) + 10MB18" TOP DOWELS ALL AROUND.
- FOR ALL STEEL BEAMS BEARING ON CONCRETE WALL, PROVIDE A 6"x3/8"x10" WALL PLATE W/ 2-1/2" ANCHOR BOLTS.
- LOOSE LINTELS:  
L1: L3.5"x3.5"x1/4" UP TO 3'-11" (4" BEARING).  
L2: L3"x3.5"x3/16" UP TO 5'-11" (6" BEARING).  
L3: L3"x3.5"x3/16" UP TO 7'-10" (8" BEARING).  
L4: L3"x4"x3/8" UP TO 9'-10" (8" BEARING).

**NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140**

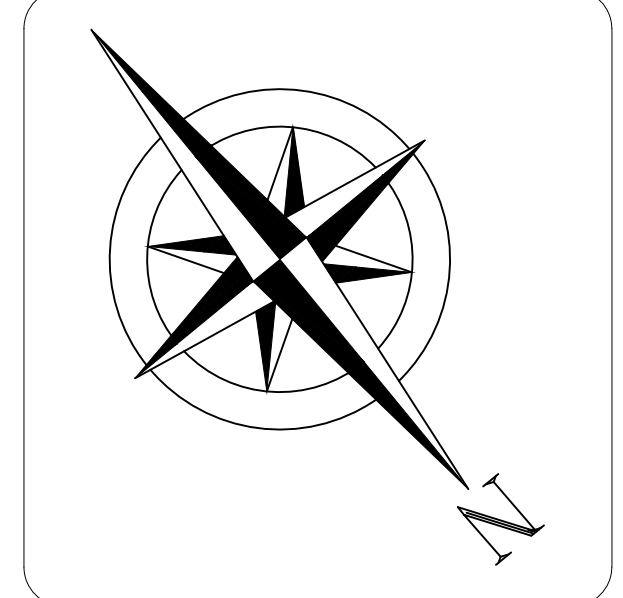
**JRCP  
DESIGNS INC.**  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
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**GENERAL NOTES:**  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ADJUST END WALLS AS PER CLIENTS REQUEST SEE BUBBLES	DEC 07 2023
06	ADDED COLD ROOM	DEC 18 2023
07	ISSUED FOR CLIENT REVIEW	DEC 20 2023
08	ISSUED FOR STL. SUPPLIER	JAN 29 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE: **FOUNDATION PLAN**

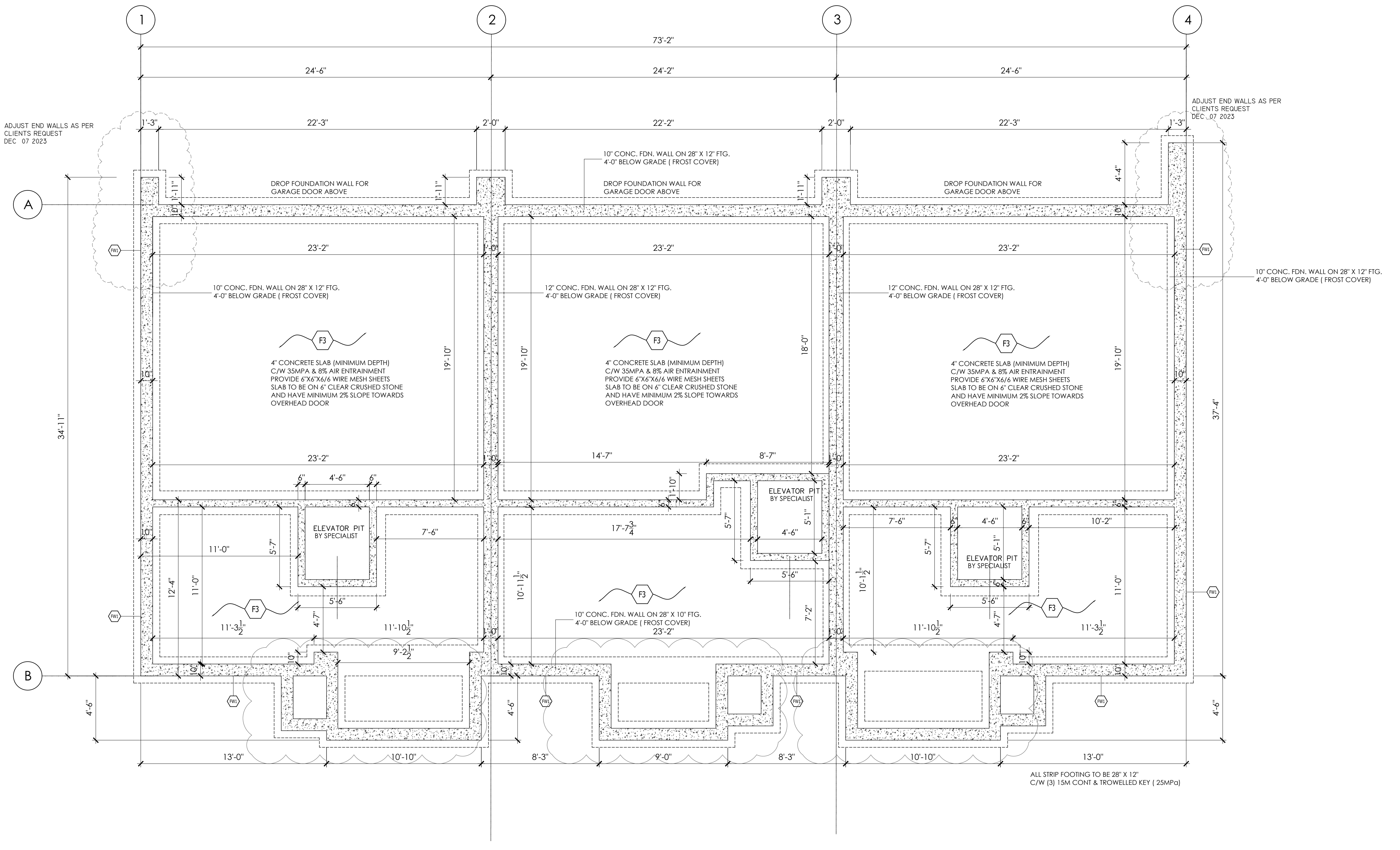
DATE: MAY 30 2022

DESIGNED BY:

DRAWN BY:

SHEET NO. **A-1.1**

SCALE: NOTED



**FOUNDATION PLAN**  
1/4" = 1'-0"

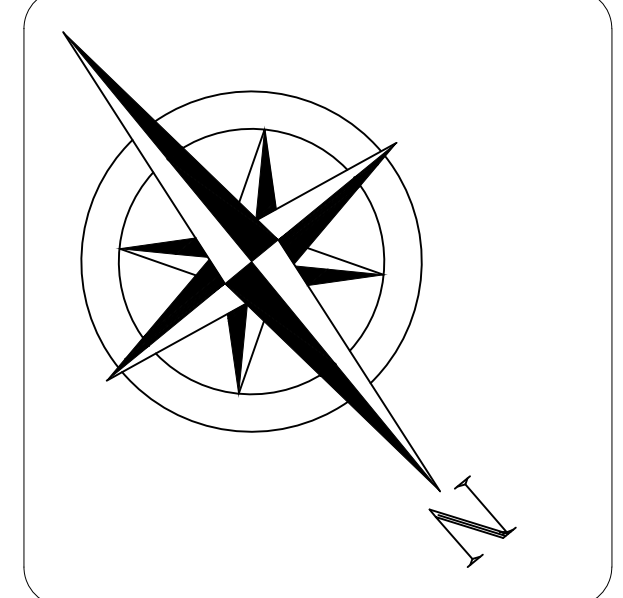
<p><b>DAMPPOOFING INTERIOR WALLS</b> O.B.C. 9.13.2.6 WHERE AN INTERIOR FINISH IS APPLIED TO FOUNDATION WALLS THE INTERIOR SURFACE OF THE WALL SHALL BE DAMPPOOFED BELOW GROUND LEVEL.</p>	<p>9.9.10.1 EGRESS WINDOWS OR DOORS FOR BEDROOMS (1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT: A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 m<sup>2</sup> (3.8 FT<sup>2</sup>) WITH NO DIMENSION LESS THAN 380mm (15 IN) AND C) MAINTAINS THE REQUIRED OPENING DESCRIBED IN CLAUSE (B) WITHOUT THE NEED FOR ADDITIONAL SUPPORT (2) EXCEPT FOR BASEMENT AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1000mm (3FT 5IN) ABOVE THE FLOOR. (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW</p>	<p>SB-12. 3.1.1.1.2 DRAIN WATER HEAT RECOVERY A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN A DWELLING UNIT. IN AN UPRIGHT POSITION THAT DOES NOT DIVERGE MORE THAN 5 DEGREES FROM THE VERTICAL IN A POSITION SUCH THAT THE COLD WATER INLET CONNECTION IS AT THE BOTTOM OF THE UNIT. DOWNS TREAM OF A WATER SOFTENER WHERE A WATER SOFTENER IS INSTALLED AND IN A CONDITIONED SPACE OR ON THE WARM SIDE OF THE DEWPOINT OF THE WALL ASSEMBLY</p>	<p>WINDOW WELL GREAT THAN 0.6M (2'-0") DEEP SHALL BE PROTECTED WITH A GUARD OR GRATE O.B.C. 9.1.6. 6.3 WINDOW WELLS SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION</p>	<p>9.7.1.4 WINDOW OPENING INTO A WINDOW WELL (1) WHERE A WINDOW REQUIRED IN ARTICLE 9.7.1.3 OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 550MM SHALL BE PROVIDED IN FRONT OF THE WINDOW. (2) WHERE THE SASH OF A WINDOW REFERRED TO IN SENTENCE (1) SWINGS TOWARDS THE WINDOW WELL, THE OPERATION OF THE SASH SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD RESTRICT ESCAPE IN AN EMERGENCY</p>	<p>ALL WINDOW MECHANICAL SYSTEM EFFICIENCIES AND THERMAL INSULATION LEVELS ARE TO COMPLY WITH THE APPROVED EEDS FORM.</p>	<p>SEE SEPARATE HVAC DRAWINGS FOR ALL HVAC APPROVAL INFORMATION, REVIEW NOTES AND RELATED COMMENTS</p>	<p>FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY</p>
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**THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**

GENERAL NOTES:  
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THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
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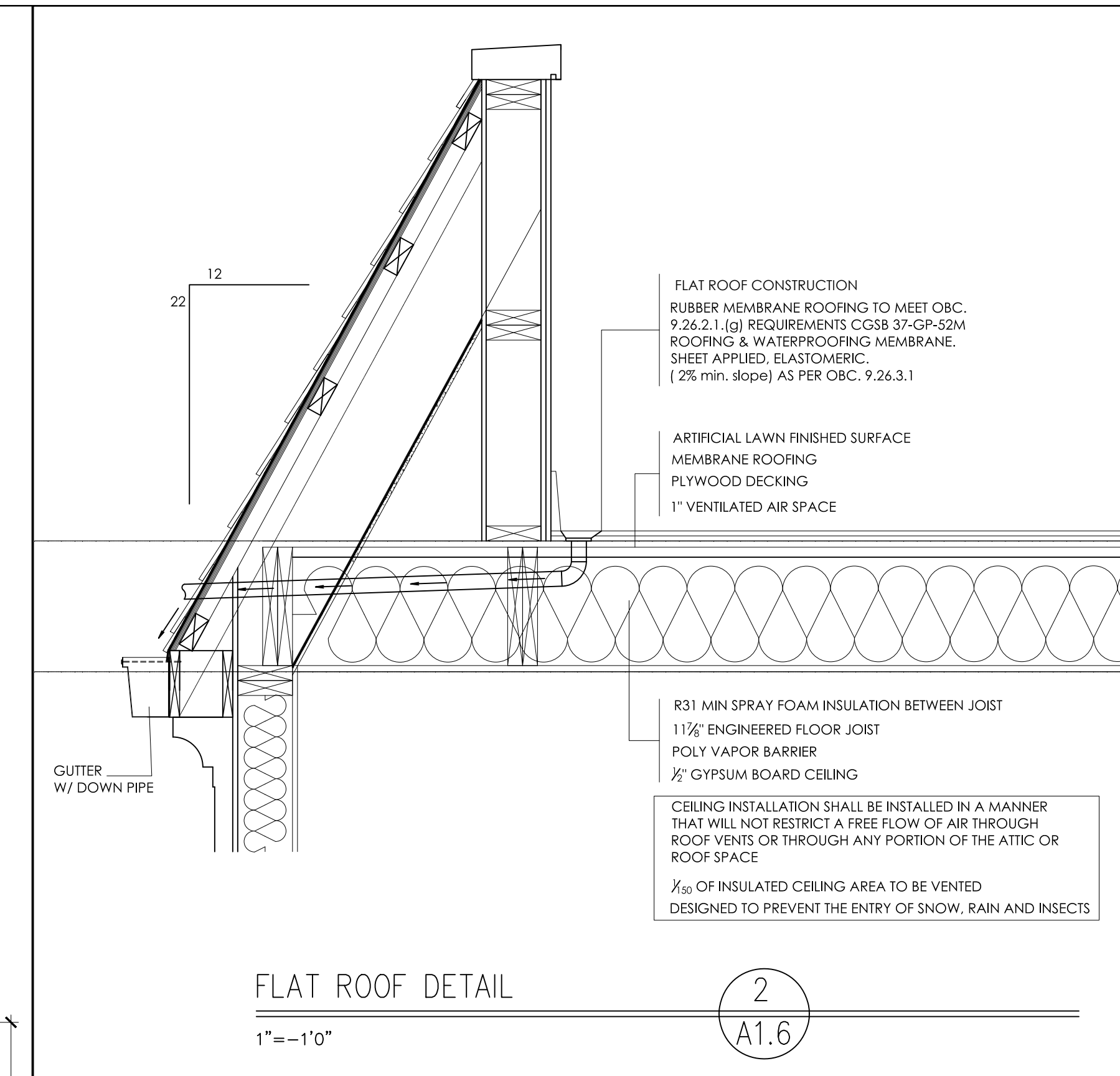


SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE	SHEET NO.
<b>ROOF PLAN</b>	<b>A-1.6</b>
DATE	MAY 30 2022
DESIGNED BY:	SCALE
DRAWN BY:	NOTED



**NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140**

PARTY WALL STC RATING TO BE AT LEAST 50  
PARTY WALL FIRE SEPARATION RATING = 1 HOUR

FIRE SEPARATIONS  
ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE 1" FIRE RATED SYSTEM TESTED TO TEST METHOD CANA-SIS.

