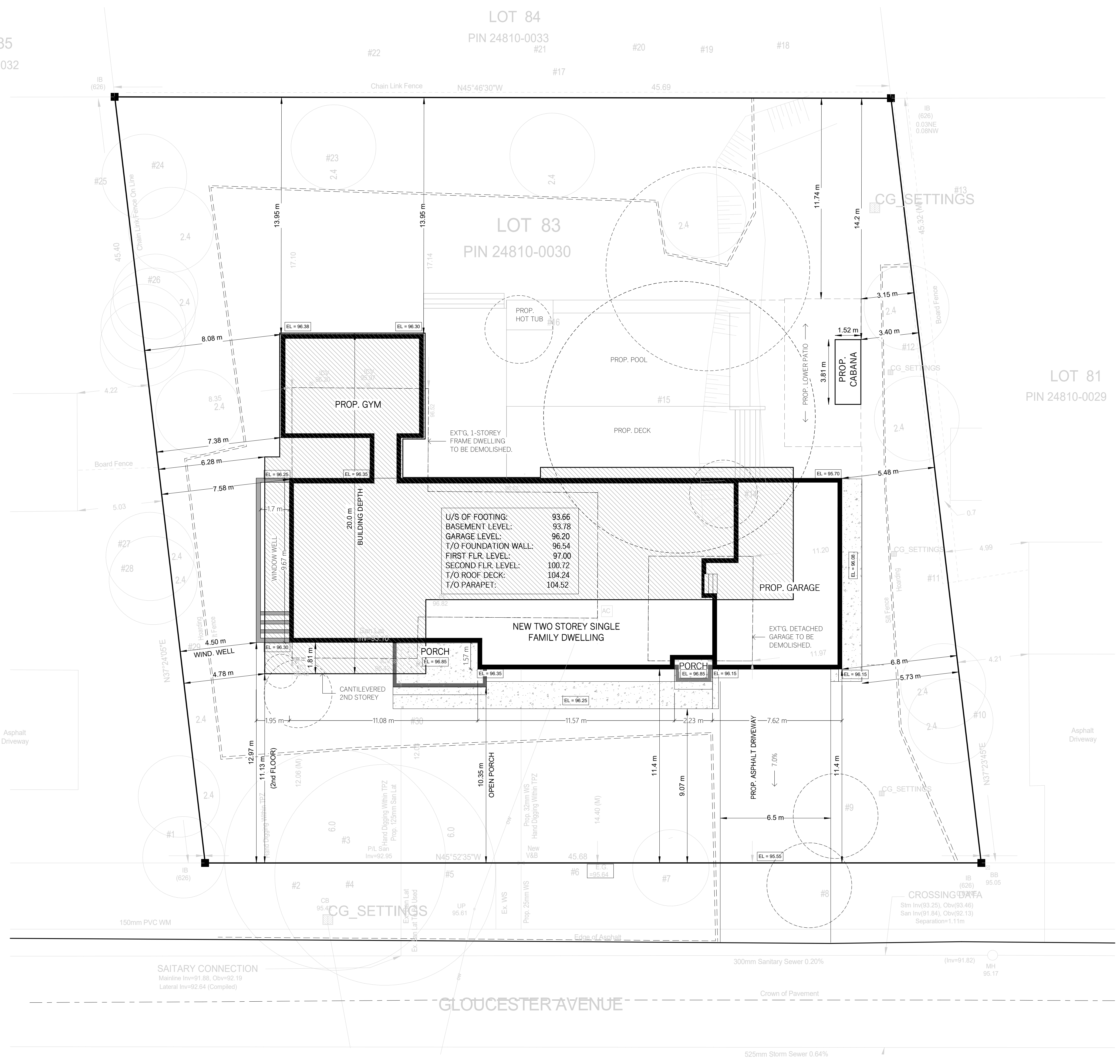


LOT 85  
PIN 24810-0032

LOT 84  
PIN 24810-0033

LOT 83  
PIN 24810-0030

LOT 81  
PIN 24810-0029



U/S OF FOOTING:

U/S OF FOOTING:	93.66
BASEMENT LEVEL:	93.78
GARAGE LEVEL:	96.20
T/O FOUNDATION WALL:	96.54
FIRST FLR. LEVEL:	97.00
SECOND FLR. LEVEL:	100.72
T/O ROOF DECK:	104.24
T/O PARAPET:	104.52



