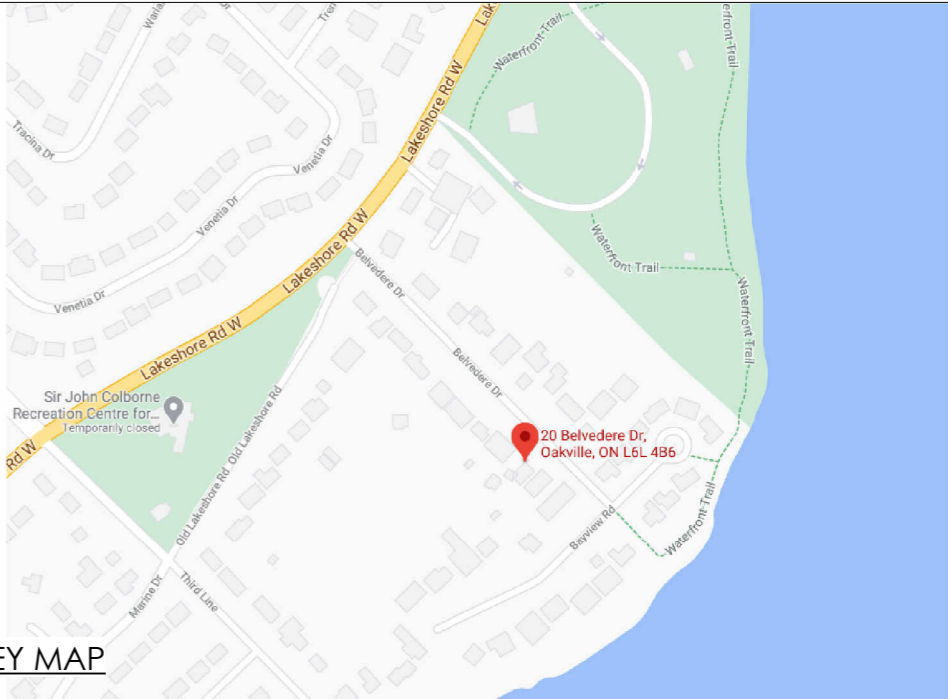
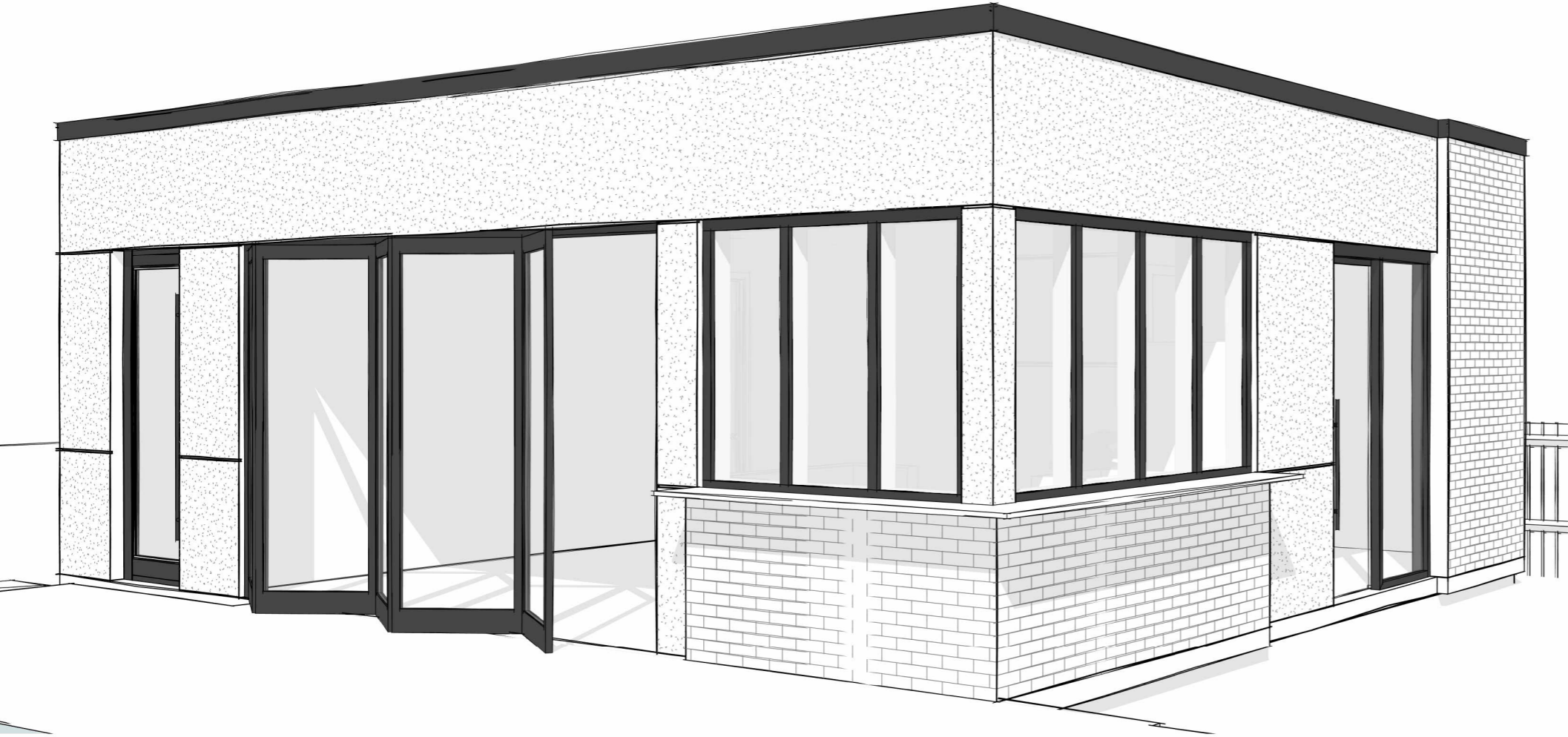