9.10.8.3 RATING OF SUPPORTING CONSTRUCTION  
ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY

9.10.9.6. PENETRATION OF FIRE SEPARATIONS  
(1) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

ROOF VENTING OBC 9.19.1.3  
PROVIDE MIN. 63MM (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE

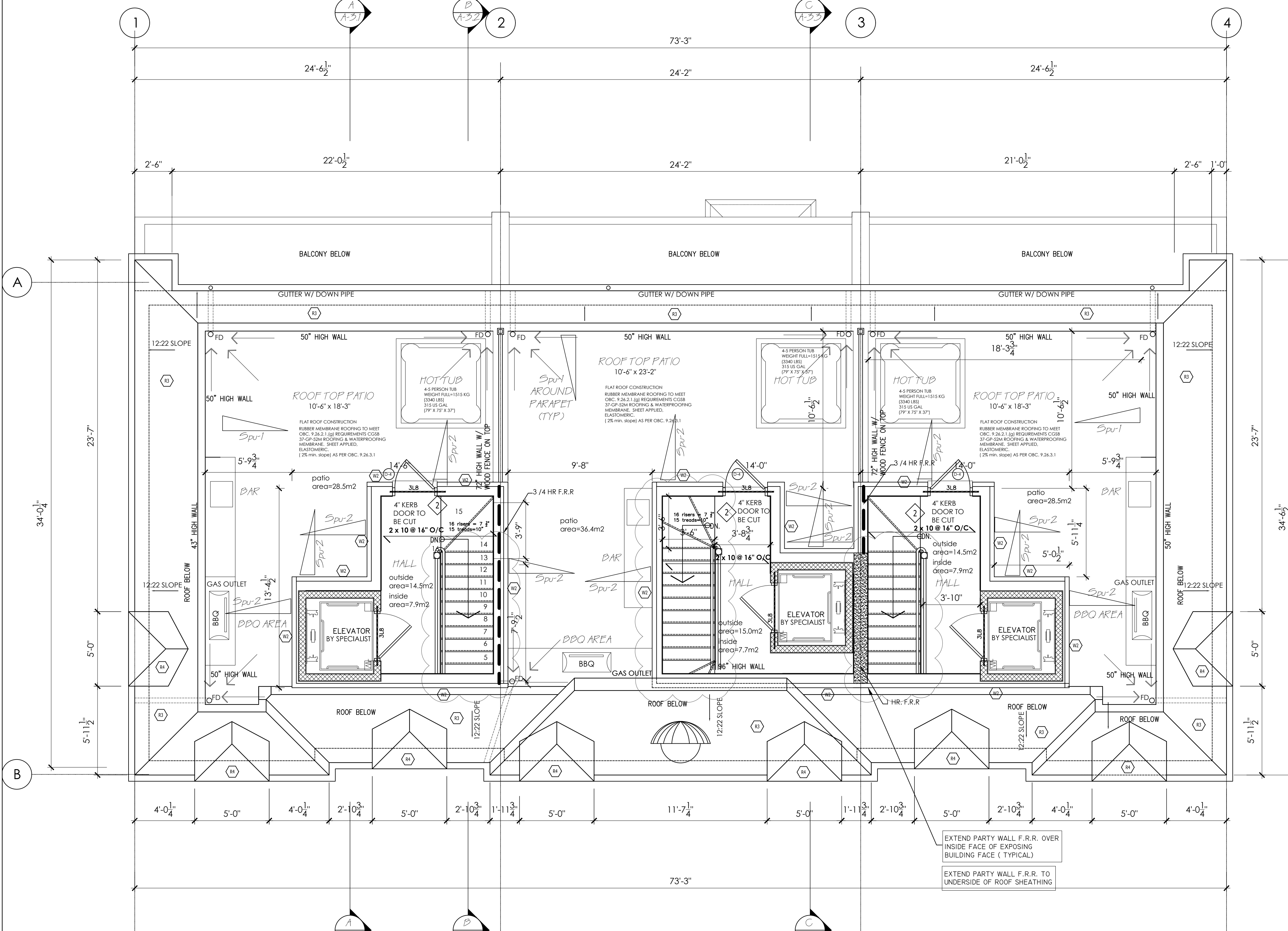
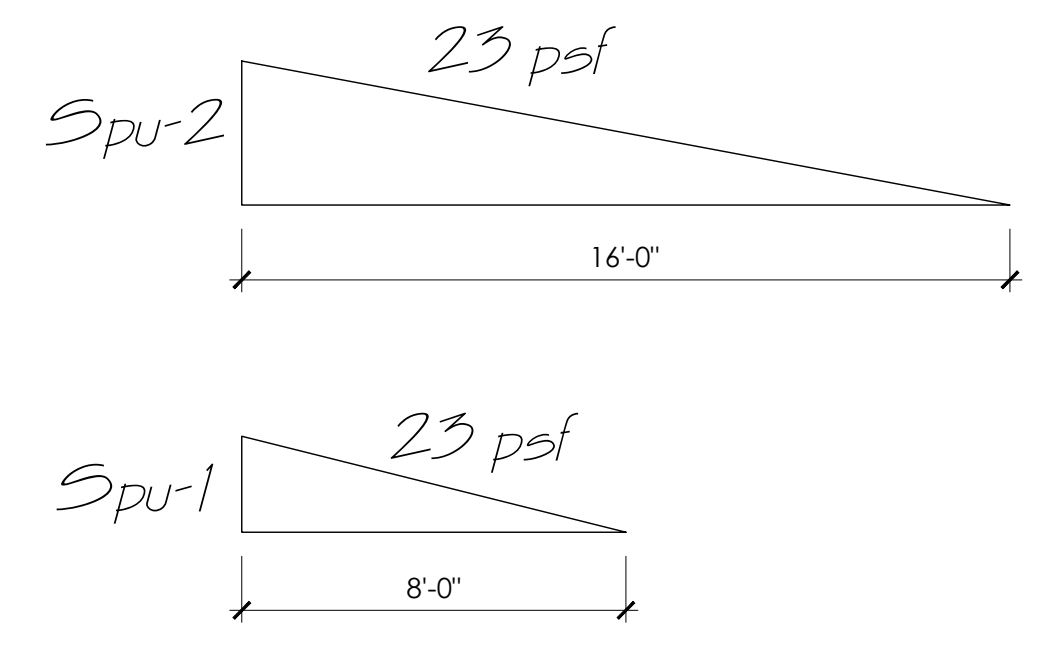
ROOF SPACE VENTING OBC 9.19.1.2(2)  
ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/8 OF THE INSULATED CEILING AREA

ROOF SPACE VENTING OBC 9.19.1.2(3)  
REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, LEAVE TYPE, GABLE END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE

FLASHING AT INTERSECTIONS OBC 9.26.4  
FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



**UNIT-1  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))**

**UNIT-2  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))**

**UNIT-3  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))**

ROOF PLAN  
1/4" = 1'-0"

NO CHANGES TO DRAWINGS  
 NEW PERMIT APPLICATION  
 TO REPLACE ORIGINAL ISSUED  
 PERMIT # 15-1138, 15-1139 & 15-1140

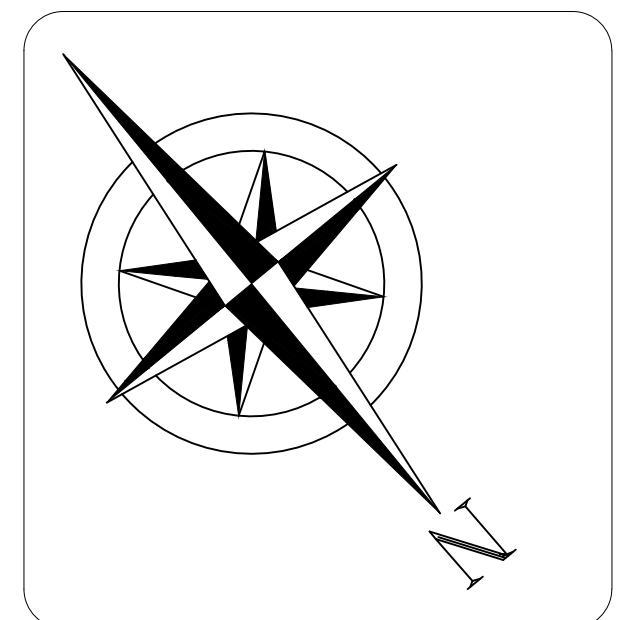
**JRCP**  
**DESIGNS INC.**  
 ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
 (416) 655-0245  
 email: jrpedesigns@yahoo.ca  
 www: jrpedesigns.com

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 ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
 ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

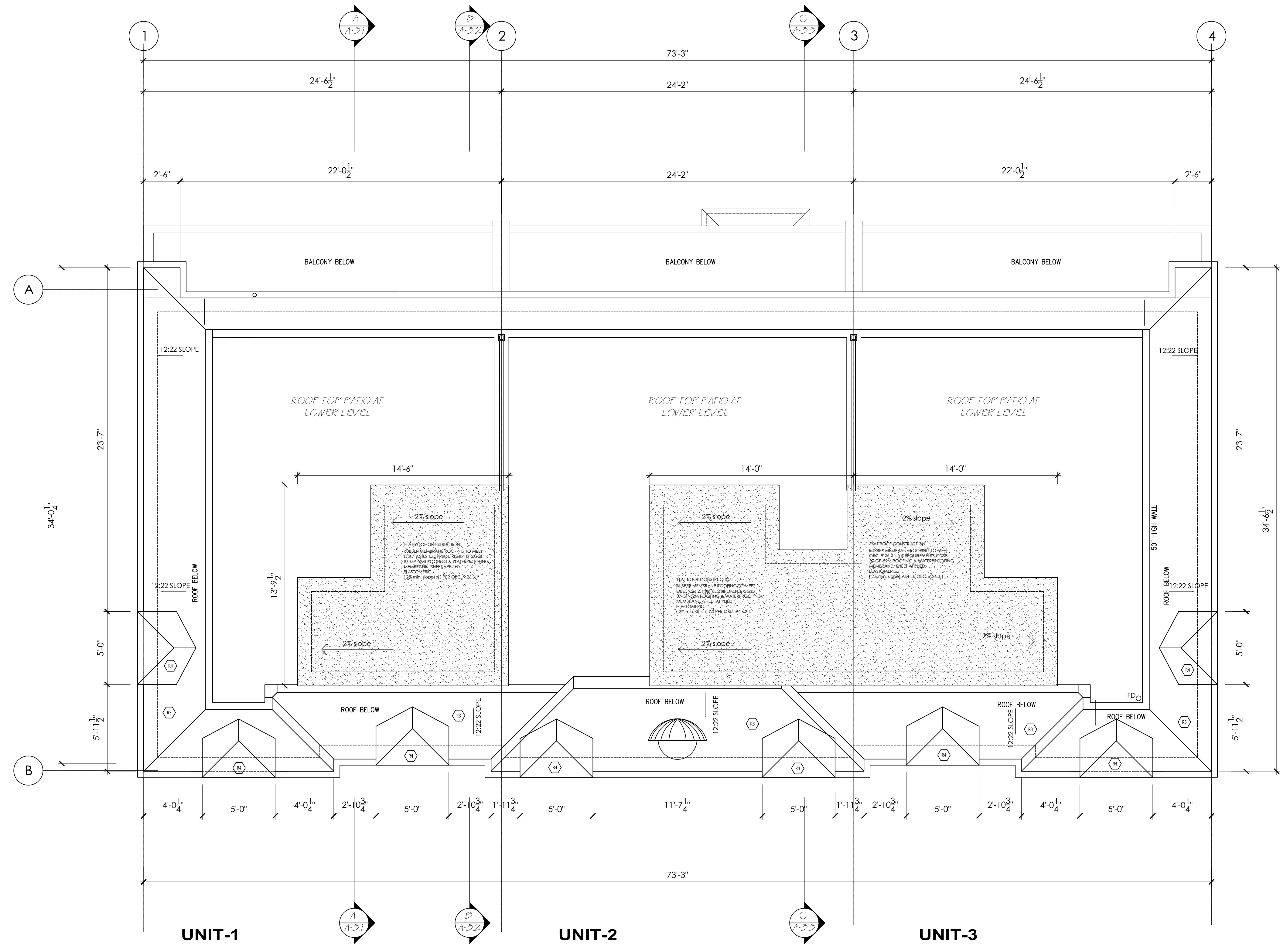
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>ROOF PLAN</b>	SHEET NO. <b>A-1.7</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