VICINITY MAP

RESIDENTIAL FLOOR AREA

LEVEL 1	325.9 m <sup>2</sup>
LEVEL 2	303.3 m <sup>2</sup>
<b>TOTAL RFA</b>	<b>628.9 m<sup>2</sup></b>
BASEMENT	323.3 m <sup>2</sup>
GARAGE	74.2 m <sup>2</sup>

OAKVILLE, ZONING BY-LAW

SINGLE DETACHED - RL1-0	REQUIRED (m)	PROPOSED (m)
MIN. FRONT YARD	10.88*	11.13
MIN. REAR YARD	10.5	13.95
MIN. FLANKAGE YARD	4.2	N/A
MIN. INTERIOR SIDE YARD	4.2	5.48 / 4.5
MAXIMUM HEIGHT	9	8.88
MAXIMUM BLDG DEPTH	20	20
MAXIMUM FLOOR RATIO	29%(597 m <sup>2</sup> )	30.57% (628.9 m <sup>2</sup> )
MAX. LOT COVERAGE %	25%(515 m <sup>2</sup> )	22.46% (461.9 m <sup>2</sup> )
ESTABLISHED GRADE		95.64 m

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DRAWINGS, THE DESIGN, AND THE DETAILS THEREON REMAIN THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE ALTERED, RE-USED OR REPRODUCED WITHOUT THE DESIGNER'S EXPRESS WRITTEN CONSENT.

THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MUST CONFIRM & CORRELATE ALL DETAILS WITHIN THE FULL DRAWING PACKAGE BEING RESPONSIBLE FOR SAME THROUGHOUT CONSTRUCTION, REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING THE RELEVANT WORK. ALL DRAWINGS, DETAILS & SPECIFICATIONS REPRESENTED IN THE DRAWINGS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN ISSUED BY THE DESIGNER AND NOTED ACCORDINGLY IN THE "ISSUE/REVISIONS" BOX HEREON.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (OBC) TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1 OF THE ONTARIO BUILDING CODE (OBC)  
LUIS MENDEZ 41896  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE ONTARIO BUILDING CODE (OBC)  
LM BUILDING DESIGN INC 126230  
FIRM NAME BCIN

CLIENT:  
**Anoop & Rutnaish Prihar**

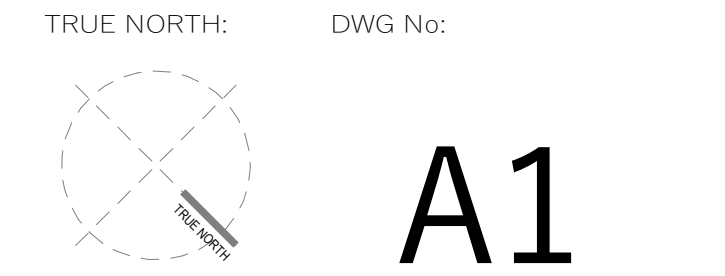
PROJECT:  
**OAK HOUSE**

LOCATION:  
**349 Gloucester, Oakville, ON**

DWG:  
**SITE PLAN**

No:	DATE:	STATUS:
8	20/10/2023	DRWGS FOR STRUCT
9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFE REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	09/27/2024	PERMIT RESUBMISSION

PROJECT NORTH: Drawn by: **LM**  
Date: **30/07/2024**  
Scale: **As indicated**  
Project No: **1824**



**A1**

**SITE GRADING PLAN OF LOT 83 REGISTERED PLAN 1009 TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON  
SCALE 1 : 150  
GRAPHIC SCALE - METRES

**REGISTERED PLAN 1009**

**EXCAVATION NOTES:**

- 1. APPROXIMATE GROUNDWATER ELEVATION IS TO BE CONFIRMED PRIOR TO CONSTRUCTION...
2. BUILDER TO VERIFY HOUSE CONNECTION INVERTS PRIOR TO EXCAVATION FOR FOOTING...
IMPERVIOUS SURFACE NOTE: ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS.

**MUNICIPAL RIGHT-OF-WAY NOTES**

- 1. ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF THE TOWN OF OAKVILLE PUBLIC WORKS...
2. ALL STREET TREES ARE TO BE ADEQUATELY PROTECTED WITH PLYWOOD HOARDING...
3. DRIVEWAY SURFACE AND BASE ASPHALT TO BE REMOVED, BOULEVARD TO BE RESTORED TO SATISFACTION OF TRANSPORTATION AND ENGINEERING DEPARTMENT.