20 BELVEDERE DRIVE

COMMITTEE OF ADJUSTMENT



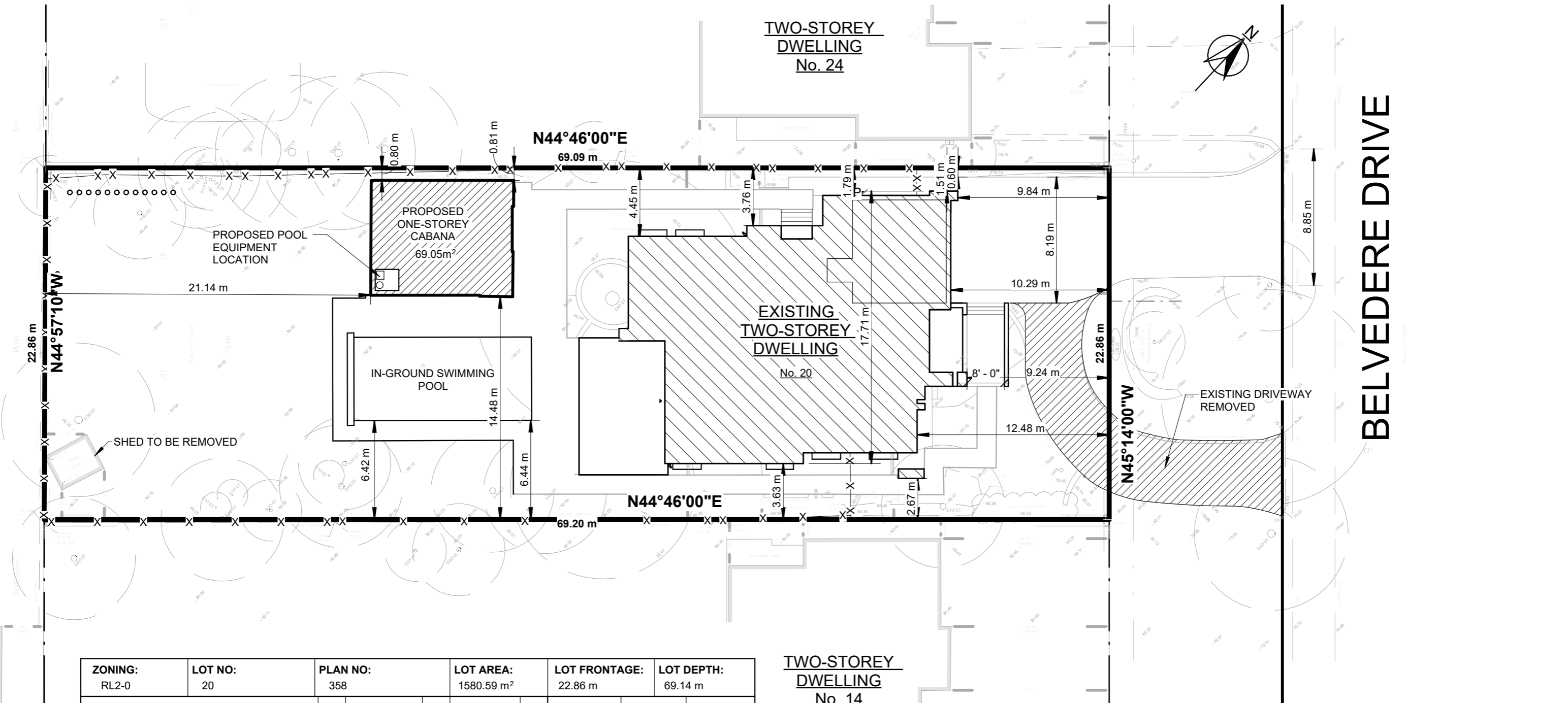
KEY MAP

DRAWING LIST - ZONING	
TITLE SHEET	Z01.1
SITE PLAN	Z02.1
FOUNDATION PLAN	Z02.2
MAIN FLOOR PLAN	Z02.3
ROOF PLAN	Z02.4
EAST ELEVATION	Z03.1
NORTH ELEVATION	Z03.2
SOUTH ELEVATION	Z03.3
WEST ELEVATION	Z03.4

TITLE SHEET

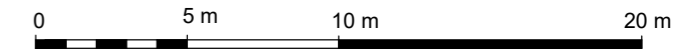
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ZONING:	LOT NO:	PLAN NO:	LOT AREA:	LOT FRONTAGE:	LOT DEPTH:				
RL2-0	20	358	1580.59 m ²	22.86 m	69.14 m				
DESCRIPTION	EXISTING	%	PROPOSED	%	REQUIRED	%	SETBACKS	REQUIRED	PROPOSED
DWELLING COVERAGE ⁽¹⁾	362.90 m ²	23.0			395.15 m ²	25.0	FRONT YARD	N/A	N/A
CABANA COVERAGE			68.97 m ²	4.36	79.03 m ²	5.00	REAR YARD	0.60 m	21.14 m
SHED COVERAGE	7.65 m ²	00.5					SIDE YARD (NORTH)	0.60 m	0.80 m
TOTAL			431.87 m ²	27.32	395.15 m ²	25.0	SIDE YARD (SOUTH)	0.60 m	14.48 m
							BUILDING HEIGHT	4.00 m	3.53 m
(1) COVERAGE CALCULATION INCLUDES COVERED PORCHES AND GARAGE						NO. OF STOREYS			
(2) GROSS FLOOR AREA CALCULATION DOES NOT INCLUDE OPEN TO BELOW AREAS						REQ'D. 1 PROP. 1			

TWO-STOREY DWELLING No. 14



SITE PLAN

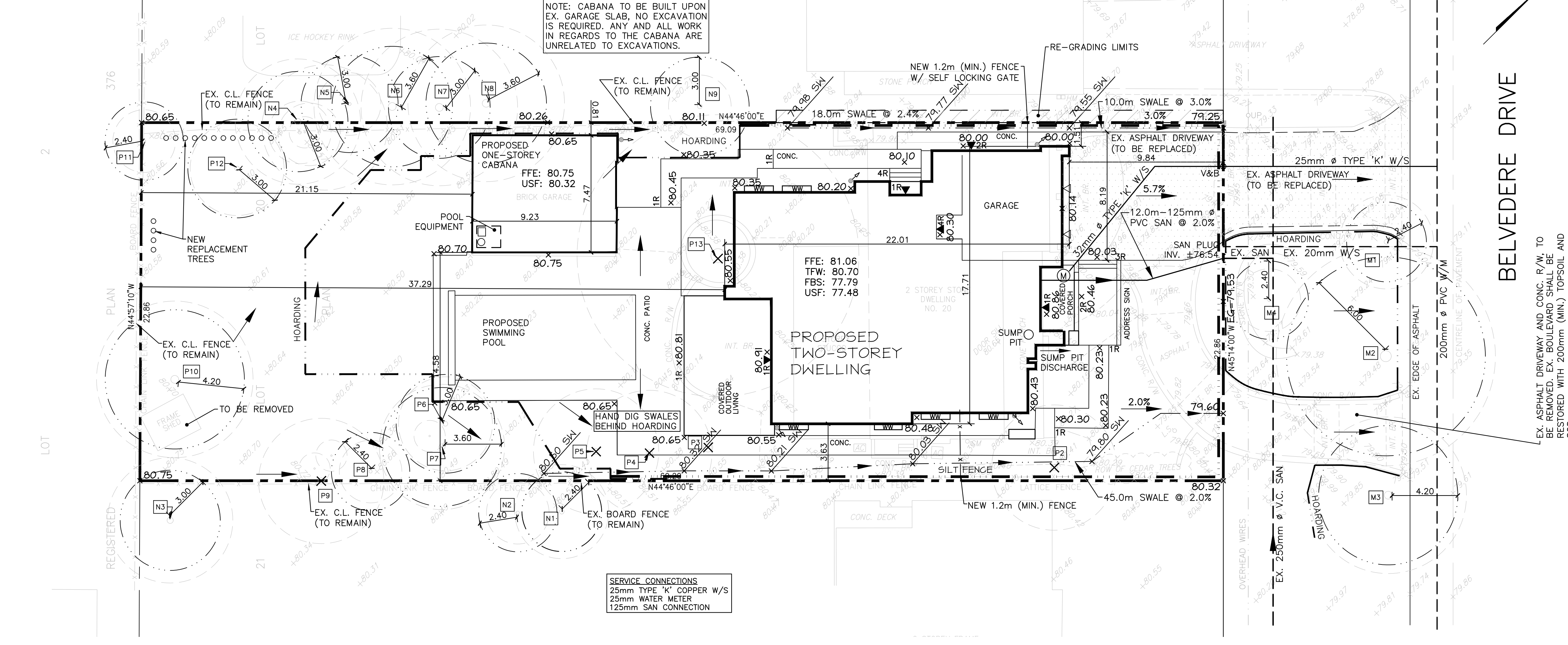
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plot: 24" x 36" (609.6mm x 914.4mm) file: G:\Eaglebrooke\lscoc\2021\21060\Plans\21060LSG.dwg [LSG-1] date: 24.08.28 12:03am

2 STOREY FRAME & STONE DWELLING NO. 24

NOTE: CABANA TO BE BUILT UPON EX. GARAGE SLAB. NO EXCAVATION IS REQUIRED. ANY AND ALL WORK IN REGARDS TO THE CABANA ARE UNRELATED TO EXCAVATIONS.



SERVICE CONNECTIONS
25mm TYPE 'K' COPPER W/S
25mm WATER METER
125mm SAN CONNECTION

REGION OF HALTON NOTES:

- ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT HALTON PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATER SERVICE 50mm (2") AND SMALLER MUST BE COPPER TYPE 'K' SOFT TO ASTM B 88-49.
- ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
- LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
- ANY EXISTING WATER OR SANITARY SERVICE MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR PRIOR TO CONSIDERATION FOR RE-USE. THE SANITARY CONNECTION WILL ALSO BE CCTV INSPECTED PRIOR TO ANY RE-CONNECTION.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

NOTE: REPLACEMENT TREES MUST BE A MINIMUM OF 30mm CALIPER IF THEY ARE DECIDUOUS OR A MINIMUM OF 150cm IN HEIGHT IF THEY ARE CONIFEROUS. IT IS PREFERRED THAT NEW TREES ARE DECIDUOUS TREES, WHERE POSSIBLE, AND THAT TREES BE PLANTED IN BOTH THE FRONT AND BACK YARD. THIS CAN INCLUDE PLANTING LARGE/MEDIUM STATURE TREES: SUCH AS OAK, TULIP TREE, KENTUCKY COFFEE TREE, ZELKOVA, LINDEN, ETC., AND OTHER OPTIONS INCLUDE PLANTING SOME SMALL ORNAMENTAL/FLORERING TREES, SUCH AS DOGWOOD, JAPANESE LILAC, ETC. ANOTHER OPTION IS TO PLANT TREES THAT ARE COLUMNAR/NARROW IN FORM, SUCH AS COLUMNAR TULIP TREE, COLUMNAR EUROPEAN HORSEBEECH, COLUMNAR OAK, ETC. THESE CAN BE PLANTED WITH CLOSER SPACING TO FORM A PRIVACY SCREEN OR HEDGE ROW. JUNIPER/YEW/EMERALD CEDARS ARE NOT ACCEPTED AS PRIMARY REPLANTING FOR CONIFER TREES. IF CEDAR IS ACCEPTED, ONLY WHITE CEDAR CAN BE USED, NOT EMERALD CEDAR. IF CONIFERS ARE PLANTED, IT IS PREFERRED THAT LARGE STATURE CONIFEROUS TREES BE PLANTED, SUCH AS EASTERN WHITE PINE, EASTERN HEMLOCK, ETC.