ROOF PLAN ( AT TOP OF ELEVATOR SHAFT) 1  
 1/4" = 1'-0" A1.7

FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

**JRCP**  
DESIGNS INC.  
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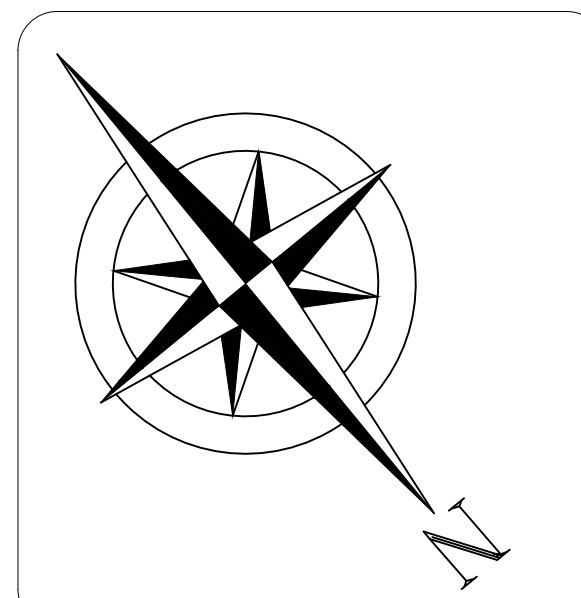
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08	ISSUED FOR CLIENT REVIEW	FEB 01 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>EAST ELEVATION</b>	SHEET NO. <b>A-2.1</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



EAST ELEVATION (TRAFALGAR ROAD)

1  
A2.1

1/4" = 1'0"

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

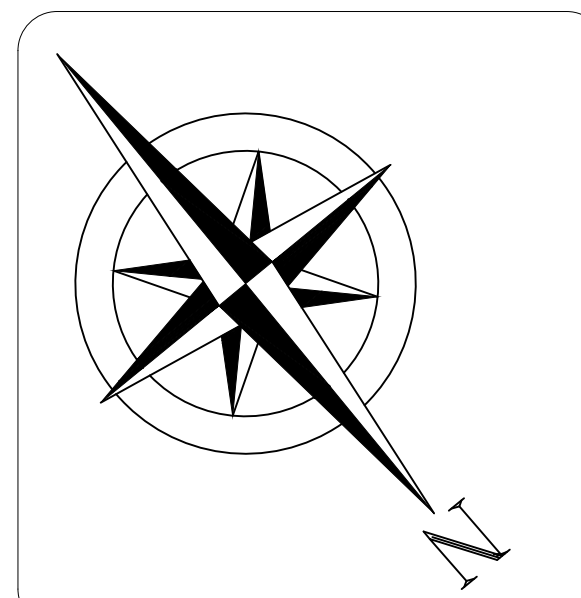
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ASSUME SOIL BEARING CAPACITY OF 75 KPA

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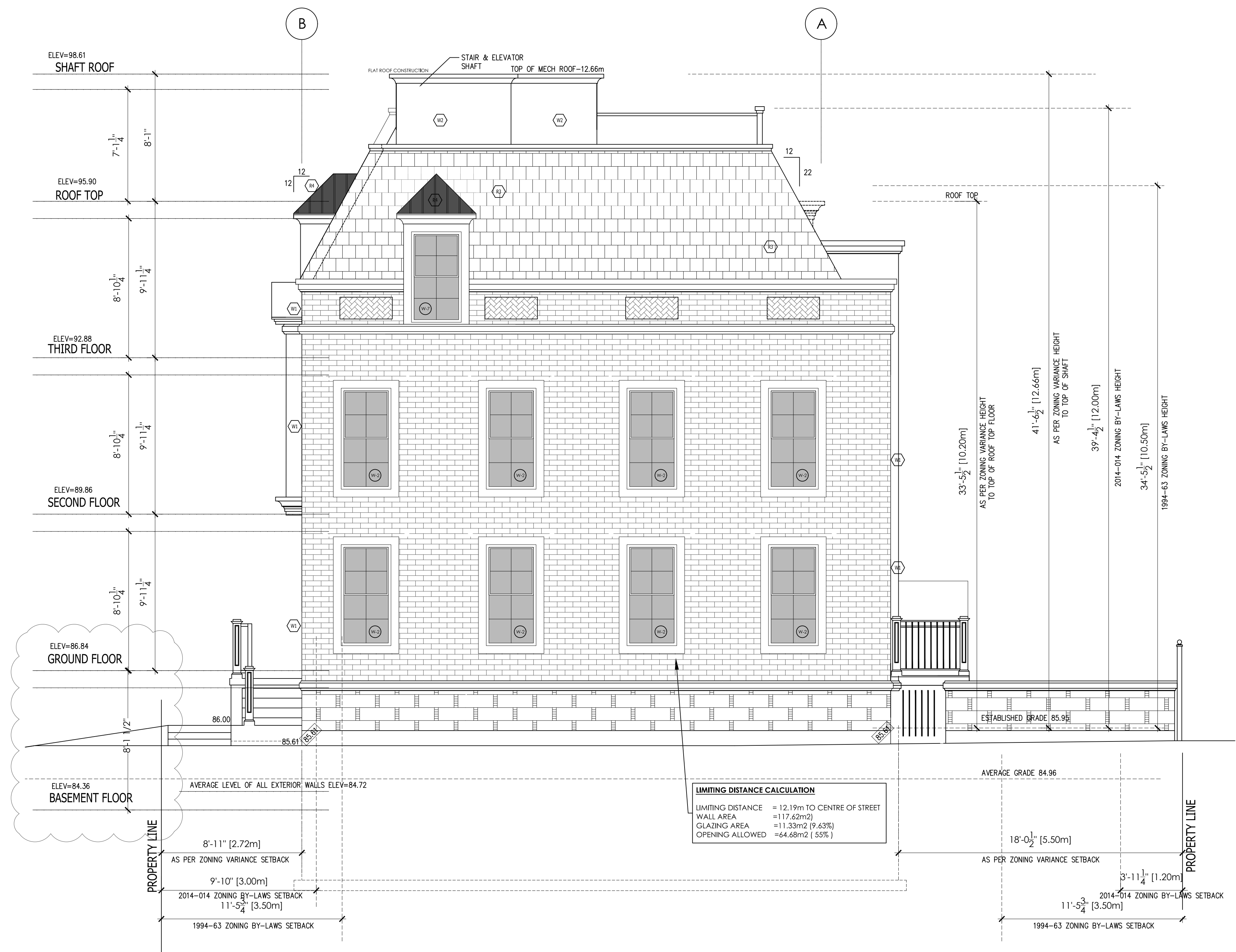


SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**  
  
SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>NORTH ELEVATION</b>	SHEET NO. <b>A-2.2</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



NORTH ELEVATION (ROBINSON STREET)

1/4" = 1'0"

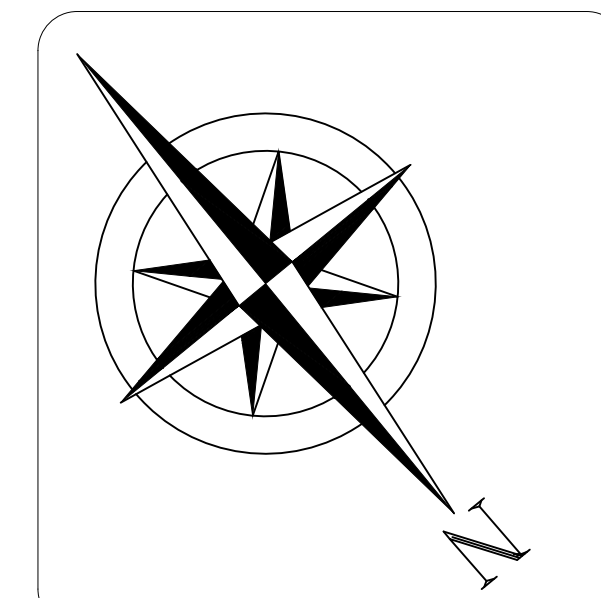
1  
A.2.2

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ASSUME SOIL BEARING CAPACITY OF 75 KPA

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08	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:

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**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE  
**WEST ELEVATION**

SHEET NO.

**A-2.3**

DATE

MAY 30 2022

DESIGNED BY:

SCALE

DRAWN BY:

NOTED

**THE STRUCTURE HAS BEEN DESIGNED  
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OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**



WEST ELEVATION (REAR)

1  
A.2.3

1/4" = 1'0"



NO CHANGES TO DRAWINGS  
 NEW PERMIT APPLICATION  
 TO REPLACE ORIGINAL ISSUED  
 PERMIT # 15-1138, 15-1139 & 15-1140

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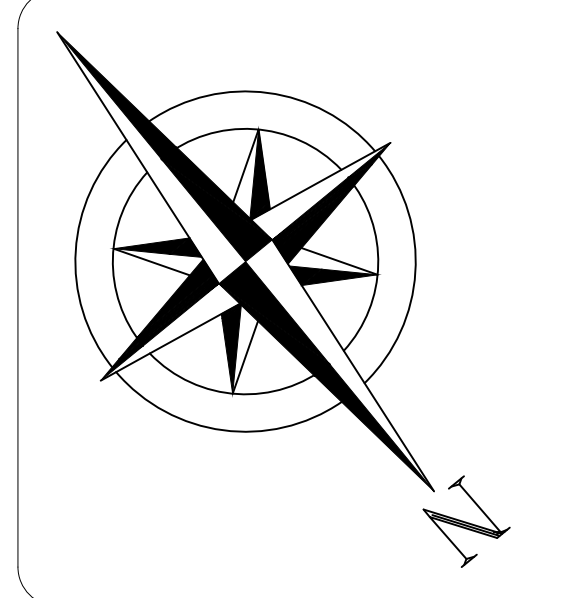
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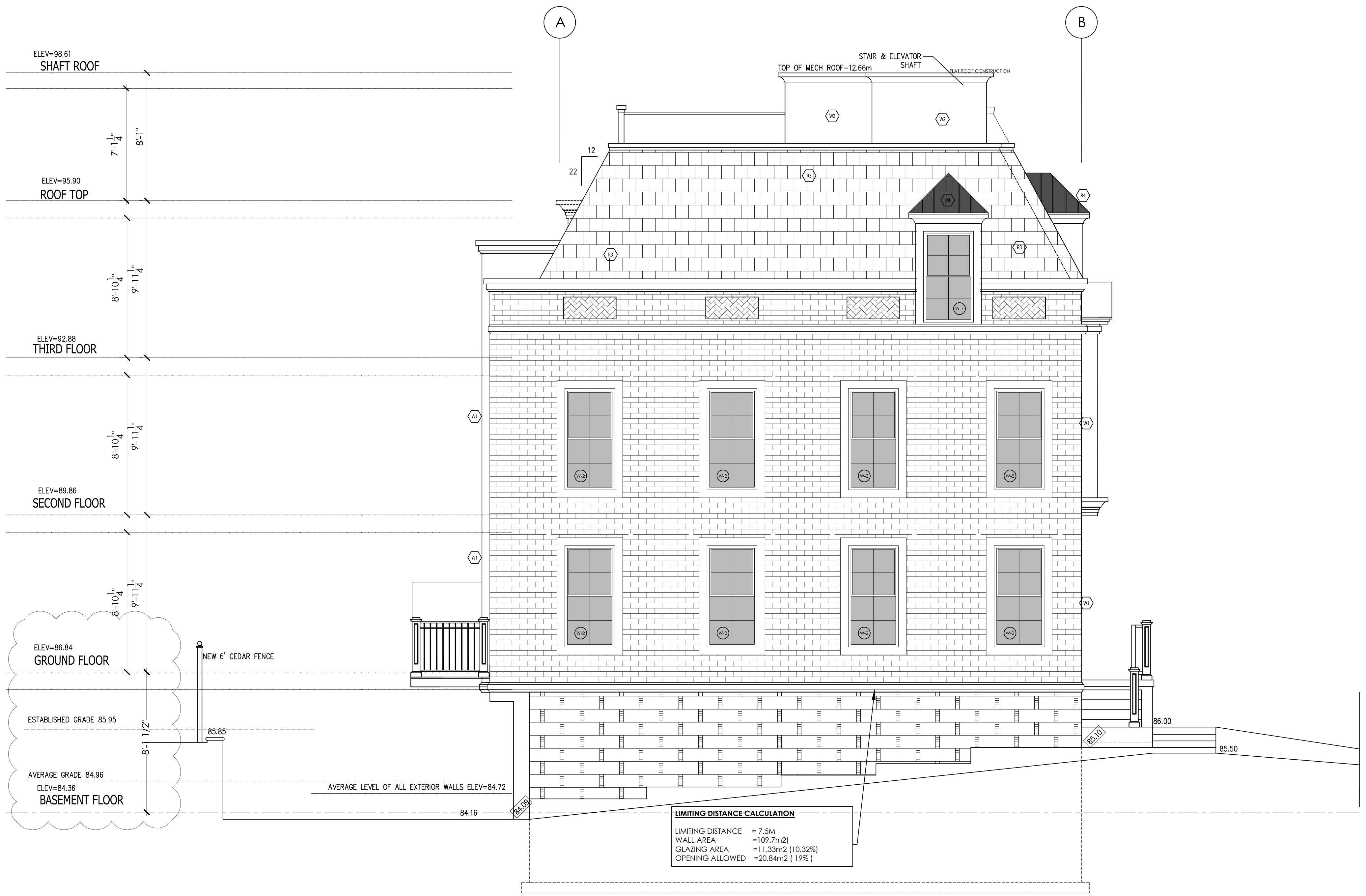
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PROJECT NAME AND ADDRESS:  
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**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>SOUTH ELEVATION</b>	SHEET NO. <b>A-2.4</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