**PROPOSED SANITARY/WATER NOTE**

THE PROPOSED SANITARY AND WATER CONNECTIONS WITHIN THE TREE PROTECTION ZONE (TPZ) TO BE DONE BY HAND WITH THE PROJECT ARBORIST ON SITE.

**DEMOLISHING NOTE**

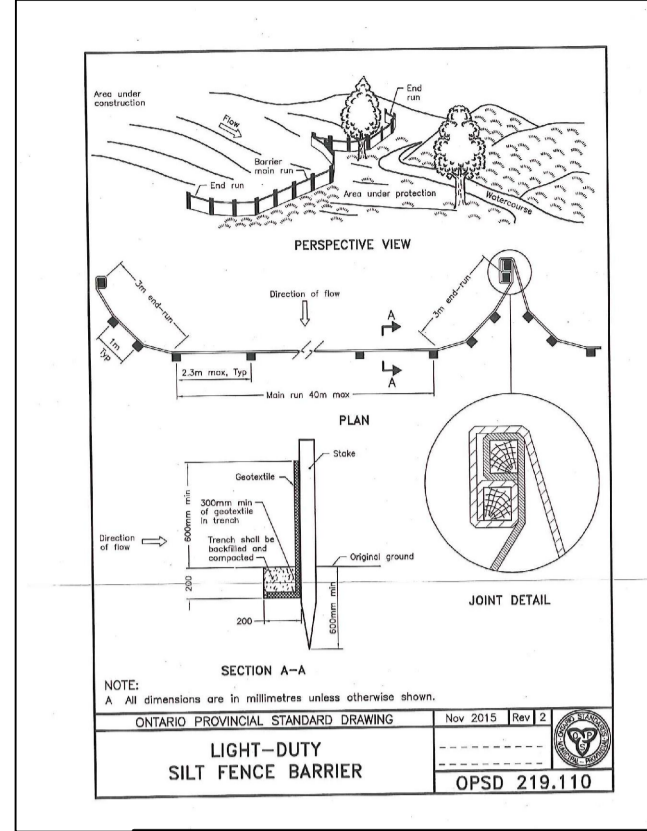
THE EXISTING DWELING, DETACHED GARAGE, PERGOLA AND WOOD DECK WRE TO BE REMOVED PRIOR TO EXCAVATION.

**EROSION AND SILTATION NOTES**

- 1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS...
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER...
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES...
4. WHERE A SITE REMAINS EXPOSED AND WHERE THE EXCELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER...
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES...
6. IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL OR DRAINING FROM THE SITE) THE OWNER OR OWNER'S AGENT SHALL IMMEDIATELY NOTIFY THE WCEO...

**TREE PROTECTION NOTE**

- 1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT...
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES...
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS...
4. WHERE LINES OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK...
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY, TO OR DAMAGED BY CONSTRUCTION WORK...
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH...
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLS, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.



Professional Seal of J.A. LEGAT, Professional Engineer, Ontario Land Surveyors, 1809.

**STANDARD DEVELOPMENT NOTES (A) ENGINEERING AND CONSTRUCTION DEPARTMENT**

- 1. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT...
2. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE...
3. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

**(B) GENERAL NOTES**

- 1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED...
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS...
3. THE STOCKPIILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELLING ON PROPOSED DRIVEWAY...
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD...
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS...
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED...
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER...
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE...
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES...
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE RENSTATED WITH TOPSOIL AND SOO TO THE SATISFACTION OF THE TOWN OF OAKVILLE...
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION...
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION...
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS...
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING...
15. OUTSIDE FINISHED FLOOR TO BE A MINIMUM OF 150 mm BELOW BRICKSTONE VENEER ELEVATION...
16. PRIOR TO ANY SOILING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRABED AND TOPSOILED AND SOOED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N+1 NURSERY SOO AND A MINIMUM DEPTH OF 150 mm OF SOO...
17. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%...
18. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%...
19. WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1...
20. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN...
21. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS...
22. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS...
23. SEEDMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS...
24. ALL DAMAGED AND DISTURBED AREAS TO BE RENSTATED WITH TOPSOIL AND SOO.

**(C) UTILITIES CONNECTION**

- 1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE...
2. STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE...
3. WATER: (A) EXISTING 20mm SERVICE CONNECTION MAIN TO P/L TO BE DISCONNECTED AT MAIN...
(B) NEW 32mm WATER SERVICE, SOFT COPPER, TYPE "K" TO BE CONSTRUCTED DWELLING TO PROPERTY LINE...
(C) NEW 25mm WATER SERVICE, SOFT COPPER, TYPE "K" TO BE CONSTRUCTED PROPERTY LINE TO MAIN...
(D) 20mm WATER SERVICE TO BE INSTALLED WHERE SERVICE EXISTERS BUILDING.