SERVICING NOTES:

- STORM AND SANITARY CONNECTIONS UP TO 150 mm TO BE PVC GRAVITY PIPE, CSA SPECIFICATION B-182.2, OR 28, OR LATEST AMENDMENT.
- BACKWATER VALVE SHALL BE INSTALLED ON THE STORM CONNECTION, AT THE BUILDING.
- ALL EXISTING SERVICES TO THE PROPERTY ARE TO BE LOCATED AND WHERE THEY ARE NOT REQUIRED OR NO LONGER MEET MUNICIPAL OR REGIONAL STANDARDS, SHALL BE CAPED AT THE PROPERTY LINE AND DISCONNECTED BY THE CONTRACTOR AS PER CITY OF BURLINGTON AND REGION OF HALTON STANDARDS. EXISTING WATER SERVICE CONNECTIONS NO LONGER REQUIRED SHALL BE DISCONNECTED AT THE MAIN WITH VALVE AND BOX REMOVED. CITY AND REGION OPERATIONS STAFF TO BE NOTIFIED A MINIMUM OF 72 HOURS (3 BUSINESS DAYS) BY THE CONTRACTOR PRIOR TO DECOMMISSIONING.
- EXISTING SERVICING INFORMATION OBTAINED FROM THE TOWN OF OAKVILLE AND REGION OF HALTON. ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND SERVICES MUST BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO EAGLEBROOKE ENGINEERING LIMITED.
- ALL CONNECTIONS TO EXISTING MUNICIPAL SERVICES SHALL BE INSTALLED BY THE GENERAL CONTRACTOR, SANITARY AND WATERMAIN TAP ONLY SHALL BE CARRIED OUT BY REGION FORCES.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE TOWN OF OAKVILLE AND REGION OF HALTON FOR WORKS WITHIN THE ROAD ALLOWANCE.
- TRENCH BOX CONSTRUCTION SHALL BE UTILIZED FOR WORKS WITHIN THE ROAD ALLOWANCE.
- UNSHRINKABLE BACKFILL SHALL BE UTILIZED FOR TRENCH RESTORATION WITHIN THE ROAD ALLOWANCE, UP TO UPSIDE OF ROAD GRANULARS.
- ROAD RESTORATION SHALL MATCH EXISTING CONDITIONS OR BETTER.
- FOR SERVICING DETAILS WITHIN THE BUILDING ENVELOPE, REFER TO MECHANICAL DRAWINGS.

THE TREE PROTECTION ZONE

THE TREE PROTECTION ZONE (TPZ) IS THE MINIMUM SETBACK REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE TREE'S ANCHOR ROOTS. BASED ON GENERALLY ACCEPTED ARBORICULTURAL PRINCIPLES, IF TREES ARE PROTECTED TO THE TPZ THEN THE TREE'S ANCHOR ROOT STRUCTURES IS EXPECTED TO BE MAINTAINED.

NO UNAUTHORIZED ACTIVITIES MAY TAKE PLACE WITHIN THE TPZ OF A TREE COVERED UNDER ANY MUNICIPAL PERMIT PROCESS OR AGREEMENT. THE FOLLOWING CHART SHOWS THE TPZ. SOME TREES AND SITE CONDITIONS MAY REQUIRE A GREATER SETBACK AT THE TOWN'S DISCRETION.

DIAMETER OF TRUNK (DBH) (cm)	TREE PROTECTION ZONE DISTANCE FROM TRUNK MEASURED (m)
<10	1.8
10-30	2.4
31-50	3.0
51-60	3.6
61-70	4.2
71-80	4.8
81-90	5.4
91-100	6.0

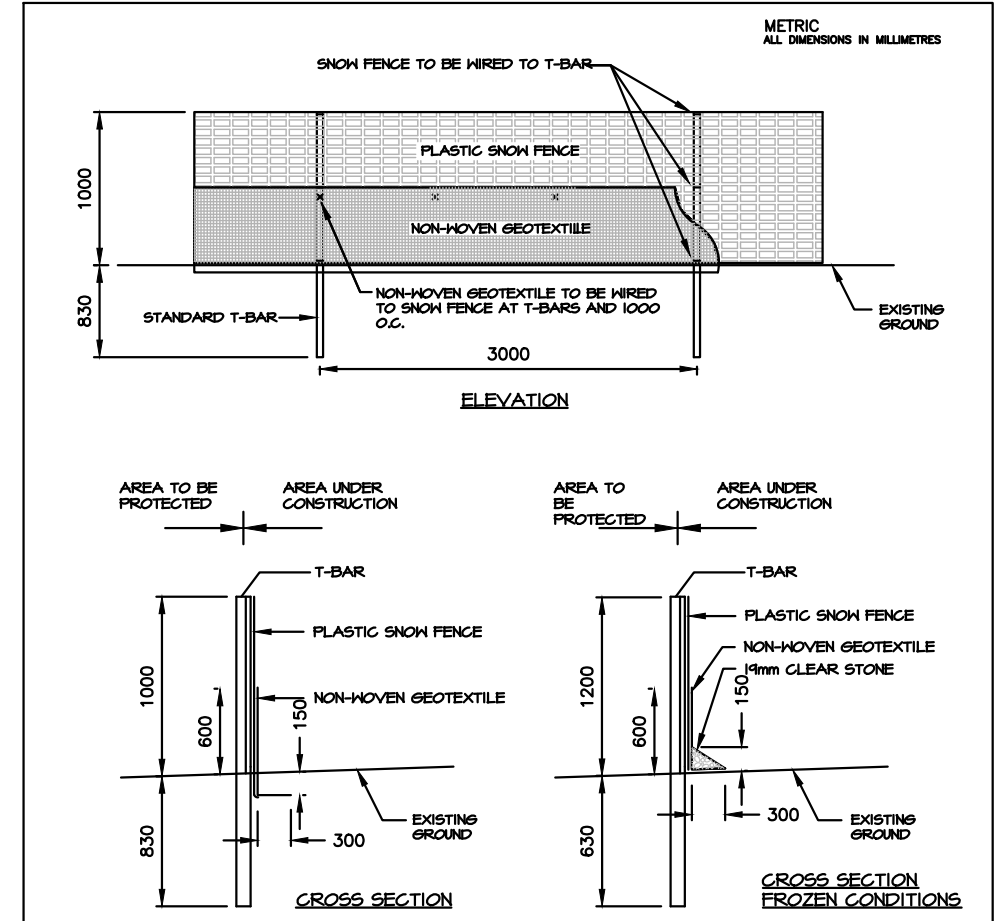
- FOR TREES OVER 100 cm DBH, ADD 10 cm TO THE TPZ FOR EVERY ONE cm OF DBH.
- ROOTS CAN EXTEND FROM THE TRUNK TO 2-3 TIMES THE DISTANCE OF THE DRIP LINE (SEE DETAIL TP-1 (SCHEDULE 4) FOR FURTHER INFORMATION).
- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN AT 1.37 m ABOVE GROUND.
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THE EXISTING PAVED SURFACE REMAINS INTACT THROUGHOUT THE CONSTRUCTION WORK.