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SOUTH ELEVATION (INTERIOR SIDE) 1  
 1/4" = 1'0" A2.4

NO CHANGES TO DRAWINGS  
 NEW PERMIT APPLICATION  
 TO REPLACE ORIGINAL ISSUED  
 PERMIT # 15-1138, 15-1139 & 15-1140

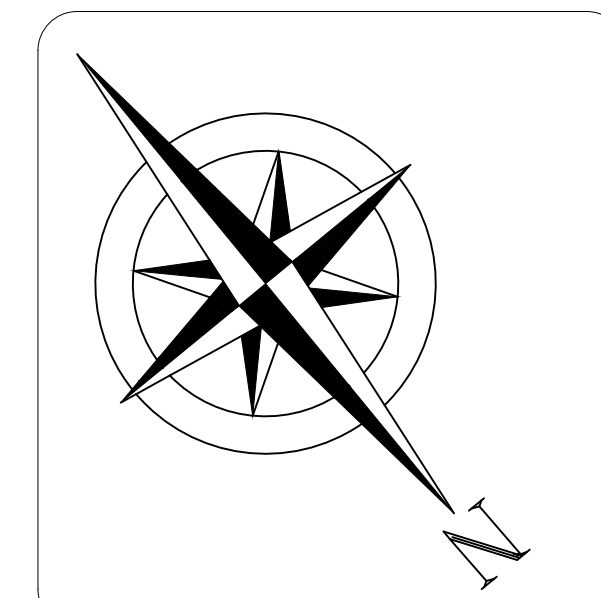
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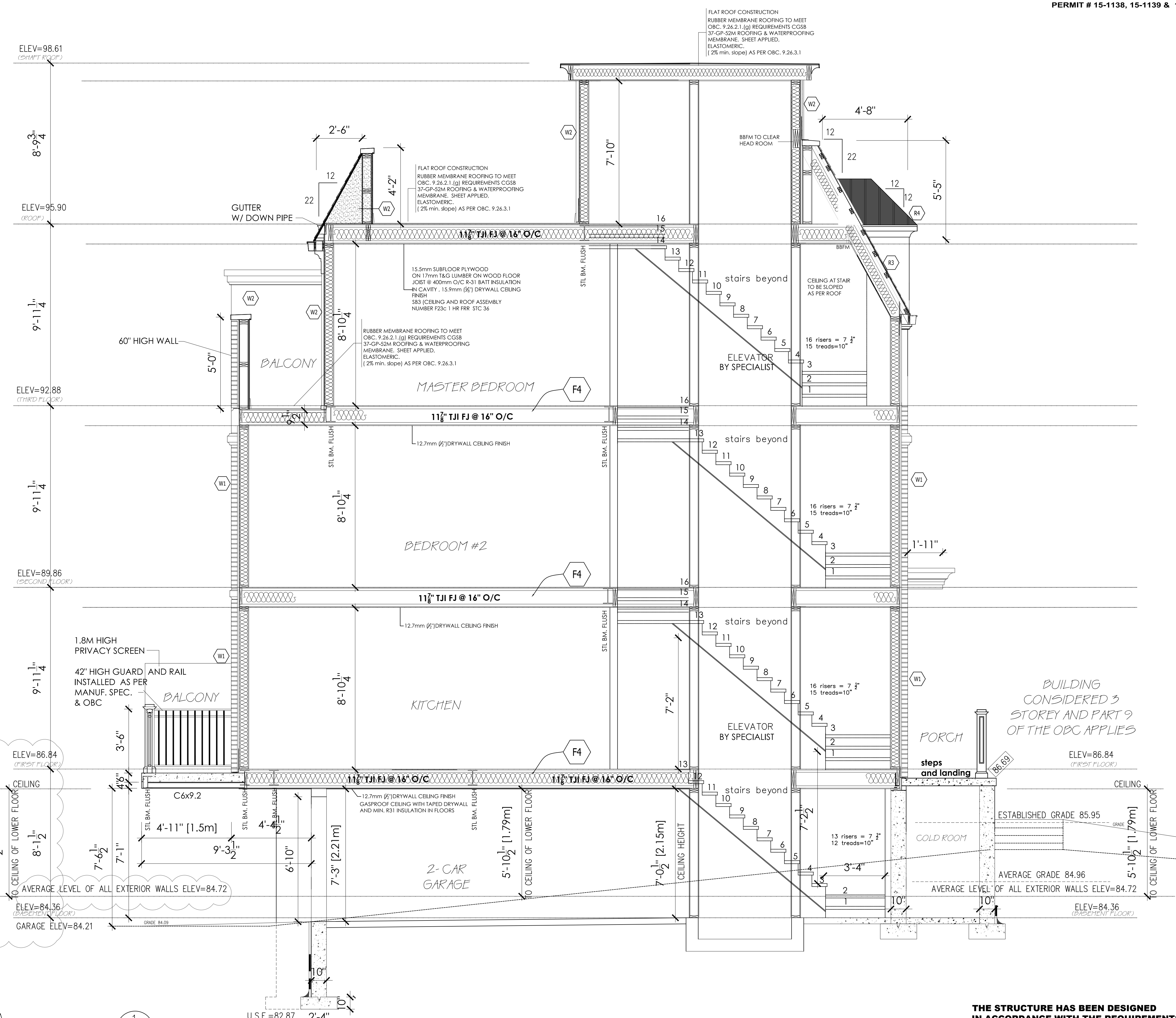
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PROJECT NAME AND ADDRESS:  
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 78-80-82 TRAFALGAR RD.  
 OAKVILLE, ON.  
 (PROPOSED 78, 80 & 82 TRAFALGAR RD.)

SCOPE OF WORKS:  
 NEW BUILD CONSTRUCTION

DRAWINGS TITLE	SHEET NO.
SECTION A-A	<b>A-3.1</b>
DATE	MAY 30 2022
DESIGNED BY:	SCALE
DRAWN BY:	NOTED

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



SECTION A-A  
 3/8" = -1'0"  
 1  
 A3.1

- PARTY WALL STC RATING TO BE AT LEAST 50
- ROOF VENTING OBC 9.19.1.3 PROVIDE MIN. 63mm (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE
- PARTY WALL FIRE SEPARATION RATING = 1 HOUR
- ROOF SPACE VENTING OBC 9.19.1.2(2) ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/6 OF THE INSULATED CEILING AREA
- FIRE SEPARATIONS ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "T" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-2-SIS.
- ROOF SPACE VENTING OBC 9.19.1.2(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, LEAVE TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE
- 9.10.8.3 RATING OF SUPPORTING CONSTRUCTION ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY
- FLASHING AT INTERSECTIONS OBC 9.26.4 FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY
- 9.10.9.6 PENETRATION OF FIRE SEPARATIONS (I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL, OUTLET BOXES AND OTHER SIMILAR SERVICES EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

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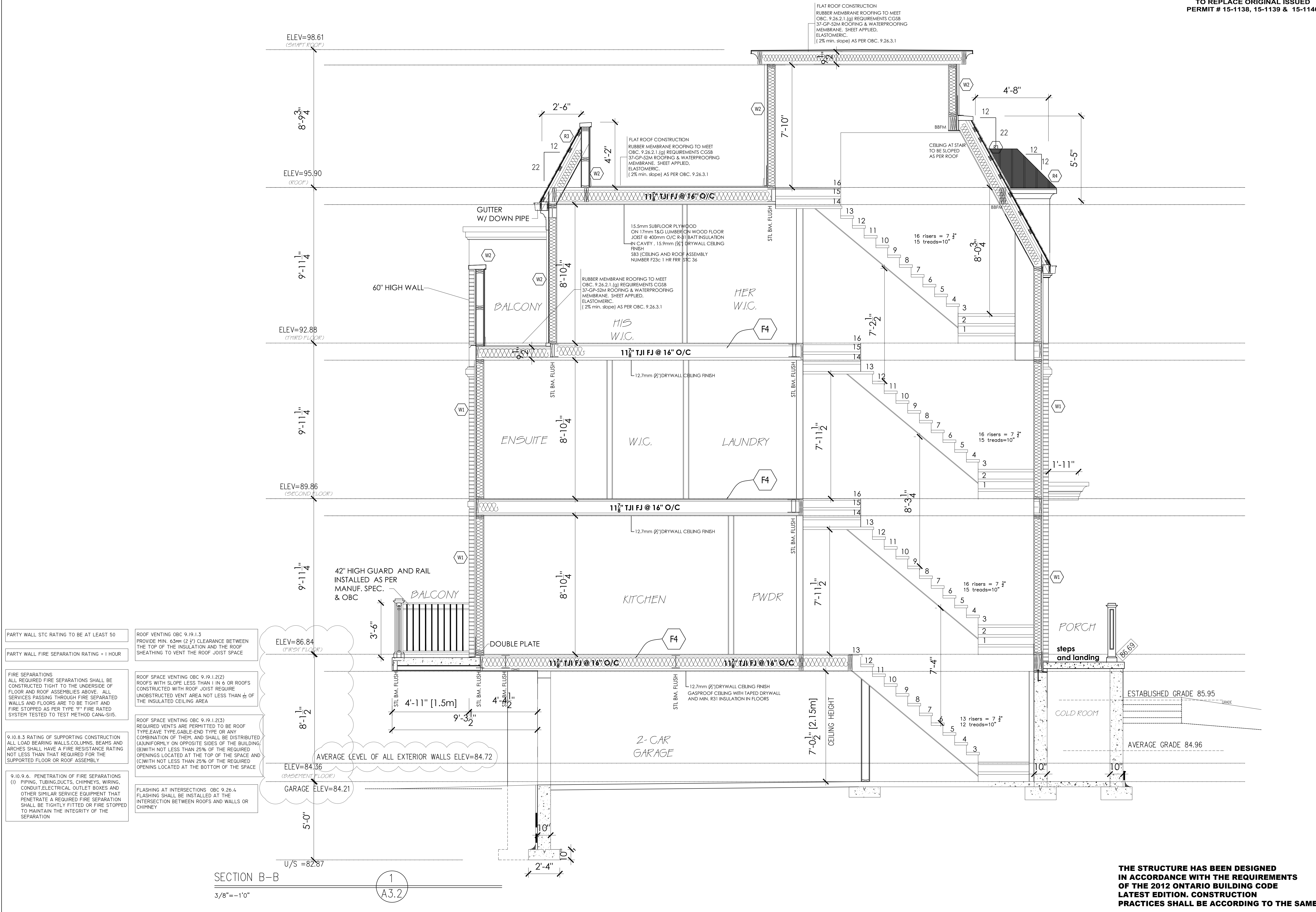
SEAL:

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PROJECT NAME AND ADDRESS:  
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78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE	SHEET NO.
SECTION B-B	<b>A-3.2</b>
DATE	MAY 30 2022
DESIGNED BY:	SCALE
DRAWN BY:	NOTED



PARTY WALL STC RATING TO BE AT LEAST 50

PARTY WALL FIRE SEPARATION RATING = 1 HOUR

FIRE SEPARATIONS ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "F" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-U-SIS.