**SITE STATISTICS - ZONE RL1-0**

- 1. LOT AREA = 2,057 m<sup>2</sup>
2. LOT FRONTAGE = 45.67m (30.50m Minimum)
3. AREAS FOR COVERAGE = 461.9 m<sup>2</sup>
4. LOT COVERAGE = 22.46% (25.0% Maximum)
5. ESTABLISHED GRADE = 95.64m
6. BUILDING HEIGHTS: ROOF RIDGE = 8.88m (9.00m Maximum); FRONT = 11.40m (Dwelling) (Between 10.89m And 16.38m); REAR = 13.95m (Dwelling) (10.50m Minimum); SIDES: 4.78m AND 5.46m (Dwellings) (4.20m Min. Each Side); SIDES: 4.50m (Window Wall)
7. FLOOR AREA = 628.9 m<sup>2</sup>
8. F.A./LOT RATIO = 30.57% (29% Maximum)
9. DWELLING DEPTH = 20.00m

**REGIONAL APPROVAL**

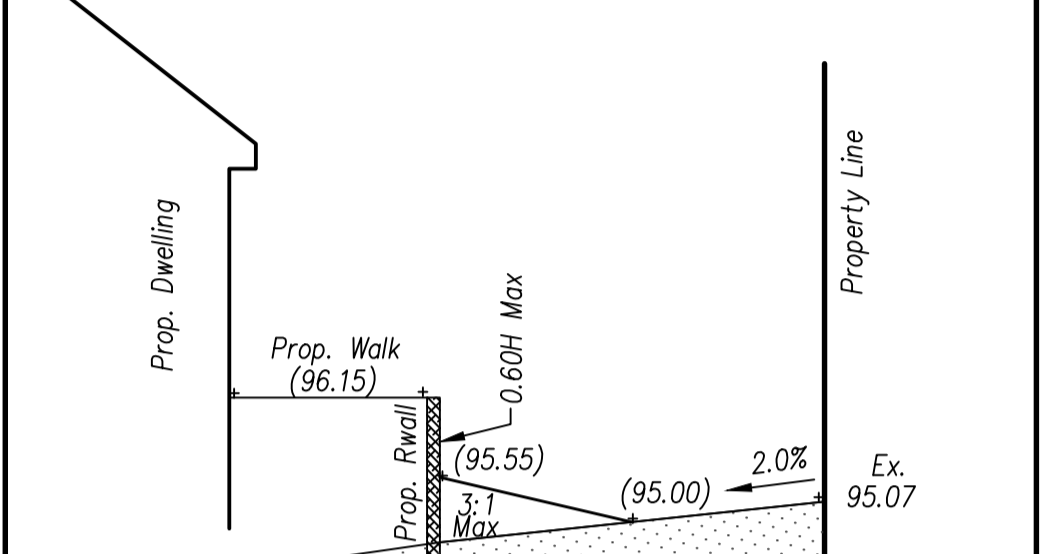
REVISIONS table with columns for DATE, REVISIONS, INITIAL, B.P. and SCALE 1:150.