GRADING NOTES:

- THE BUILDER MUST PERFORM ALL NECESSARY WORKS TO ENSURE THAT NO SURFACE DRAINAGE PROBLEMS ARE CREATED ON ADJACENT PRIVATE OR PUBLIC LANDS BECAUSE OF THEIR ACTIVITIES.
- THE LOT GRADING SHALL BE INSPECTED BY EAGLEBROOKE ENGINEERING LIMITED PRIOR TO FINE GRADING AND FINAL LOT CERTIFICATION.
- ALL RAINWATER LEADERS SHALL DISCHARGE TO THE FUTURE VIA AN APPROVED CONCRETE SPLASH PAD AT GROUND LEVEL.
- FOUNDATION DRAINS SHALL BE PUMPED TO GRADE.
- THE BUILDER SHALL CHECK AND VERIFY ALL GIVEN ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2.0%-5.0% GRADE EXCEPT WHERE EXISTING GRADES ARE NOT BEING ALTERED.
- DRIVEWAY SLOPE SHALL BE BETWEEN 1% AND 7%.
- RESIDENTIAL DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH OPSD 351.010.
- SIDE YARDS SHALL BE DRAINED, AT SURFACE SLOPES NOT LESS THAN 2.0%, TO EXISTING POSITIVE DRAINAGE OUTLETS.
- DRAINAGE SWALE LONGITUDINAL SLOPES SHOULD NOT BE LESS THAN 2.0%. TERRACE AND DRAINAGE SWALE SIDE SLOPES SHOULD NOT EXCEED 3:1.
- DURING CONSTRUCTION, SILTATION CONTROL METHODS SHOULD BE USED AROUND THE LOT PERIMETER IN ORDER TO PREVENT EROSION OR SILTATION ON ADJACENT PROPERTIES.
- THE BUILDER MUST CONFIRM THE ELEVATION OF THE GROUNDWATER TABLE, PRIOR TO CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES:

- THE BUILDER MUST PERFORM ALL NECESSARY WORKS TO ENSURE THAT NO SURFACE DRAINAGE PROBLEMS ARE CREATED ON ADJACENT PRIVATE OR PUBLIC LANDS BECAUSE OF THEIR ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER / DEVELOPER:
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES Dewatering AND WHERE THE EXPULLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPULLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOCC GUIDELINES. THE CLEAN EXPULLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING - NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED / FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOCC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.



- NOTES:
- NON-WOVEN GEOTEXTILE TO HAVE WEAVE DENSITY OF 270R OR EQUIVALENT.
 - NON-WOVEN GEOTEXTILE TO HAVE A HORIZONTAL OVERLAP OF 150mm AT JOINTS.
 - SNOW FENCE TO BE UV STABILIZED HIGH DENSITY POLYETHYLENE OR APPROVED EQUIVALENT.

SEDIMENT CONTROL FENCE DETAIL

REGIONAL APPROVAL:
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
INFRASTRUCTURE PLANNING & POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT (905) 825-8032). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION, BEFORE THE WATER SUPPLY CAN BE TURNED ON.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTING ENGINEER AND MUST BE RETURNED UPON REQUEST.
REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTING ENGINEER.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTING ENGINEER.
THE CONSULTING ENGINEER DID NOT RETAIN THE CONSULTANTS AND THEREFORE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. DRAWING. NO CONSTRUCTION SHALL BE PROCEEDED WITHOUT THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
THE BUILDER SHALL VERIFY AND CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO STARTING ANY OF THE WORK AND REPORT ANY DISCREPANCY TO THE ENGINEER AND CONSULTANTS BEFORE PROCEEDING.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION PERTAINING TO THIS APPLICATION.
NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OR POLLUTION OF THIS SITE.
THIS DRAWING IS NOT TO BE SCALED.
ALL DIMENSIONS AND AREAS TO BE CONFIRMED ON SITE BY AN ONTARIO LAND SURVEYOR.

REVISIONS:

NO.	DETAILS:	DATE:
1	FIRST SUBMISSION	21.11.22
2	ISSUED FOR APPROVAL	22.04.13
3	RE-ISSUED FOR APPROVAL	22.07.20
4	RE-ISSUED FOR APPROVAL	22.08.25
5	RE-ISSUED FOR APPROVAL	24.08.28

- LEGEND:
- SANITARY MANHOLE
 - STORM MANHOLE
 - CATCHBASIN
 - HYDRANT
 - VALVE & BOX
 - TOP OF CURB
 - B/C BOTTOM OF CURB
 - EX. ELEVATION
 - PROPOSED ELEVATION
 - DIRECTION OF SURFACE DRAINAGE
 - FINISHED FIRST FLOOR ELEVATION
 - FINISHED BASEMENT SLAB ELEVATION
 - UNDERSIDE OF FOOTING ELEVATION
 - WALKOUT DECK
 - BELL PEDESTAL
 - CABLE PEDESTAL
 - HYDRO TRANSFORMER
 - LIGHT STANDARD
 - H.P. HYDRO POLE
 - DOWNSPOUT LOCATION
 - WINDOW WELL
 - EX. TREE TO BE REMOVED
 - PROPOSED TREE
 - SILT FENCE
 - HOARDING FENCE
 - TPZ

STANDARD NOTES:

- THE LOCATION OF ALL UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THE SAME.
- THE BUILDER IS RESPONSIBLE TO RESTORE ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO TOWN OF OAKVILLE.
- IF FOR UNFORESEEN REASONS THE BUILDER MAY HAVE TO ENCLOSE OR TO ENTER PRIVATE LANDS TO UNDERTAKE ANY WORKS, THE BUILDER SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON THE PRIVATE PROPERTY TO PERFORM ANY WORKS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECT'S APPROVED SITE PLAN FOR FINISHED FLOOR AND BASEMENT SLAB ELEVATIONS AND THE MECHANICAL DRAWINGS FOR CONFIRMATION OF LOCATION AND ELEVATION OF THE SERVICE CONNECTIONS TO THE BUILDING PRIOR TO INSTALLATION. DISCREPANCIES SHALL BE REPORTED TO EAGLEBROOKE ENGINEERING LIMITED.
- THE CONTRACTOR SHALL NOTIFY EAGLEBROOKE ENGINEERING LIMITED AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO ARRANGE FOR INSPECTIONS. EAGLEBROOKE ENGINEERING LIMITED CANNOT CERTIFY ANY PORTION OF THE WORKS NOT INSPECTED DURING CONSTRUCTION.
- ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- ALL WORK AND MATERIALS SHALL CONFORM WITH CURRENT PROVINCIAL BUILDING CODE, MINISTRY OF THE ENVIRONMENT OF ONTARIO, REGIONAL MUNICIPALITY OF HALTON AND TOWN OF OAKVILLE STANDARDS AND SPECIFICATIONS. LOCAL UTILITY STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPSD & OPSS) WILL APPLY, WHERE REQUIRED.
- A MINIMUM CLEARANCE OF 1.2m MUST BE PROVIDED AND MAINTAINED FROM ANY HYDRO STREET LIGHT/UTILITY POLES, FIRE HYDRANTS OR OTHER ABOVE GROUND FIXTURES AND THE PROPOSED DRIVEWAY. IF THIS IS NOT POSSIBLE AT JOINTS, THIS MUST BE APPROVED BY THE UTILITY COMPANY OR TOWN, AS THE CASE MAY BE, AT THE APPLICANT'S EXPENSE.
- ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS SHALL BE CONFIRMED BY A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO PLACING OF ANY CONCRETE.
- TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM GREATER TORONTO ACRES SURVEYING INC. DRAWING NO. 20329 DATED 20.11.11.

TOWN OF OAKVILLE BENCHMARK No. 24: ELEVATION: 77.602 m.