9.10.8.3 RATING OF SUPPORTING CONSTRUCTION ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY.

9.10.6.6. PENETRATION OF FIRE SEPARATIONS (I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

ROOF SPACE VENTING OBC 9.19.1.3 PROVIDE MIN. 65MM (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE

ROOF SPACE VENTING OBC 9.19.1.2(2) ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/50 OF THE INSULATED CEILING AREA

ROOF SPACE VENTING OBC 9.19.1.2(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, EAVE TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING; (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE

FLASHING AT INTERSECTIONS OBC 9.26.4 FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

SECTION B-B  
3/8" = 1"0"

1  
A3.2

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

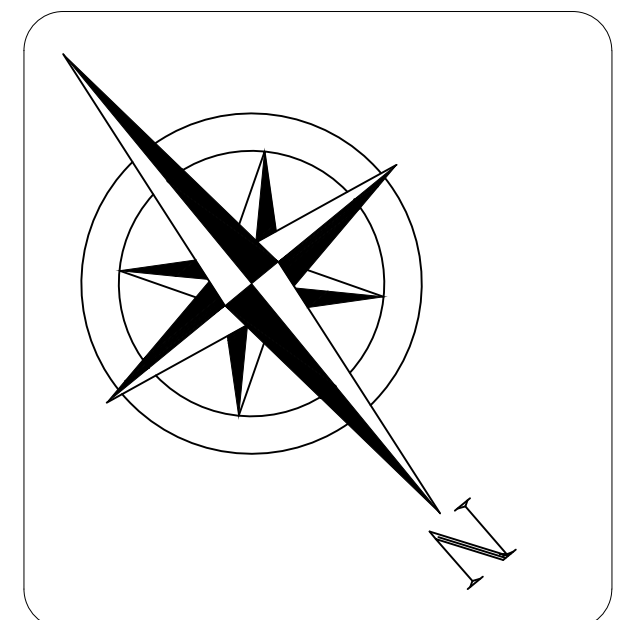
**JRCP**  
DESIGNS INC.  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
www: jrpedesigns.com

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)

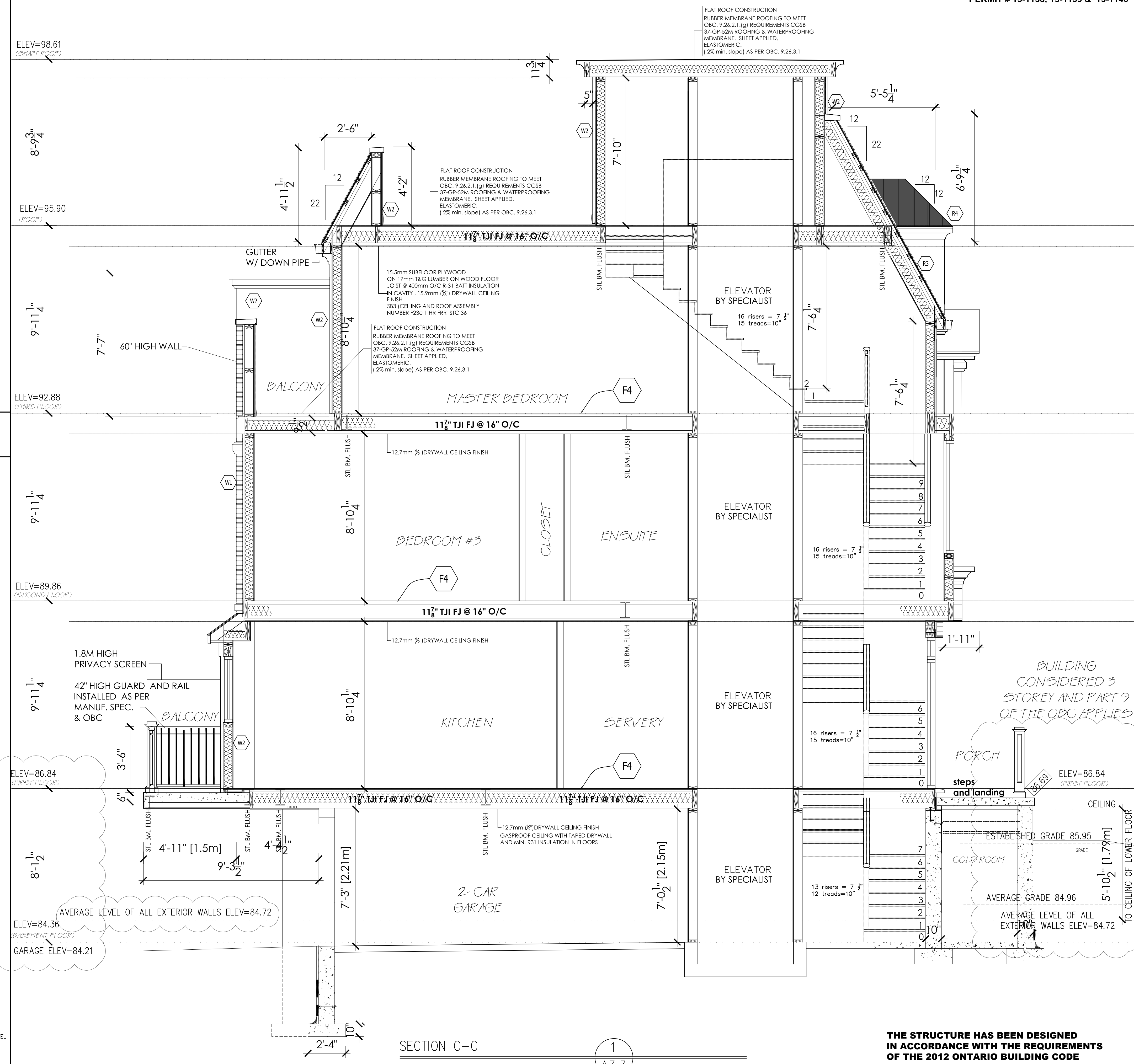
SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE: SECTION C-C SHEET NO. **A-3.3**

DATE: MAY 30 2022

DESIGNED BY: SCALE: NOTED

DRAWN BY: NOTED



PARTY WALL STC RATING TO BE AT LEAST 50  
PARTY WALL FIRE SEPARATION RATING = 1 HOUR

FIRE SEPARATIONS  
ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "F" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-U-SIS.

9.10.8.3 RATING OF SUPPORTING CONSTRUCTION  
ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY.

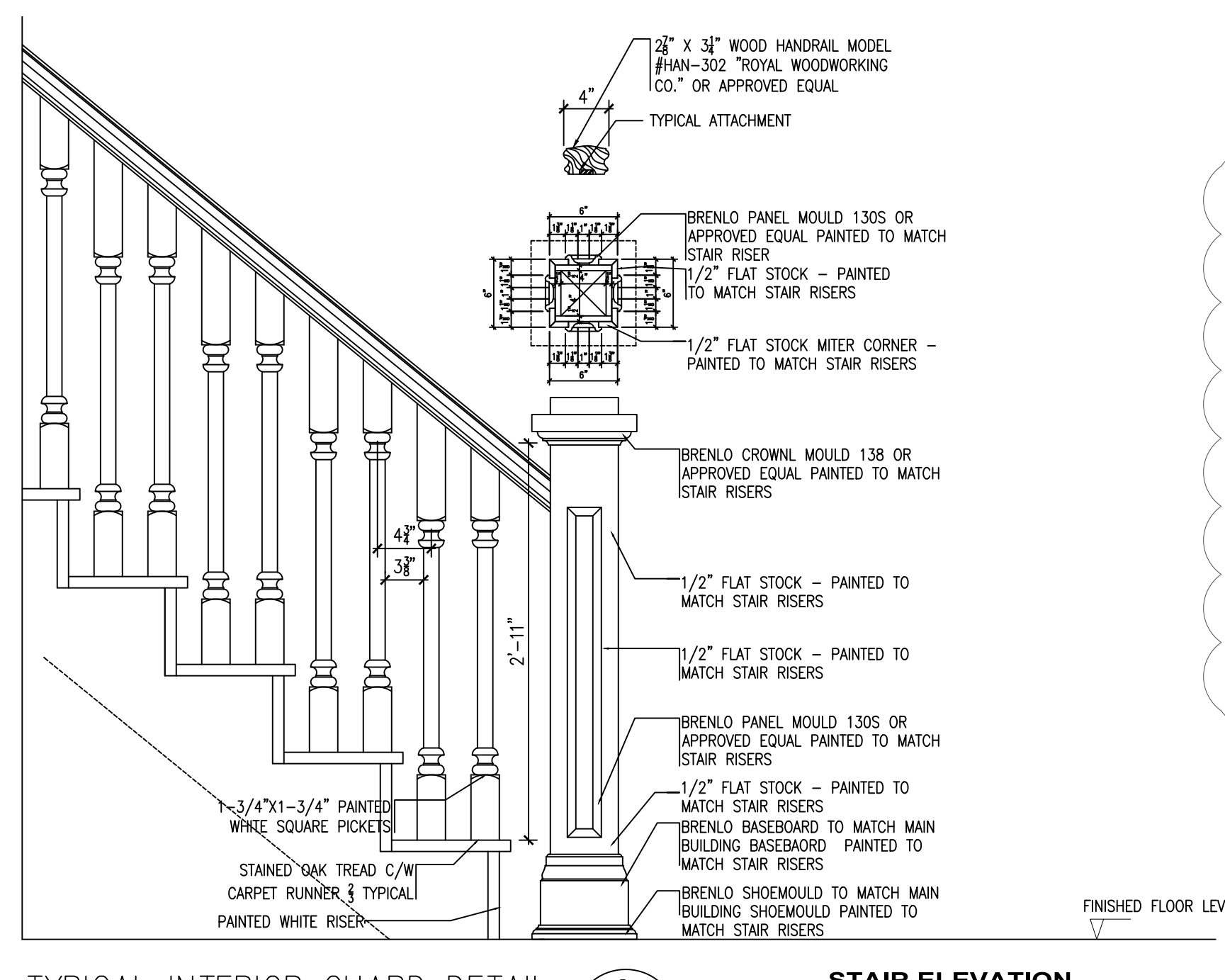
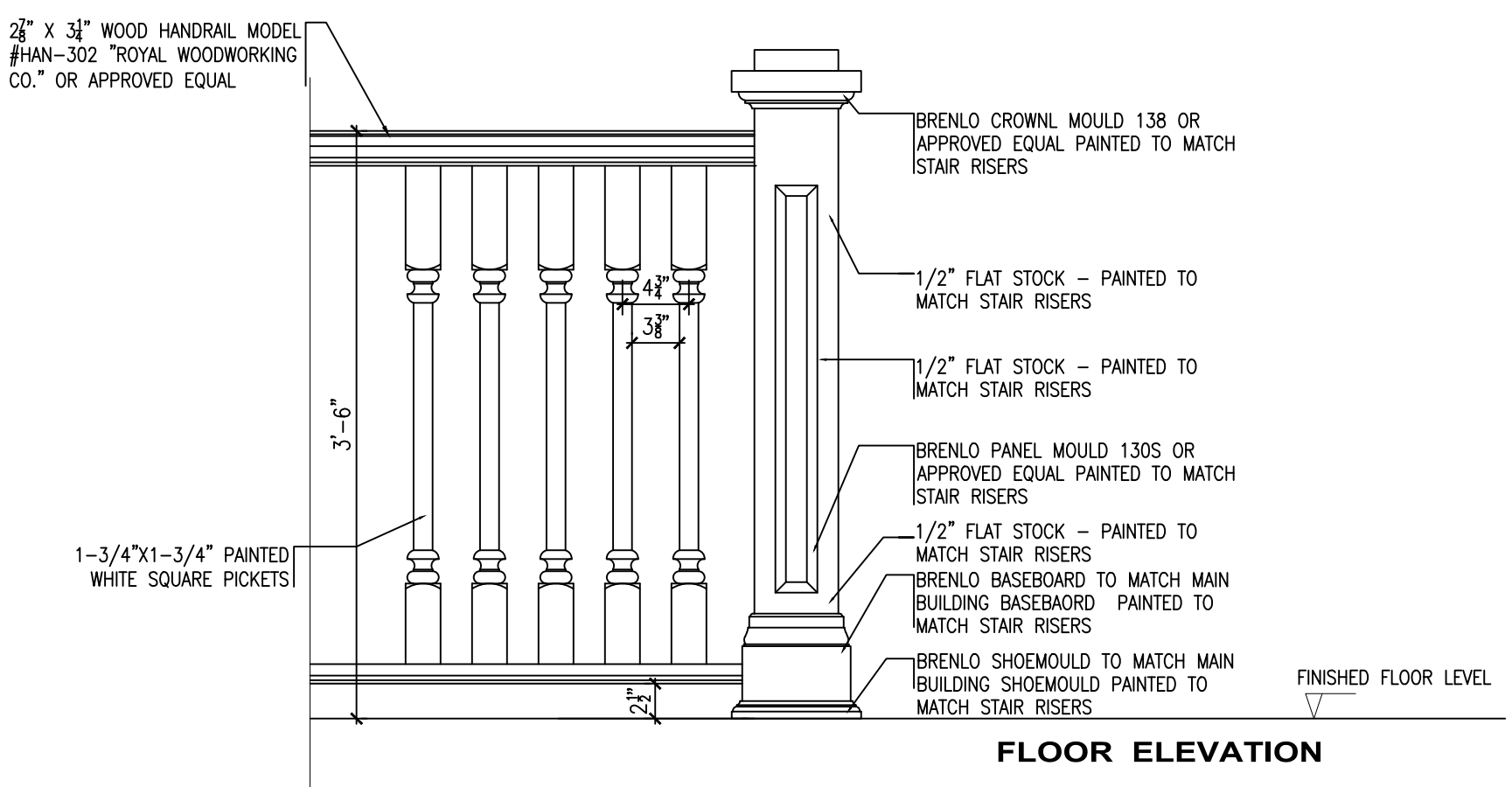
9.10.9.6. PENETRATION OF FIRE SEPARATIONS  
(I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

ROOF VENTING OBC 9.19.1.3  
PROVIDE MIN. 63mm (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE

ROOF SPACE VENTING OBC 9.19.1.2(2)  
ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/2 OF THE INSULATED CEILING AREA

ROOF SPACE VENTING OBC 9.19.1.2(3)  
REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE EAVER TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE

FLASHING AT INTERSECTIONS OBC 9.26.4  
FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY



TYPICAL INTERIOR GUARD DETAIL 2  
STAIR ELEVATION  
scale=1"=1'-0"

SECTION C-C  
3/8" = 1'-0"  
1  
A3.3

THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME

October 21, 2024

GSAI File: 1424-001

Town of Oakville  
Planning Services  
1225 Trafalgar Road  
Oakville, Ontario, L6H 0H3

**Attention:** Brandon Hassan, MCIP, RPP  
Senior Planner  
Planning & Development

**Re: Minor Variance Application**  
**2848327 Ontario Limited**  
**78-82 Trafalgar Road, Oakville, ON**  
**Related File: SP.1713.040/03 & 24CDM-24008/1713**

Glen Schnarr & Associates Inc. (“GSAI”) are the planning consultants for 2848327 Ontario Limited, owner of the lands municipally addressed as 78, 80, 82 Trafalgar Road (herein referred to as the “subject lands” or the “site”). On behalf of the owner, we are pleased to submit this Minor Variance Application to seek relief in the Town of Oakville Zoning By-law 2014-014 to facilitate the development of three (3) townhouse units (the “proposed development”).