**ARBORIST'S REPORT NOTE**

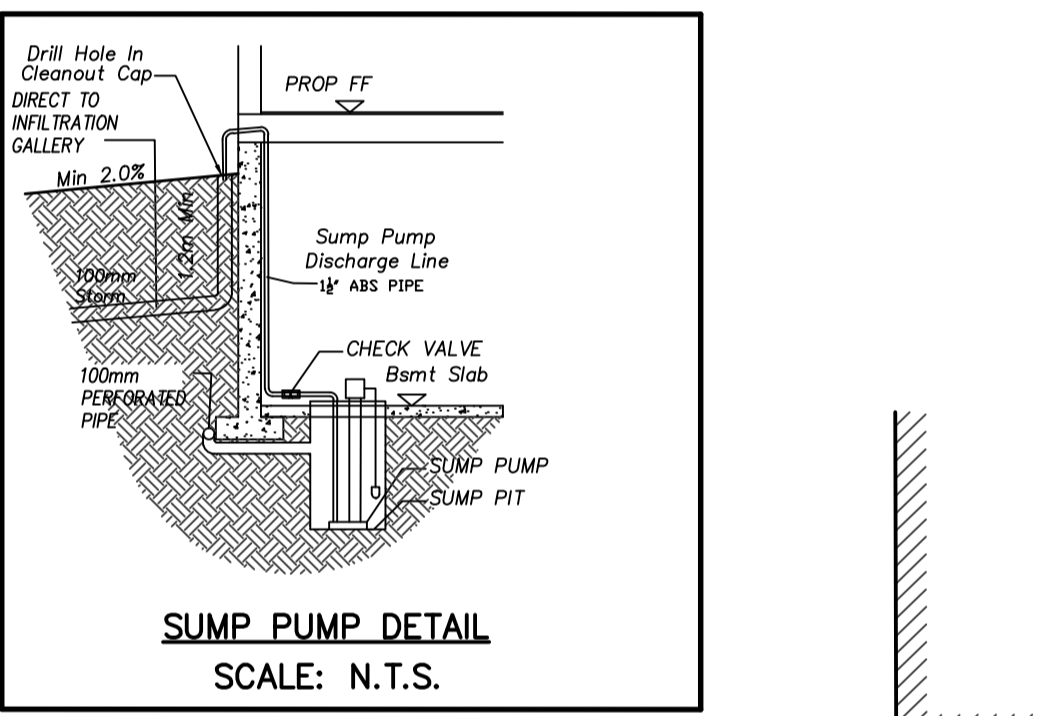
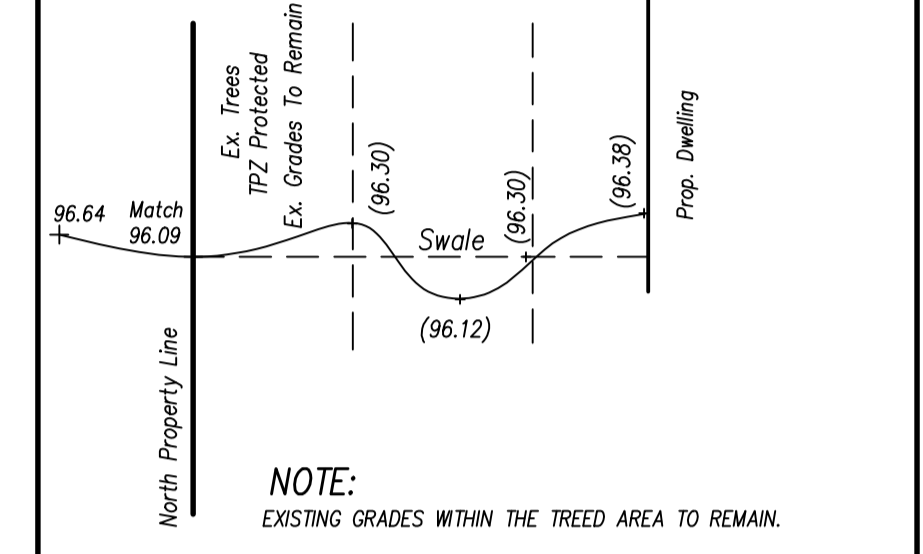
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**THE PRIHAR RESIDENCE SITE PLAN**

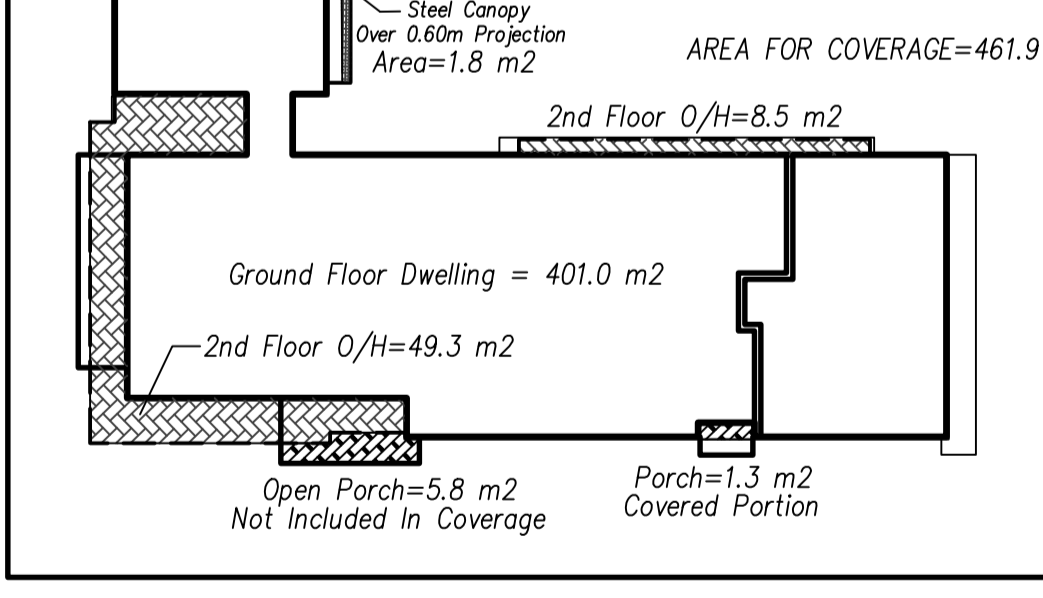
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**CROSS-SECTION B-B NOT TO SCALE TYPICAL FOR NORTH SIDEYARD**