OWNER: MARK AND CARMELA DOVALE
20 BELVEDERE DRIVE
OAKVILLE, ON L6L 4B6
TEL: (416) 804-0867 / (416) 725-5407

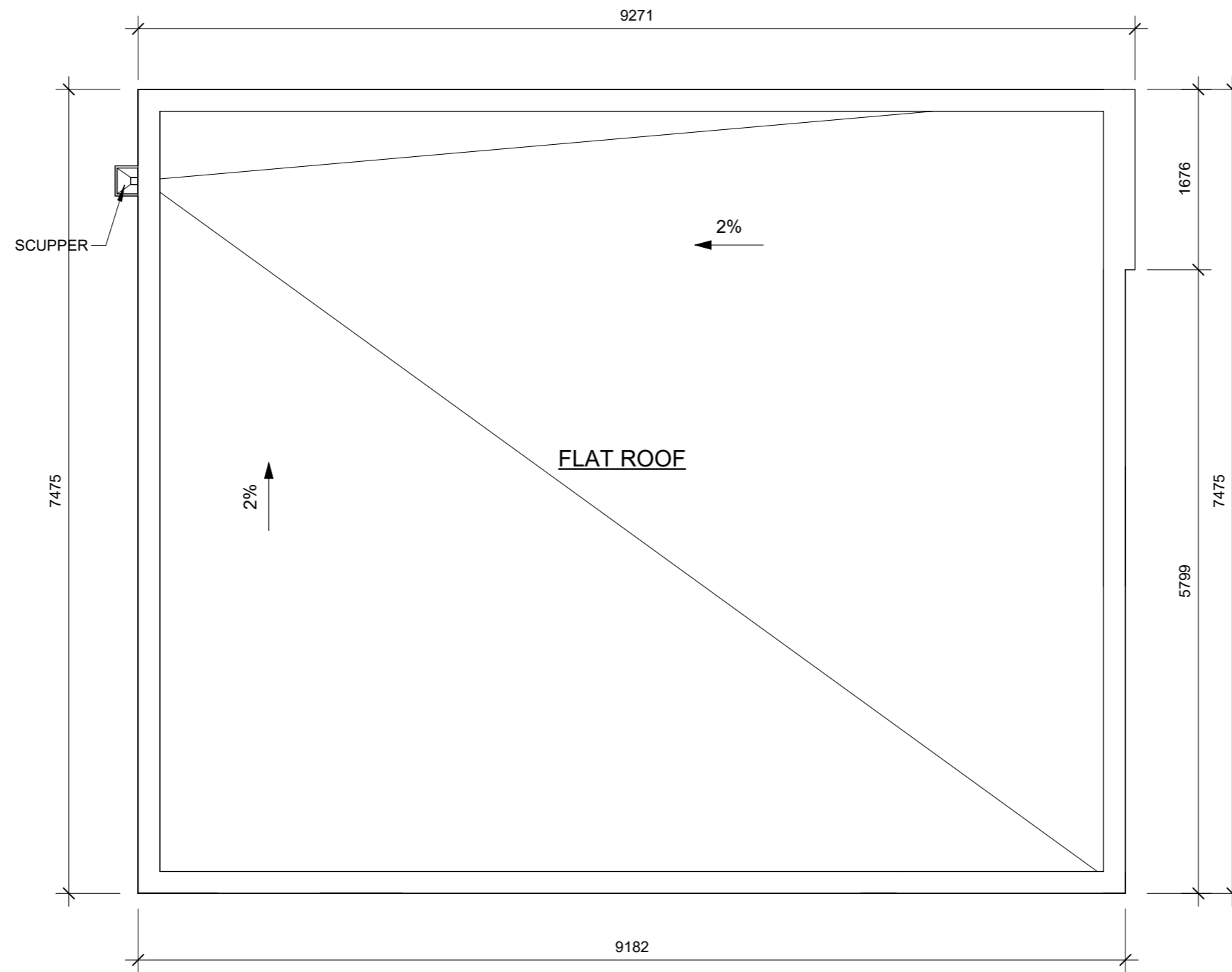
PROJECT: PROPOSED RESIDENCE
20 BELVEDERE DRIVE
TOWN OF OAKVILLE

ENGINEER: Eaglebrooke Engineering Limited
Consulting Engineers
1228 Gorham Street, Unit 15
Newmarket, ON L3Y 8Z1
Tel: 905.286.3553 Fax: 905.657.5811
Email: eaglebrooke@rogers.com

DRAWING TITLE: LOT SERVICING & GRADING PLAN

ENGINEERS STAMP: _____ SCALE: 1:150 DRAWN BY: bm
DATE: 24.08.27 DESIGNED BY: JGM
TOWN NO.: 21-134142
DRAWING NO.: 21060-LSG-1





LEGEND

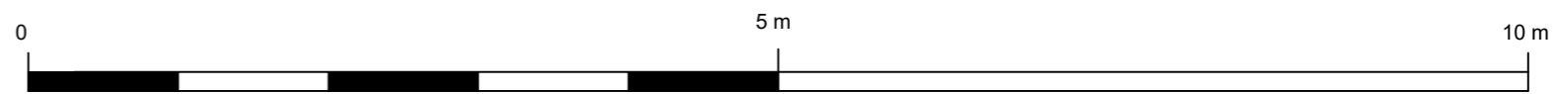
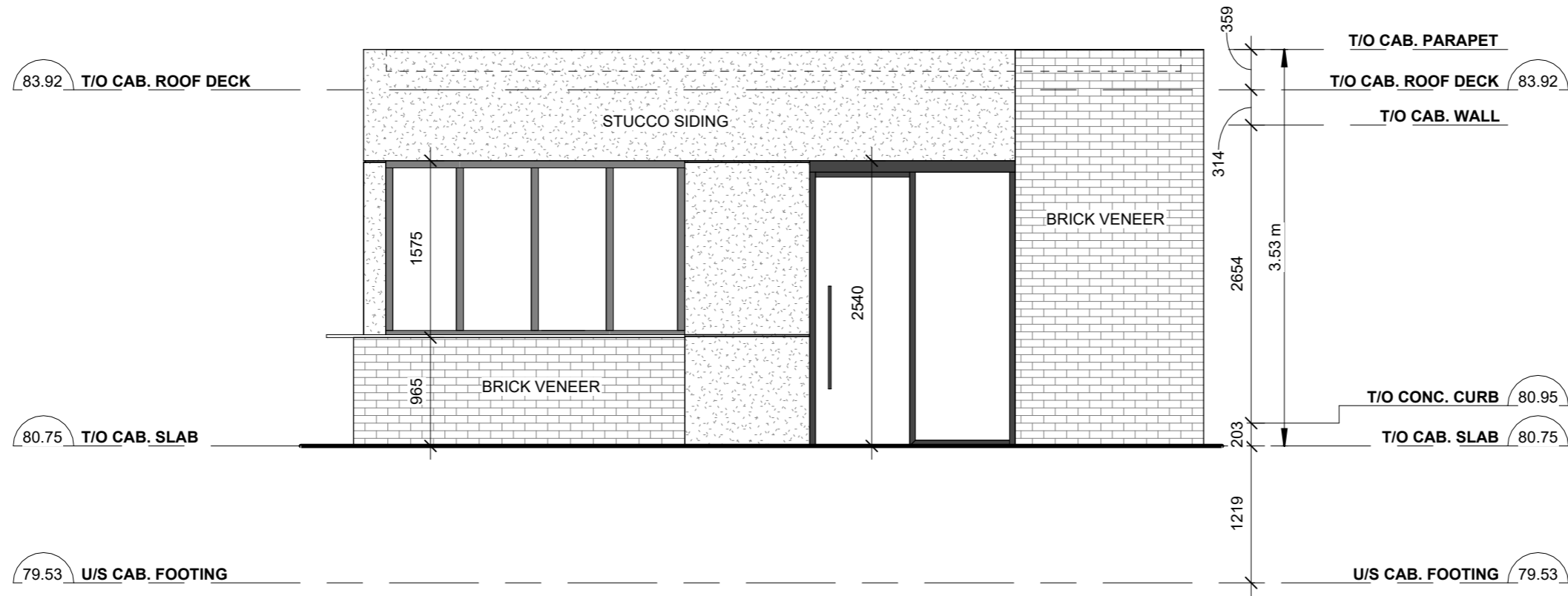
- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- PROPOSED WALLS



ROOF PLAN

Scale: 1 : 50

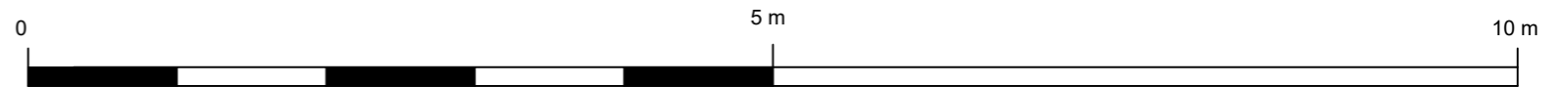
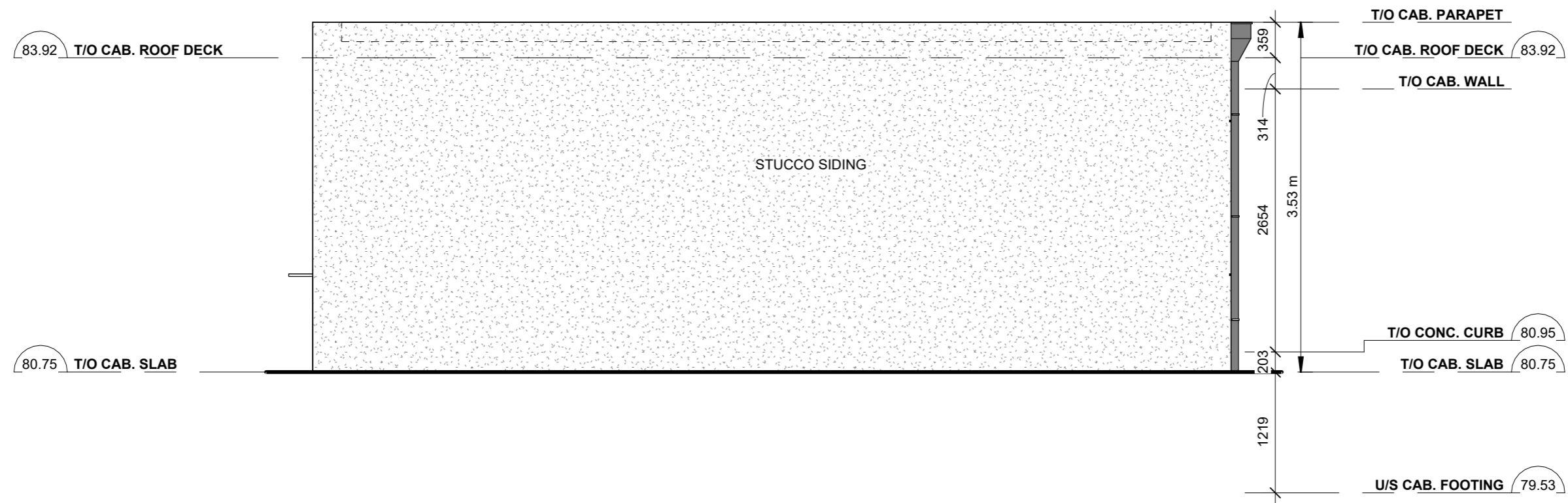
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EAST ELEVATION