### **Site Description and Surrounding Land Uses**

The subject lands are generally located south of Robinson Street and west of Trafalgar Road in the Town of Oakville. The site is rectangular in shape with an approximate area of 0.06 hectares (0.15 acres), and it is legally described as “Part of Lot C, Block 16, Plan 1, designated as Part 1 on Plan 20R-20256; Oakville”.

The lands surrounding the subject property generally consist of residential and commercial uses. A four-storey residential apartment building is located directly north of the site, while single detached residences are located to the east, west and south. A commercial plaza is located to the northeast of the site.

The site is currently under construction.

**Proposed Development**

The development can be generally described as three townhouse units facing Trafalgar Road with heights of three storeys and a total lot area of approximately 624.57 sq. metres. The proposed units have a depth of 11.4 metre and a width of 22.33 metres with a gross floor area of approximately 711.35 sq. metres, respectively.

The proposal is accessible through continuous walkways off of Robinson Street and Trafalgar Road. Vehicular access is provided from the Trafalgar Road right of way, providing access to the garages of the residents which are situated beneath the units.

The Minor Variance request before the Committee is based on the drawings associated with the previously approved Site Plan application and Note to File. These processes are briefly described below.

**Background and Ongoing/Future Planning Processes**

While not in the purview of the Committee, we provide the following discussion regarding the Background and Ongoing/Future Planning processes associated with or tied to the subject lands.

Firstly, we note that previously, the Committee of Adjustment approved a series of minor variances (CAV.A/040/2014) to permit relief of various zoning provisions under the Town’s Zoning By-law. These approvals remain in place for the subject lands.

In 2023, our client obtained formal Site Plan Approval (File: SP.1713.040/03) and most recently on July 23, 2024, obtained approval for a Note to File which ultimately amended the approved site plan drawings (however minimally).

GSAI is also advancing a Plan of Condominium application (File: 24CDM-24008/1713) to facilitate approval for a Common Element Condominium (“CEC”) on the subject lands. Ultimately, the CEC will create three distinct lots and common elements. This application proceeded to the Town’s Planning and Development Council (“PDC”) on October 15, 2024 where staff recommended conditions of approval. At the meeting, the PDC approved the staff’s recommendation for the proposed Plan of Condominium application.

Additionally, GSAI is presently preparing to file an application for Part Lot Control Exemption (“PLCE”) under a separate cover to facilitate the creation of the three lots. We confirm the lands exist as a part of a Registered Plan of Subdivision (Part of Lot C, Block 16, Plan 1, designated as Part 1 on Plan 20R-20256).

Of relevance to the application before Committee today, we confirm that our Client had various discussions with Planning, legal and zoning staff (as appropriate) as part of the Site Plan Approval process regarding the appropriateness of the CEC application, given the development proposal characteristics. Ultimately, it was agreed upon that while a CEC application could be filed, alongside a PLCE (at the appropriate time), a Minor Variance application would be required to address the zoning deficiencies resultant of the formal creation of the 3 lots. To confirm the mutual

understanding of the parties, our Client (2848327 ONTARIO LIMITED) entered into an Agreement (known as the “letter agreement”) with the Town of Oakville (THE CORPORATION OF THE TOWN OF OAKVILLE) which included “Schedule D Form of Common Element Minor Variance”.

Schedule D provides:

Zoning By-law Regulation	Variance Request
Section 6.10 c) - For a common element condominium, the applicable zoning regulations shall apply to the proposed lots or blocks to be parcels of tied land until the lots or blocks are formally established.	To permit the applicable zoning regulations to apply to the entirety of the lot for a common element condominium.

Therefore, in accordance with the letter agreement, specifically Schedule D, we are pleased to advance this formal application for Minor Variance.

### **Proposed Variance**

As agreed upon through the letter agreement, the owner is proposing relief of *Section 6.10c)* regarding separation of dwelling units under the Town’s Zoning By-law 2014-014, which states the following:

*“For a common element condominium, the applicable zoning regulations shall apply to the proposed lots or blocks to be parcels of tied land until the lots or blocks are formally established.”*

Relief from *Section 6.10c)* will enable the dwelling units, following formal lot creation, to comply with the applicable zoning regulations, and ultimately, that the three lots continue to be treated as one lot for the purposes of zoning compliance. This variance request can be seen as a ‘blanket’ variance request to address the zoning compliance issues that would result from the lot creation (forthcoming). This variance is largely technical in nature and does not alter/change the approved development plans through the Site Plan approval process. This is simply a housekeeping matter to address the zoning deficiencies that would arise through formal lot creation (through the CEC/PLCE process).

### **Planning Rationale for Proposed Variances**

Section 45(1) of the Planning Act, as amended, identifies the four tests which must be satisfied in order for the Committee of Adjustment to approve this application. The following section provides an analysis demonstrating how the variances satisfy these tests.

*1. The variance maintains the general intent and purpose of the Official Plan.*

The subject property is designated as ‘Medium Density Residential’ in the Town’s Official Plan, which permits a range of density housing types including multiple-attached dwelling units. Section 11.1.8 of the Official Plan permits development of underutilized lands which are designated as Medium Density in stable residential communities. The proposed development contemplates three townhouse units and creates more efficient use of the subject lands in a stable residential neighbourhood. It is our opinion that the proposed variance maintains the general intent and purpose of the Official Plan.

*2. The variance maintains the general intent and purpose of the Zoning By-law.*

The subject property is zoned ‘Residential Medium Special Exception 50 (RM1-SP50)’ in the Town’s Zoning By-law 2014-014. The variance maintains the general intent and purpose of the Zoning By-law, as the use for townhouse units will be maintained as permitted in the ‘Residential Medium Special Exception 50 (RM1-SP50)’ zone. The proposal seeks relief from the zoning by-law to rectify any issues of compliance resulting from the CEC and lot creation.

In short, relief from the relevant zoning standard as described in the variance request would not change the proposal (as approved through Site Plan) and maintains the building configuration, however it simply prescribes that the zoning would apply as if the site were one lot (for zoning purposes), rather than 3 lots in the ultimate scenario, as being pursued through the CEC and PLCE applications. Therefore, on the basis that the configuration of the site and building is maintained, which cleared Zoning for the purposes of Site Plan Approval, meaning that this variance is technical in nature and does not frustrate the intent of the Zoning By-law, it is our opinion that the proposed variance maintains the general intent and purpose of the Town’s Zoning By-law.

*3. The variance is desirable for the appropriate development or use of the land.*

The variance is desirable for the appropriate development or use of the land as it is largely technical and continues to provide for a proposal that was otherwise approved and deemed appropriate by staff. The variance does not change the approved or intended use of the lands.

*4. The variance is minor in nature.*

The variance is minor in nature as the site plan approved (and therefore zoning compliant) building or structure itself remains unchanged. This variance is technical in nature and responds to the forthcoming creation of lots through the associated processes. The actual development therefore, continues to satisfy the applicable zoning by-law, when the site is viewed as one lot for zoning purposes (rather than reviewing zoning compliance for 3 separate lots).

**Conclusion**

It is our opinion that the proposal satisfies Section 45(1) of the Planning Act, as the requested zoning relief is in keeping with the Town’s approval for Minor Variance under CAV.A/040/2014,



Site Plan Application under SP.1713.040/03 and Plan of Condominium Application under 24CDM-24008/1713.

**Submission Deliverables**

In support of the pre-consultation submission, please find the following materials enclosed herein:

- Architectural Drawings as prepared by JRCP Architects dated July 5, 2024;
- Survey plan as prepared by J.H. Gelbloom Surveying Limited dated May 16, 2024;
- Landscape plan as prepared by Uncommon Ground dated July 4, 2024;
- Email correspondence with Zoning Staff, dated June 6, 2024.

We trust that the enclosed materials are satisfactory for the purposes of a Minor Variance Application. Please contact the undersigned should you have any questions.

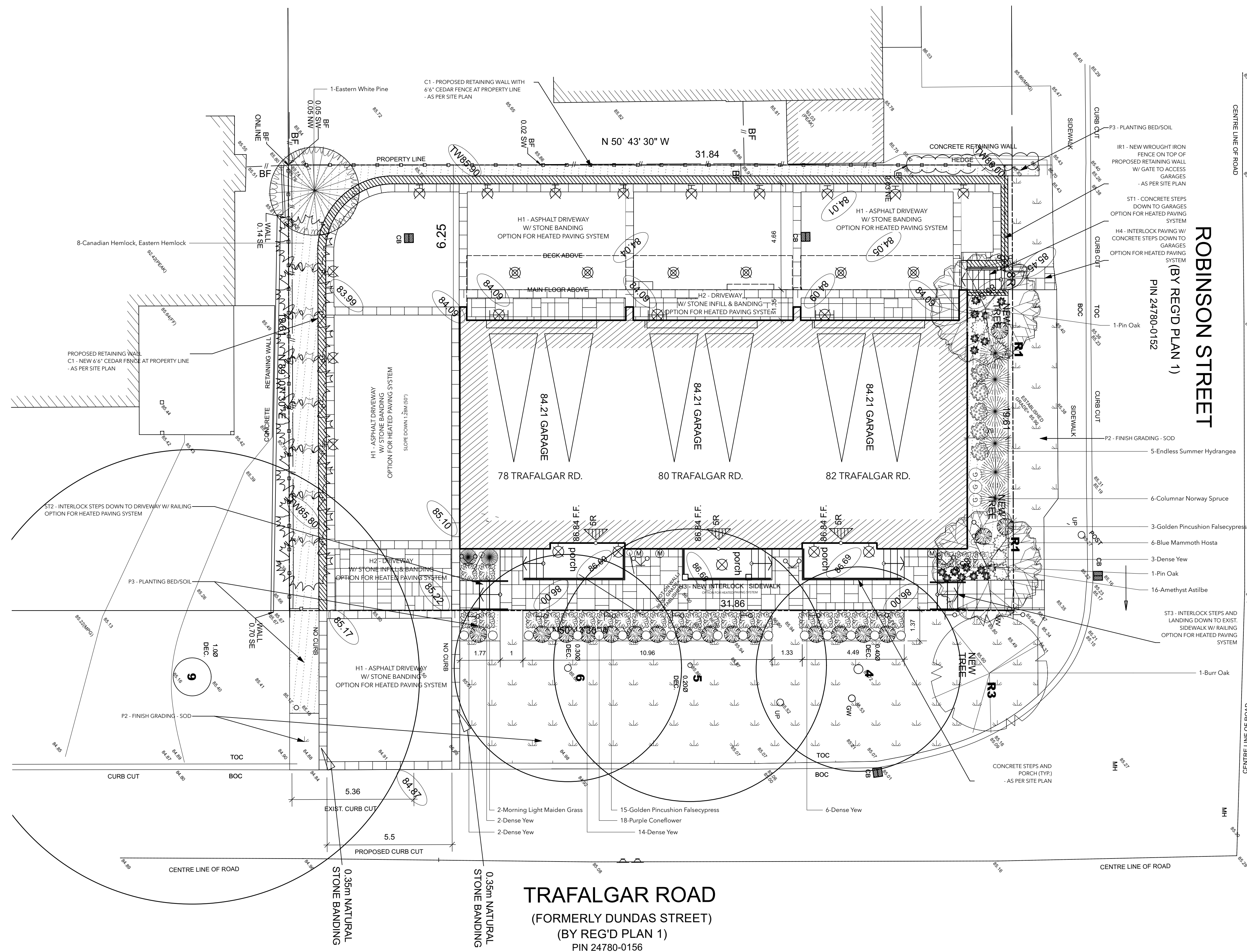
Respectfully submitted,

**GLEN SCHNARR & ASSOCIATES INC.**



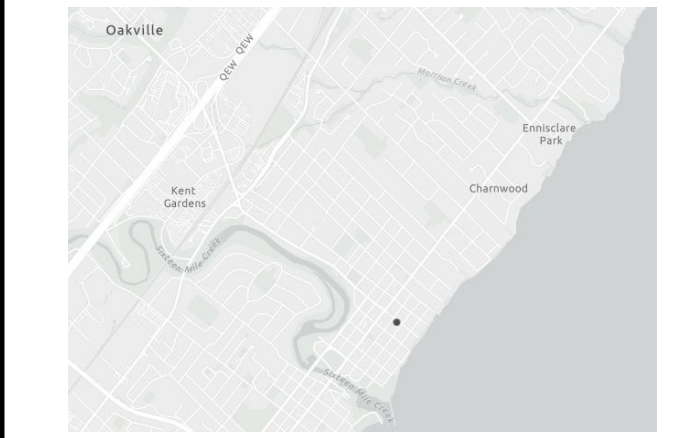
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**Sebastian Alzamora, MCIP, RPP**  
Planner