**AREA COVERAGE DETAIL SCALE 1 : 300**



**BOUNDARY NOTE**

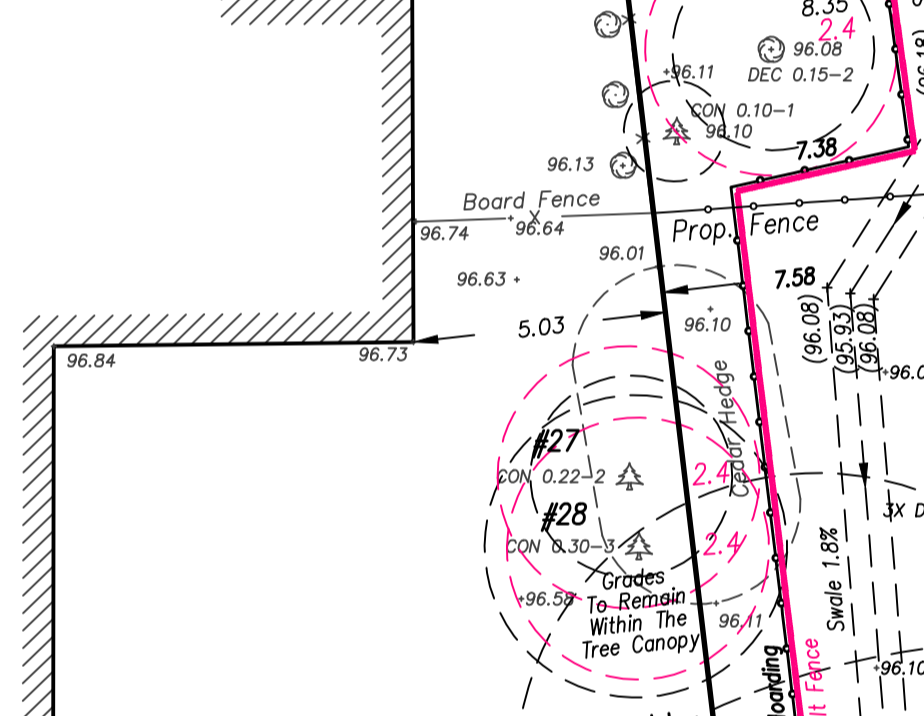
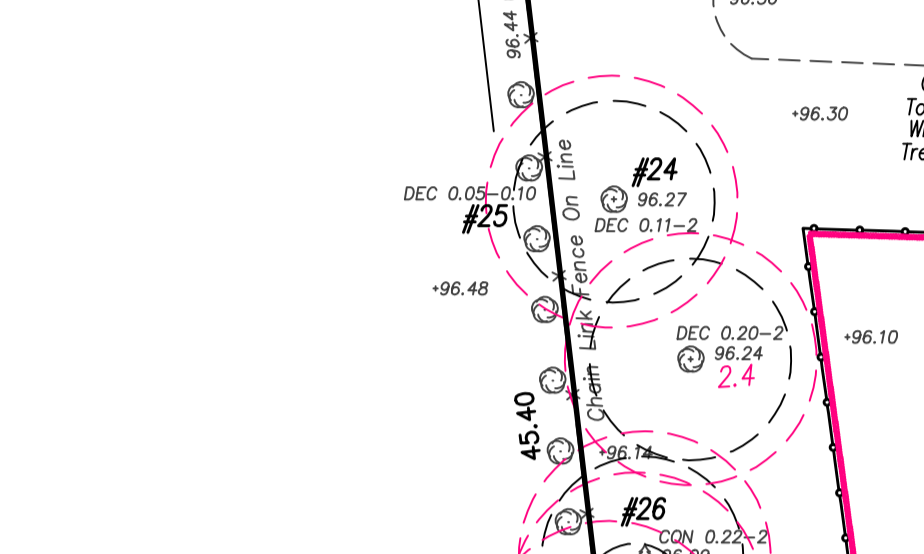
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**GRADING CERTIFICATION NOTE**