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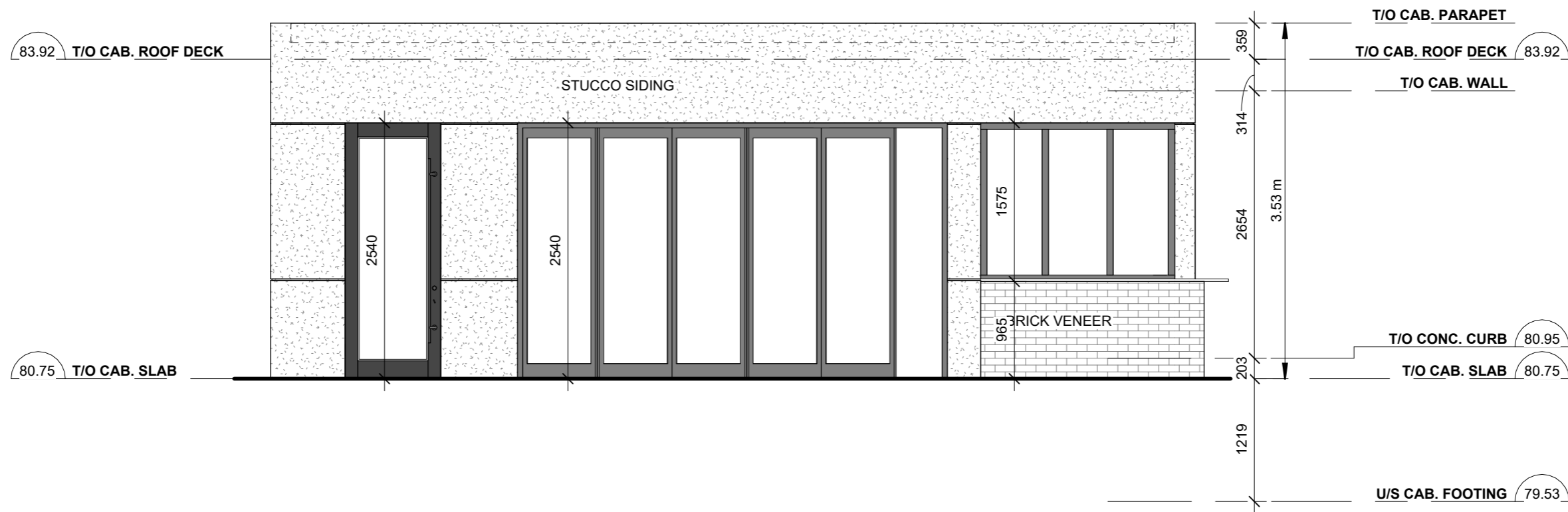
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NORTH ELEVATION

Scale: 1 : 50

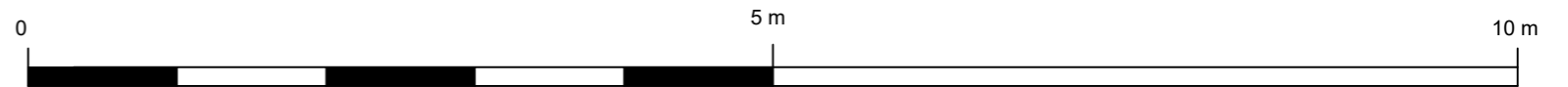
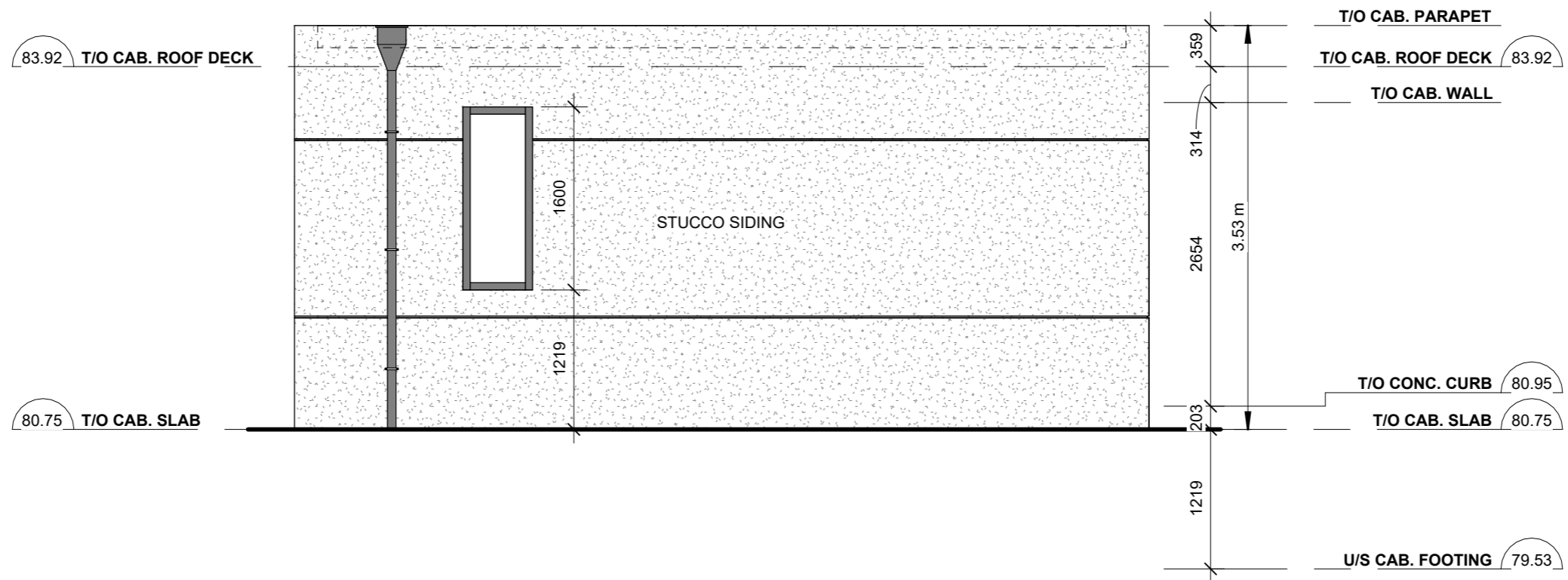
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SOUTH ELEVATION

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WEST ELEVATION

Scale: 1 : 50

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Lakeshore Tree Services Inc.

1011 Upper Middle Road E. Suite 1550 Oakville ON L6H 5Z9

905-407-5253 | lakeshoretreeservices@gmail.com | www.lakeshoretreeservices.ca

ARBORIST REPORT & TREE PROTECTION PLAN

Project Address:

20 Belvedere Drive, Oakville, Ontario

Prepared by Lakeshore Tree Services Inc.

20 January 2021

Revised 17 May 2022

Stephen Shelton ON-0542AT, TRAQ 1589

steve@summitsks.ca

Arborist Report - 20 Belvedere Drive, Oakville, Ontario

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Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Lakeshore Tree Services Inc. have been retained by the property owners to prepare this Arborist Report and Tree Protection Plan for 20 Belvedere Drive in Oakville, Ontario. The tree assessment was completed on the 16th day of January 2021 on a clear and sunny day.