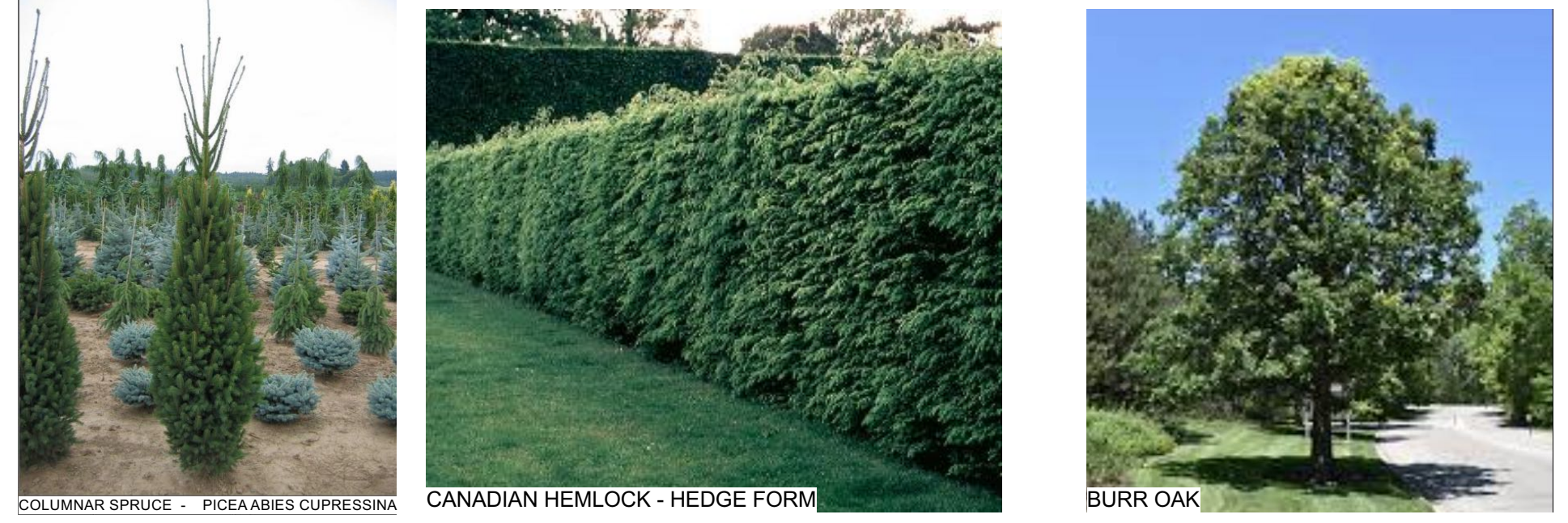
### Plant List

Common Name	Botanical Name	Qty	Scheduled Size
<b>Coniferous Trees</b>			
Canadian Hemlock, Eastern Hemlock	Tsuga canadensis	8	150cm WB
Columnar Norway Spruce	Picea abies 'Cupressina'	6	250cm WB
Eastern White Pine	Pinus strobus	1	200cm WB
<b>Deciduous Trees</b>			
Burr Oak	Quercus macrocarpa	1	60mm WB
Pin Oak	Quercus palustris	2	60mm WB
<b>Evergreen Shrubs</b>			
Dense Yew	Taxus x Media 'Densiformis'	27	30cm 3gal
Golden Pincushion Falsecypress	Chamaecyparis pisifera 'Golden Pincushion'	18	40cm 3gal
<b>Shrubs</b>			
Endless Summer Hydrangea	Hydrangea macrophylla 'Endless Summer'	5	2gal
<b>Perennials</b>			
Amethyst Astilbe	Astilbe arendsii 'Amethyst'	16	1gal
Blue Mammoth Hosta	Hosta 'Blue Mammoth'	6	1gal
Purple Coneflower	Echinacea purpurea	18	1gal
<b>Ornamental Grasses</b>			
Morning Light Maiden Grass	Miscanthus sinensis 'Morning Light'	2	2gal



### REVISIONS

No.	Date	DESCRIPTION	BY
1	2022-09-28	TREE REVISION - CONIFER REPLACED W/ DECIDUOUS (AS PER SITE PLAN APPROVAL SECOND SUBMISSION)	EN
2	2022-10-27	REVISED FRONT STEPS & FFE BASED ON ARCH REVISIONS - ADDED NOTATIONS FOR SOW	EN
3	2022-11-04	CEDAR FENCE LAYOUT & NOTATIONS	EN
4	2023-02-03	RETAINING WALL REMOVED FROM UCG SCOPE OF WORK & QTY'S	EN
5	2023-04-24	COORDINATE DRAWING TO MATCH LATEST ARCH. (APRIL 13, 2023)	EN
6	2024-07-04	RELOCATED GAS METER & UPDATED BUILDING FOOTPRINT	EN



#### LEGEND

- MAIN LEVEL ENTRY POINT
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING ELEVATION TO REMAIN
- PROPOSED SPOT ELEVATION
- DIRECTION OF SWALE
- DIRECTION OF DRAINAGE
- RAINWATER DOWNSPOUTS
- AIR CONDITIONER
- 0.30C OR 8.0 DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- 0.38D OR 8.0 DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- 0.38D OR 8.0 DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED
- PLANTING BED
- SOD
- PROPOSED 6" CEDAR FENCE
- WATER METER
- GAS METER

#### EXTERIOR LIGHTING SCHEDULE

- POT LIGHT (GARAGE)
- WALL MOUNTED LANTERN
- CANISTER WALL MOUNTED LIGHT UP & DOWN
- CEILING MOUNTED LANTERN
- LANDSCAPE ADJUSTABLE FLOOD LIGHT (UP TO THE BUILDING)
- LANDSCAPE BALLARD 360
- LANTERN ON METAL POST
- WALL MOUNTED CANISTER (DOWN)

**EXTERIOR LIGHTING NOTE:**  
"ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SENSITIVE AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 fc) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES"  
AS PER SITE PLAN & TREE PROTECTION PLAN SUBMITTED FOR APPROVAL

**NOTES:**

- Please check and verify all dimensions and conditions on the project and immediately report any discrepancies to the designer before proceeding with the work.
- Do not scale drawings.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor shall check all underground services and utilities staked by each appropriate agency having jurisdiction prior to commencing with the work.
- All planting is to meet horticultural standards of the CNTA Guide Specification for nursery stock. All plants material is to be No. 1 Grade.
- No plant substitutions will be permitted without the approval of the designer.
- Planting soil mixture will consist of 5 parts sandy loam topsoil; 1 part well rotted cattle manure; and 1 part peat moss.
- All shrubs to be planted in continuous beds.
- Soil shall be No. 1 cultivated turf grass, grown in accordance with the classifications of the Nursery Sod Growers Association of Ontario.
- All excavations shall be kept away from the drip line of trees.
- Slopes with grass do not exceed 3:1
- This drawing is an instrument of services only and shall remain the property of the designer at all times. Any persons using these drawings for the purposes of construction without the expressed written consent of the designer, shall be prosecuted to the fullest extent of the law.

PREPARED BY:

UNCOMMON GROUND  
landscape design & outdoor living

2189 Hixon St., Oakville, Ont. Canada  
Telephone 416.898.5965 gary@uncommonground.ca  
[www.uncommonground.ca](http://www.uncommonground.ca)

PREPARED FOR:

NORTH:

PROJECT TITLE:

78-80-82 TRAFALGAR RD.

SHEET DESCRIPTION:

LANDSCAPE PLAN

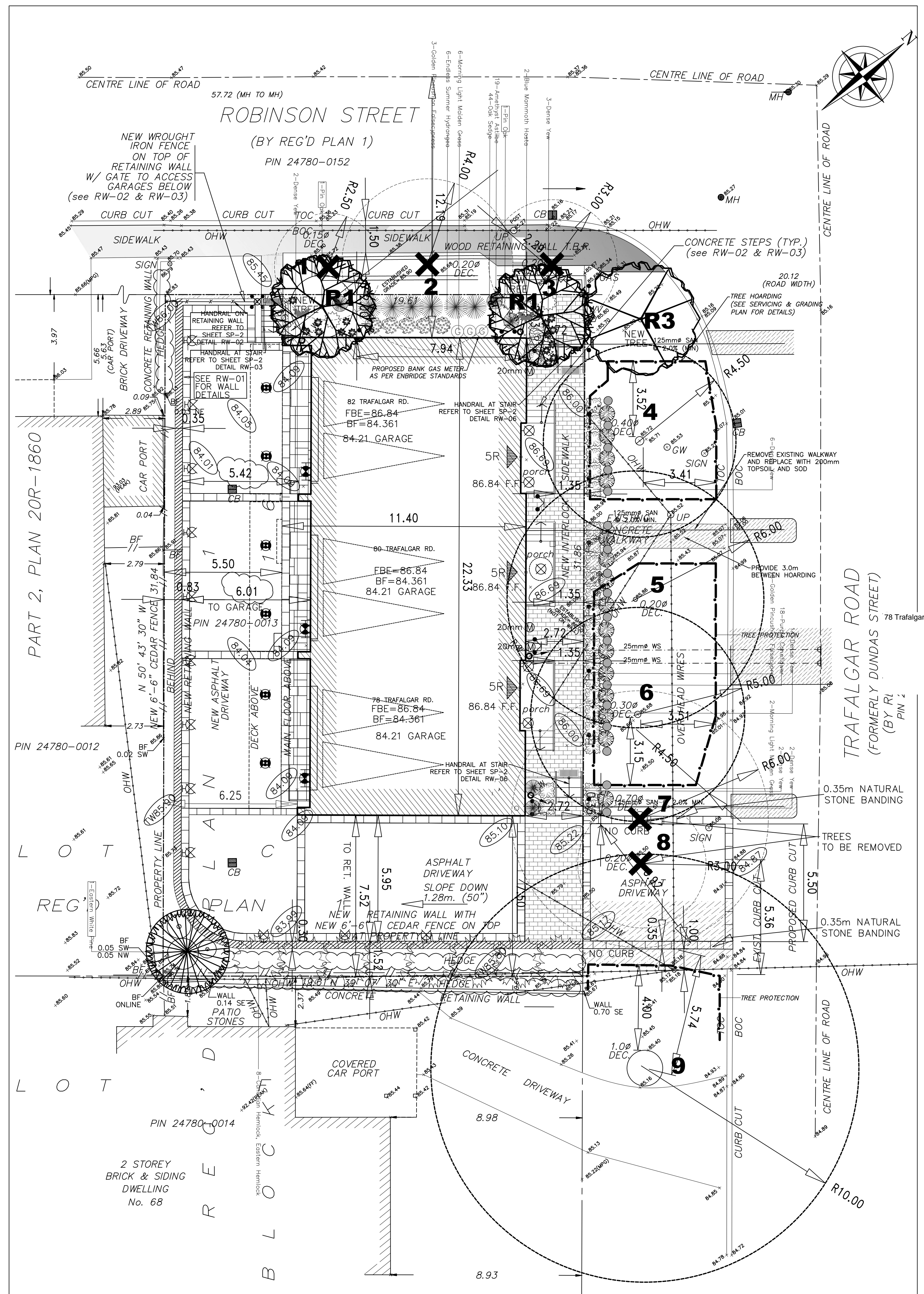
DATE: 2022-08-04      ISSUED: 2024-07-04

PROJECT NUMBER: 13-0010C      DRAWN BY: EN

SCALE: 1:100      CHECKED BY: GV

SHEET NUMBER: LP

R6-13-0010C\_78-80-82 TrafalgarRd\_04\_07\_24\_EN.vwx



**LEGEND**

MFG	Mid Point Grade
F.F.	Finished Floor
CW	Guy Wire
UP	Utility Pole
DEC.	Deciduous
Ø	Diameter
TOC	Top of Curb
BOC	Bottom of Curb
BF	Board Fence
CB	Catch Basin
MH	Maintenance Hole
OHW	Over head Wire
WV	Water Valve
X92.13	Elevations
(M)	Water meter
(G)	Gas meter

**TREE PROTECTION PLAN**  
 Hoarding denotes high visibility snow fence installed as per Town Standard.

X Denotes tree to be removed

**Removals**  
 3 Globe Maples 24 cm DBH  
 1 Norway Maple 20 cm. DBH  
 1 Silver Maple 70.38 cm DBH

**Pruning**  
 1 Norway Maple 33 cm DBH  
 1 Locust 28.34 cm DBH  
 1 Norway Maple 35.03 cm DBH

**Protect**  
 1 Red Oak 100cm DBH

**REFERENCE BEARING**  
 Bearings are Astronomic and are Referred to the Southwesterly limit of Robinson Street being N 39° 05' 00" E as shown on Reg'd Plan 1.