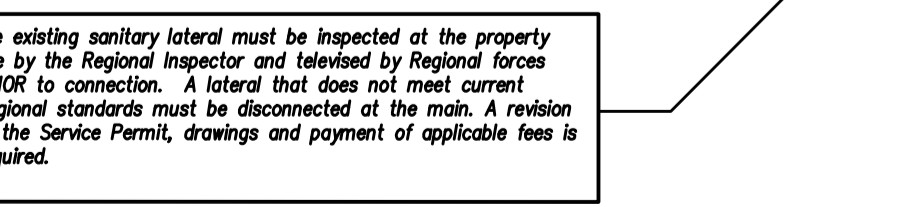
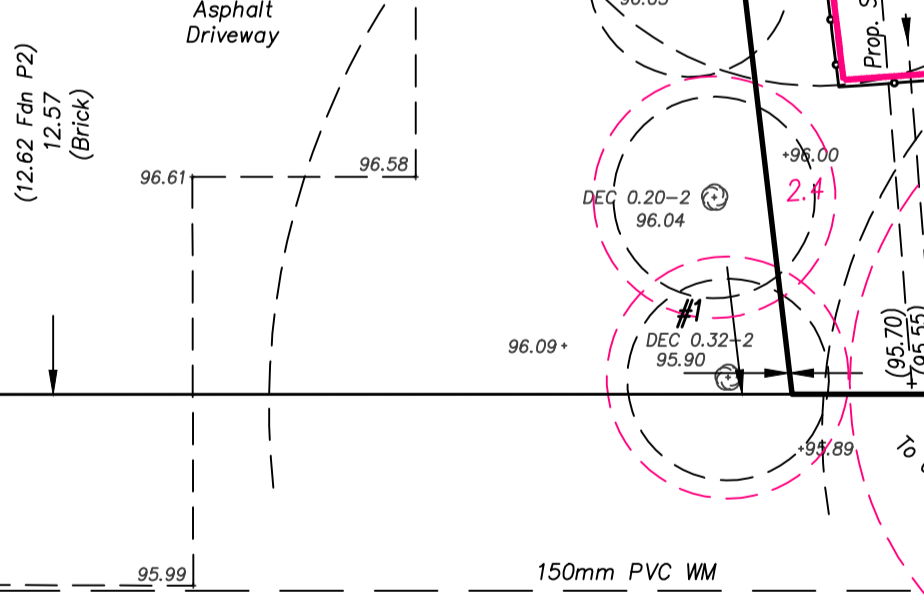
AS PER OBC 814.6(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THAT SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.