The purpose of this report is to inventory and assess trees 15cm in diameter, measured at breast height and larger on the subject property, in the city road allowance adjacent to the property and any trees within 6m of the property line.

The owner of this property intends to demolish the existing house and build a new one. Six (6) of the trees on this property will need to be removed as a result of the proposed construction. *As this property is very well treed with considerable new grading needed the owners have opted to pay cash in lieu of replanting the requested 18 replacement trees. Replacement trees must be a minimum of 30mm caliper if they are deciduous or a minimum of 150cm in height if they are coniferous. It is preferred that the majority of new trees are deciduous trees, where possible, and that trees be planted in both the front and back yard. This can include planting some 'large/medium stature trees' such as oak, tulip tree, Kentucky coffee tree, zelkova, linden, etc., and other options include planting some small ornamental/flowering trees, such as dogwood, Japanese lilac, etc. Another option is to plant trees that are columnar/narrow in form, such as columnar tulip tree, columnar European hornbeam, columnar oak, etc. These can be planted with closer spacing to form a privacy screen or hedge row. Juniper/yew/emerald cedars are not accepted as primary replanting for conifer trees. If cedar is accepted, only white cedar can be used, not emerald cedar. If conifers are planted, it is preferred that large stature coniferous trees be planted, such as eastern white pine, eastern hemlock, etc*

Municipally Owned Trees



Tree M1 is a 29cm dbh Red Maple that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.



Tree M2 is a 92cm dbh Silver Maple that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 6m.



Tree M3 is a 63cm dbh Silver Maple that is growing near the street in front of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 4.2m.



Tree M4 is a twin stemmed Paper Birch that is growing near the property line in front of the house. This tree is in poor condition and requires a tree protection zone of 2.4m.

Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Tree Number	Tree Species	Diameter of Appraised Tree (cm)	Area Of Appraised Tree (cm)	Diameter of Replacement Tree (cm)	Area of the Replacement Tree (cm)	Cost of Replacement Tree	Basic Price	Species Rating	Basic Value	Location Rating	Condition's Rating	Appraised Value (\$)
M1	Red Maple	29	660.185	8	827.5	927.5	1.120845921	61.00%	813.1041	70.00%	75.00%	426.879629
M2	Silver Maple	92	6644.24	10	1250	927.5	0.742	56.00%	3168.915	65.00%	75.00%	1544.84587
M3	Silver Maple	63	3115.665	10	1250	785	0.628	56.00%	1441.117	65.00%	75.00%	702.54457
M4	Paper Birch	20	314	8	927.5	500	0.539083558	55.00%	318.0997	65.00%	60.00%	124.058895

Neighbouring Trees

Tree N1 is a 20cm dbh Fir tree that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree N2 is a 15cm dbh Fir tree that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree N3 is a 40cm dbh Norway Spruce that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N4 is a 40cm dbh Poplar that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N5 is a 39cm dbh Poplar that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N6 is a 50cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N7 is a 49cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N8 is a 51cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3.6m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N9 is a twin stemmed Green Ash that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is dead and is recommended for removal. A written letter of consent will be needed from the neighbour should you choose to remove this tree.

Privately Owned Trees

Tree P1 is a White Cedar Hedge that is growing near the south property line in the front yard. These trees are in good condition and shall have protective tree hoarding erected along the drip line.

Tree P2 is a 39cm dbh Norway Spruce that is growing near the south east corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P3 is a 60cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P4 is a 43cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P5 is a 38cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Tree P6 is a 42cm dbh Austrian Pine that is growing near the south property line in the backyard. This tree is in fair condition and requires a tree protection zone of 3m.

Tree P7 is a 57cm dbh White Pine that is growing near the south property line in the backyard. This tree is in poor condition and requires a tree protection zone of 3.6m.

Tree P8 is a 22cm dbh Blue Spruce that is growing near the south property line in the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P9 is a 38cm dbh Green Ash that is growing on the south property line in the backyard and as a boundary tree, ownership is shared with the owners of 14 Belvedere Drive. This tree is infested with Emerald Ash Borer and is recommended for removal. As this tree is a boundary tree, a signed agreement letter from the neighbour will be required for its removal.

Tree P10 is a 65cm dbh Norway Spruce that is growing near the south west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 4.2m.

Tree P11 is a 20cm dbh Poplar that is growing near the north west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P12 is a 30cm dbh Apple tree that is growing near the north west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P13 is a 95cm dbh Silver Maple that is growing on the west side of the existing dwelling. This tree is in fair condition however it is recommended for removal due to development impacts.

All protective tree hoarding shall be installed prior to commencement of any demolition or construction activities as per Town of Oakville specifications.

Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Tree Number	Common Name	Latin Name	DBH (cm)	Height	Spread	Crown Height	Health	Structure	TPZ (m)	Site Plan Results
M1	Red Maple	<i>Acer rubrum</i>	29	8	5	6	F	F	2.4	Preserve
M2	Silver Maple	<i>Acer saccharinum</i>	92	20	15	17	F	F	6	Preserve
M3	Silver Maple	<i>Acer saccharinum</i>	63	20	10	16	P	F	4.2	Preserve
M4	Paper Birch	<i>Betula papyrifera</i>	15/18	6	5	4	F	P	2.4	Preserve
N1	Fir	<i>Abies balsamea</i>	25	15	5	10	F	F	2.4	Preserve
N2	Fir	<i>Abies balsamea</i>	15	15	3	10	F	F	2.4	Preserve
N3	Norway Spruce	<i>Picea abies</i>	40	20	5	10	F	F	3	Preserve
N4	Poplar	<i>Populus alba</i>	40	18	10	10	F	F	3	Preserve
N5	Poplar	<i>Populus alba</i>	39	18	10	10	F	F	3	Preserve
N6	Norway Spruce	<i>Picea abies</i>	50	20	10	15	F	F	3.6	Preserve
N7	Norway Spruce	<i>Picea abies</i>	49	20	10	15	F	F	3	Preserve
N8	Norway Spruce	<i>Picea abies</i>	51	18	10	15	F	F	3.6	Preserve
N9	Green Ash	<i>Fraxinus pensylvanica</i>	40/40	8	3	5	P	P	3	Preserve
P1	White Cedar Hedge	<i>Thuja occidentalis</i>	10-15	18	3	10	F	F	2.4	Preserve
P2	Norway Spruce	<i>Picea abies</i>	39	15	5	5	F	F	3	Remove
P3	Norway Spruce	<i>Picea abies</i>	60	20	10	18	F	F	3.6	Remove
P4	Norway Spruce	<i>Picea abies</i>	43	20	8	18	F	F	3	Remove
P5	Norway Spruce	<i>Picea abies</i>	38	20	5	18	F	F	3	Remove
P6	Austrian Pine	<i>Pinus nigra</i>	42	18	5	5	F	F	3	Preserve
P7	White Pine	<i>Pinus strobus</i>	57	10	8	6	F	P	3.6	Preserve
P8	Blue Spruce	<i>Picea glauca</i>	22	6	4	4	F	F	2.4	Preserve
P9	Green Ash	<i>Fraxinus pensylvanica</i>	38	15	5	8	P	P	3	EAB
P10	Norway Spruce	<i>Picea abies</i>	65	20	10	14	F	F	4.2	Preserve
P11	Poplar	<i>Populus alba</i>	20	8	5	4	F	F	2.4	Preserve
P12	Apple	<i>Malus spp.</i>	30	6	8	3	F	F	3	Preserve
P13	Silver Maple	<i>Acer saccharinum</i>	95	20	15	10	F	F	6	Remove

Tree ownership is indicated by the tree naming system, tree names beginning with the letter M are municipally owned, tree names beginning with the letter N are on neighbouring properties within 6m of the property line and tree names beginning with the letter P are privately owned and on the subject property. Tree P9 is a boundary tree growing on the property line shared with 14 Belvedere Drive.

Arborist Report - 20 Belvedere Drive, Oakville, Ontario



The International Society of Arboriculture

Hereby Announces That

Stephen W. Shelton

Has Earned the Credential

ISA Certified Arborist ®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council


Caitlyn Pollihan
CEO & Executive Director

18 March 2000

30 June 2024

ON-0542AT

Issue Date

Expiration Date

Certification Number



The International Society of Arboriculture

Hereby Announces That

Stephen W. Shelton

Has Earned the Credential

ISA Tree Risk Assessment Qualification®

By successfully meeting ISA Tree Risk Assessment Qualification certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council


Caitlyn Pollihan
CEO & Executive Director

1 February 2013

19 August 2021

Issue Date

Expiration Date



Arborist Report - 20 Belvedere Drive, Oakville, Ontario

LIMITATIONS OF ASSESSMENTS

It is the policy of Lakeshore Tree Services Inc. to attach the following clause in regards to limitations. This is to ensure that the client is fully aware of what is technically and professionally realistic in the preservation and assessment of trees in the urban environment.