**METRIC**  
 Distance shown on this plan are in metric and can be converted to feet by dividing by 0.3048.

**BENCHMARK**  
 Elevations are Geodetic and are Referred to the Town of Oakville Benchmark No. 85 having an Elevation of 88.537 m.  
 Topographic Survey completed on the 25th day of June, 2009.  
 Topographic Survey up-dated on October 21, 2010.  
 Updated Topographic Survey on June 6, 2013.

THE ARCHITECT / DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

**SITE ACCREDITATION:**  
 PLAN OF TOPOGRAPHY OF PART OF LOT C, BLOCK 16 REGISTERED PLAN 1 TOWN OF OAKVILLE (REGIONAL MUNICIPALITY OF HALTON) INFORMATION TAKEN FROM A SURVEY PREPARED BY: J.H. GELBLOOM SURVEYING LTD. ONTARIO LAND SURVEYORS

**SITE LEGEND:**

---	PROPERTY LINE
---	EXISTING GRADE
---	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
T.F.W.	TOP OF FOUNDATION WALL
F.P.E.	FINISHED PORCH ELEVATION
▲	MAIN ENTRANCE
▲	SECONDARY ENTRANCE
■	EXISTING BUILDING
---	OUTLINE OF EXISTING STRUCTURES
---	TREE HOARDING
○	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED

No.	Date	Revision/Issue
20	05.07.24	LANDSCAPE LAYOUT
19	18.06.24	GAS METERS RELOCATED
18	09.06.23	HEATED DRIVEWAY REMOVED

**EXTERIOR LIGHTING SCHEDULE**

☼	POT LIGHT (GARAGE)
☼	WALL MOUNTED LANTERN
☼	CANISTER WALL MOUNTED LIGHT UP & DOWN
☼	CEILING MOUNTED LANTERN
☼	LANDSCAPE ADJUSTABLE FLOOD LIGHT (UP TO THE BUILDING)
☼	LANDSCAPE BALLARD 360
☼	LANTERN ON METAL POST
☼	WALL MOUNTED CANISTER (DOWN)

**EXTERIOR LIGHTING NOTE:**  
 "ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 fc) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES"

No.	Date	Revision/Issue
17	19.04.23	BANK METER LOCATION
16	03.30.23	BANK METER LOCATION
15	01.31.23	BANK METER LOCATION
14	10.09.22	AS PER CITY COMMENTS
13	09.28.22	AS PER CITY COMMENTS
12	09.03.15	AS PER CITY COMMENTS
11	05.03.15	REVISED DRIVEWAY WIDTH
10	10.02.15	REVISED DRIVEWAY WIDTH
9	28.05.14	REVISED
8	14.05.14	REVISED FOR SPA
7	05.03.14	REVISED FOR SPA
6	03.02.14	REVISED FOR SPA
5	10.01.14	REVISED FOR SPA
4	11.11.13	REVISED FOR SPA
3	24.09.13	REVISED FOR SPA
2	10.08.13	REVISED FOR SPA
1	25.06.13	ISSUED FOR SPA APPLICATION

NOTE: RETAINING WALL DETAIL REFER TO SHEET SP-2 DETAIL RW-01

NOTE: HANDRAIL ON RETAINING WALL REFER TO SHEET SP-2 DETAIL RW-02

NOTE: HANDRAIL AT STAIR REFER TO SHEET SP-2 DETAIL RW-03

NOTE: CEDAR FENCE DETAIL REFER TO SHEET SP-2 DETAIL RW-05

NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE DESIGN & OUTDOOR LIVING

NOTE: OAKVILLE HYDRO ANY RESULTING CONFLICTS WITH EXISTING HYDRO FACILITIES DUE TO CONSTRUCTION ARE TO BE REFLECTED AT THE OWNERS EXPENSE

NOTE: FOR TREE #9 NO CURB TO BE INSTALLED & ALL EXCAVATION IN THIS AREA SHALL BE AIR-SPADE OR SIMILAR UNDER DIRECTION OF THE OF THE PROJECT ARBORIST

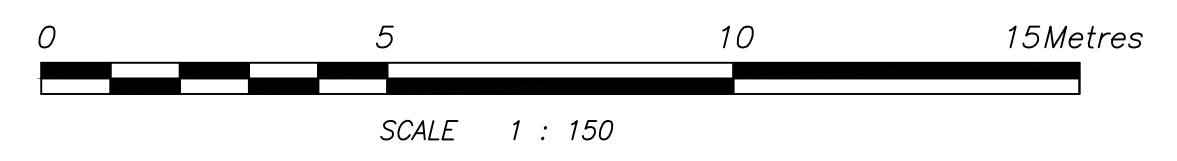
NOTE: FOR TREE #4 & 6 EXCAVATION WITHIN THE TPZ SHALL BE COMPLETED USING USING AIR-SPADE/DRY-VAC TECHNOLOGY, UNDER SUPERVISION OF THE PROJECT ARBORIST

NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH TRAFALGAR ENGINEERING LTD. SERVICING & GRADING PLAN

NOTE: MUNICIPAL BOULEVARD WILL BE RESTORED TO THE SATISFACTION OF TOWN OF OAKVILLE ENGINEERING & TRANSPORTATION

**SITE STATISTICS - ZONE RM1sp:50**

- LOT AREA = 135.0 m<sup>2</sup>/UNIT (624.57 m<sup>2</sup> TOTAL)
- LOT FRONTAGE = 31.86m (30.50m Minimum).
- AREAS FOR COVERAGE = 247.3 m<sup>2</sup>.  
(A) EX. MAIN DWELLING = 247.3 m<sup>2</sup>;
- LOT COVERAGE = 40% (40.0% Maximum).
- ESTABLISHED GRADE = 85.95m.
- BUILDING HEIGHTS:  
- ROOF RIDGE = 12.97m (12.0m Maximum);
- SETBACKS:  
- FRONT = 1.35m (4.50m Minimum);  
- FLANKAGE = 2.72m (3.00m Minimum);  
- REAR = 5.50m (6.00m Minimum);  
- SIDES: 7.50m (1.20m Minimum);
- FLOOR AREA = 711.35 m<sup>2</sup>.  
UNIT-1 FLOOR AREA = 238.20 m<sup>2</sup>.  
UNIT-2 FLOOR AREA = 241.08 m<sup>2</sup>.  
UNIT-3 FLOOR AREA = 232.07 m<sup>2</sup>.
- FA/LOT RATIO = 114.8% (42% Maximum)



**JRCP**  
**DESIGNS INC.**  
 ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
 (416) 655-0245  
 email: jrpedesigns@yahoo.ca  
 www.jrpedesigns.com

Project Name and Address  
**78-80-82 TRAFALGAR RD.  
 OAKVILLE, ON.  
 (PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

DRAWING TITLE  
**SITE PLAN &  
 TREE PROTECTION PLAN  
 S.P.1713.040/02**

Project	Sheet
DRAWN BY: RRR	<b>SP-1</b>
Date JULY 19, 2013	
Scale 1: 150	

## Sebastian Alzamora

---

**From:** Kelly Lanaus <kelly.lanaus@oakville.ca>  
**Sent:** June 6, 2024 1:06 PM  
**To:** Sebastian Alzamora; Brandon Hassan; Timothy Lee  
**Cc:** Sarah Clark; Leigh Musson  
**Subject:** RE: 78 Trafalgar - Minor Variance  
**Attachments:** 03\_CondoPlan\_v1\_2024-02-26.pdf

Hello Sebastian

Thank you for your patients as we discussed this with our legal department.

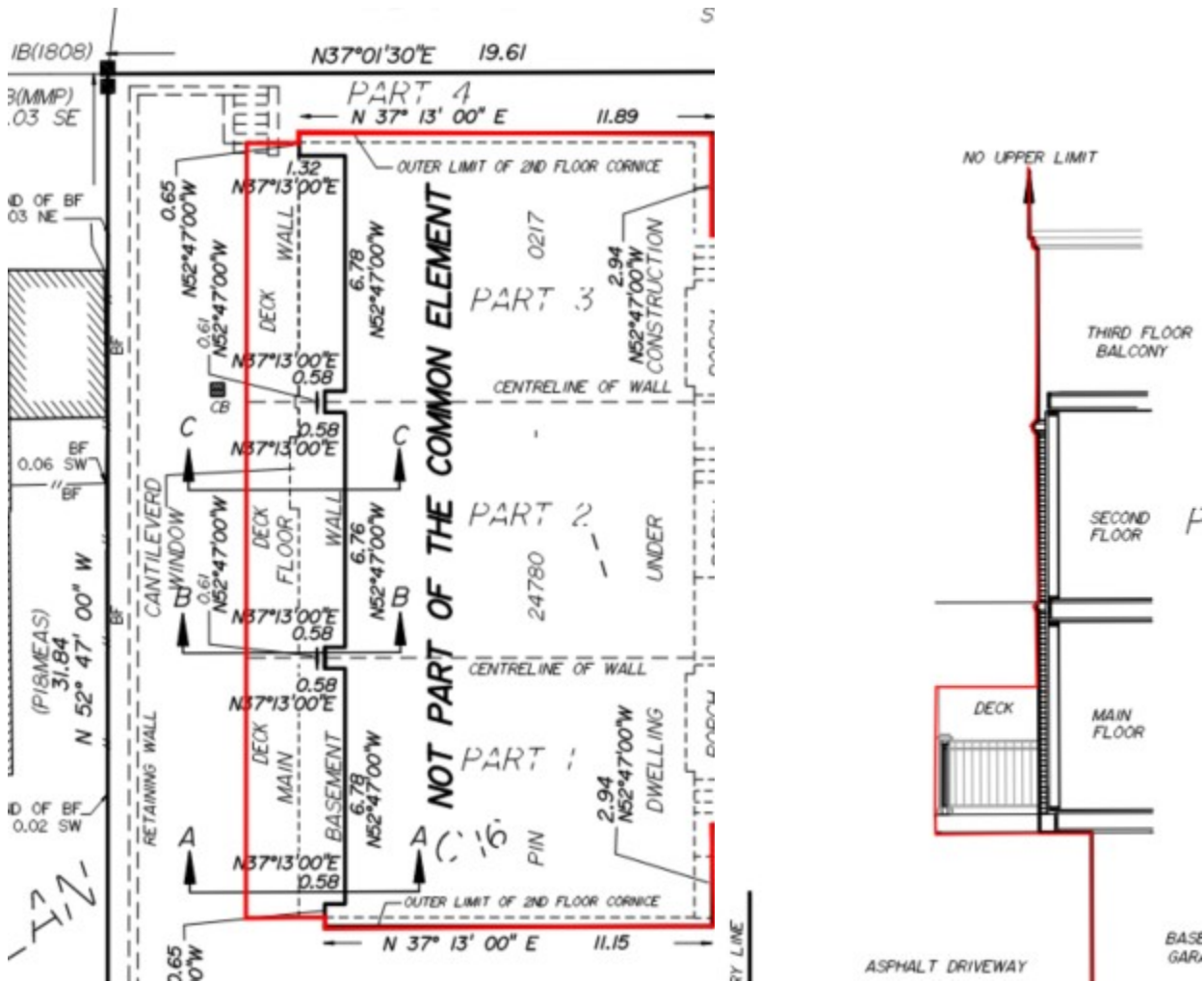
In these discussions, and considering the property in question, along with the Final CAV decision, we are now recommending that you would actually need to seek relief from section 6.10 c) of bylaw 2014 and applying section 6.10 b)

Seeking relief of the bylaw would rectify any issues with frontage and thus relief would not be required from section 4.13.

The decks are currently shown as part of the condo plan, that is of course why we were asking about them. If it is exclusive to each owner then you need to change the lines on the condo plan to something similar to the red line below.

Next steps would be to submit your application so we can do a full review and identify any further issues.

Thank you,  
Kelly



**Kelly Lanaus, CPT**  
**Senior Zoning Plans Examiner**  
**Building Services**

Town of Oakville | 905-845-6601, ext. 3036 | f: 905-338-4230 | [www.oakville.ca](http://www.oakville.ca)

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<http://www.oakville.ca/privacy.html>

**From:** Sebastian Alzamora <SebastianA@gsai.ca>

**Sent:** Thursday, June 6, 2024 12:49 PM

**To:** Brandon Hassan <brandon.hassan@oakville.ca>; Kelly Lanaus <kelly.lanaus@oakville.ca>; Timothy Lee <timothy.lee@oakville.ca>

**Cc:** Sarah Clark <sarahc@gsai.ca>; Leigh Musson <leigh.musson@oakville.ca>

**Subject:** RE: 78 Trafalgar - Minor Variance

Thanks Brandon.

@Kelly Lanaus @Timothy Lee - can you please advise?

**Sebastian Alzamora, MCIP, RPP | Planner**

700 - 10 Kingsbridge Garden Circle

Mississauga, ON L5R 3K6

C: 416 419-8862

[www.gsai.ca](http://www.gsai.ca)