The assessment of the trees in this report has been done in conjunction with and according to accepted arboriculture methods and techniques. These include an examination of the above ground parts of the tree for structural defects, scars, cracks, the overall condition of the root structures, the severity and direction of lean (if any), the general condition of the trees and the surrounding environment, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, symptoms of infestation and pathogens, discoloured foliage, and the proximity of potential targets should a tree fail. Except where specifically noted, the trees were not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations, or samples taken to be scientifically tested.

Notwithstanding the recommendations and conclusions presented in this report, it must be acknowledged that trees are living organisms. They are not immune to changes in site conditions, dramatic weather events or seasonal variations in climate. Therefore it should always be recognized that trees are ever evolving and their health and vigour constantly vary over time. While all reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered or implied that these trees or part(s) of any trees will remain intact.

It is professionally and practically impossible to predict with absolute certainty the behaviour of any tree or its component parts under all circumstances and variables. Most trees have the potential for failure under adverse weather conditions and the risk can only be completely eliminated if the tree is removed. Inherently, a standing tree will always pose some level of risk. Although every effort has been made to ensure that this assessment is reasonably accurate, trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

This report is property of Lakeshore Tree Services Inc. and/or its agents and may not be used until payment is made in full unless written permission is granted. Lakeshore Tree Services Inc. reserves the right to withdraw this report and its recommendations, if any requirements are not met. All details and graphics are copyright of Lakeshore Tree Services Inc.

On behalf of Lakeshore Tree Services Inc.



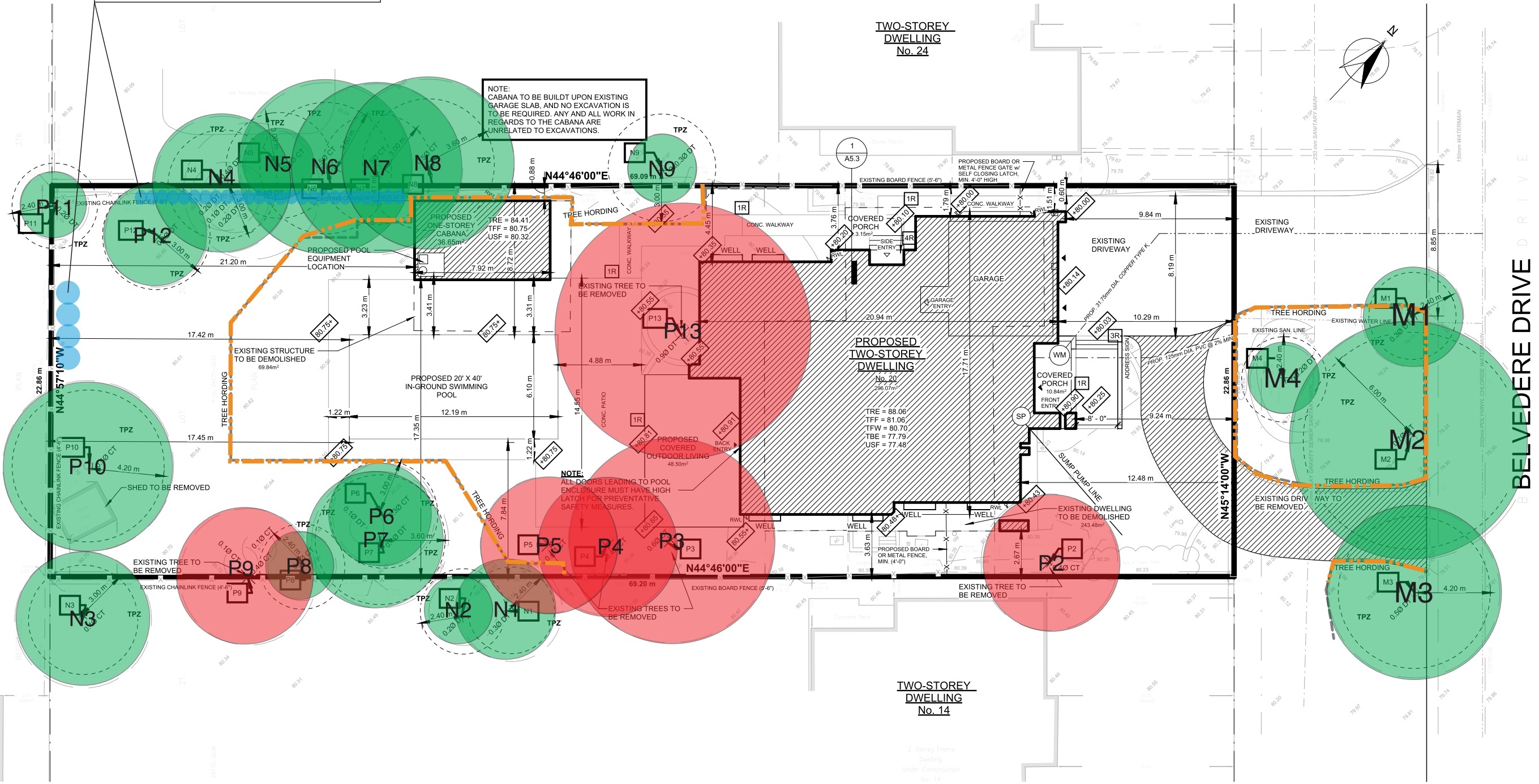
Sebastian Bravo,
Certified Arborist
ISA ON-1852A



ON-1852A

LOCATION OF PROPOSED REPLACEMENT TREES

KEY MAP - N.T.S.



LEGEND

- property line
- existing tree number (refer to chart)
- existing vegetation to remain
- existing vegetation to be removed
- minimum tree protection zone (tpz) - as per Town of Oakville guidelines
- location of proposed replacement tree
- tree protection

NOTE:
Vegetation inventory undertaken by Stephen Shelton, ISA Certified Arborist (ON-#0542AT) on 23 April 2021

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		

CERTIFICATIONS

TRAQ 1589

ON-0542AT

CLIENT
Finelines Designs Inc.

MUNICIPALITY
Town of Oakville

PROJECT
Private Residence
20 Belvedere Drive

MUNICIPAL FILE NUMBER
#- n/a

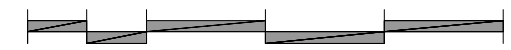
SHEET
Tree Protection Plan

SCHEDULE 1
TREE PROTECTION BARRIER
OAKVILLE

Tree Protection Barriers

- Tree protection barriers must be 1.2m (4ft) high, weatherboard boarding or an equivalent approved by the Planning Department.
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic webbing forcing on a wood frame made of 2x4's.
- Where some excavation or fill has to be temporarily located near a tree protection barrier, provision must be made to ensure no material enters the Tree Protection Zone.
- All supports and trussing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Note: not to scale



SUMMIT
PROFESSIONAL CONSULTING ARBORISTS

5-871 Equestrian Court
Oakville, ON L6L 6L7
1. 289.830.8900
www.summitsks.ca



NOTICE OF EXPIRED PERMIT

21-134142
20 Belvedere Dr

October 16, 2024

Dear **Mark Dovale**

This email is notice that permit number **21-134142** above address has expired as of **Aug 30/24** and is now in violation of the Site Alteration By-law 2023-047.

If the works under this permit have been completed, log into [your town account](#) and request a Final Inspection. For information on final inspections, please visit "[What do I Need to do to Prepare my Development Engineering Application?](#)"

If you require additional time beyond the current expiry date to complete the works applied for, log into [your town account](#) and request a Permit Renewal and pay the applicable renewal fees by **Oct 30/24**.

If you do not intend to complete the works under this permit, as per By-law 2023-047, Section 9.7, you are required to restore the property to its original condition. Please have the restoration completed within 30 days after the permit expiry date, or contact the Transportation and Engineering Department to apply for an extension.

Please note that you must have a valid permit/approval from the Town of Oakville to continue the works applied for. Failure to obtain a valid permit/approval is an offence under the town's by-laws and may result in charges.

For assistance regarding this email, please contact service@oakville.ca or 905-845-6601.

Regards,

Transportation & Engineering Department

c. **Fine Lines Design (Joshua Theriault)**