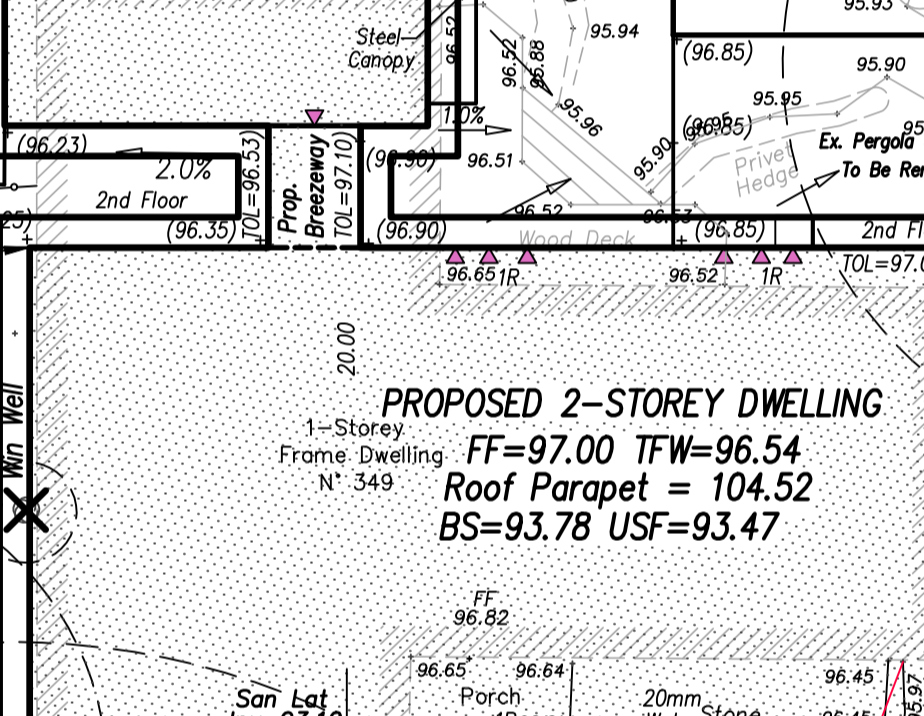
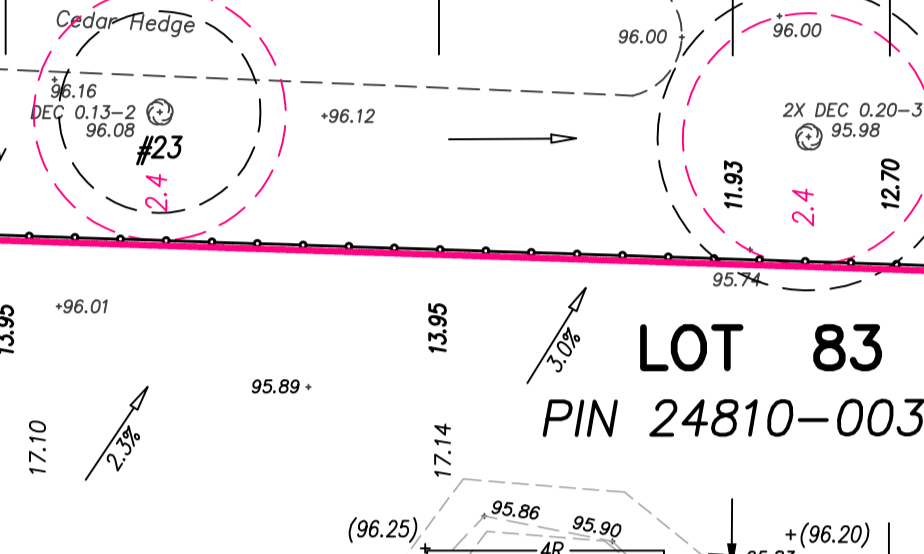
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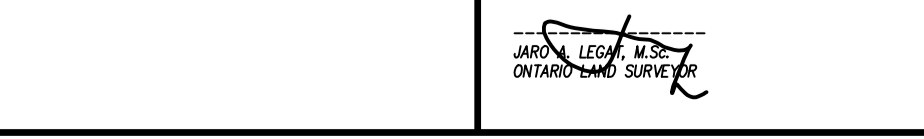
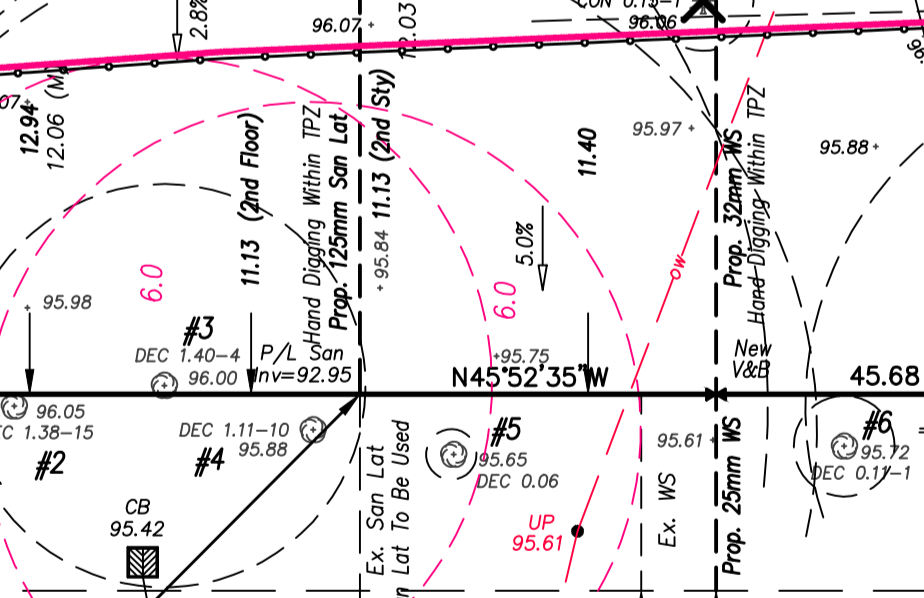
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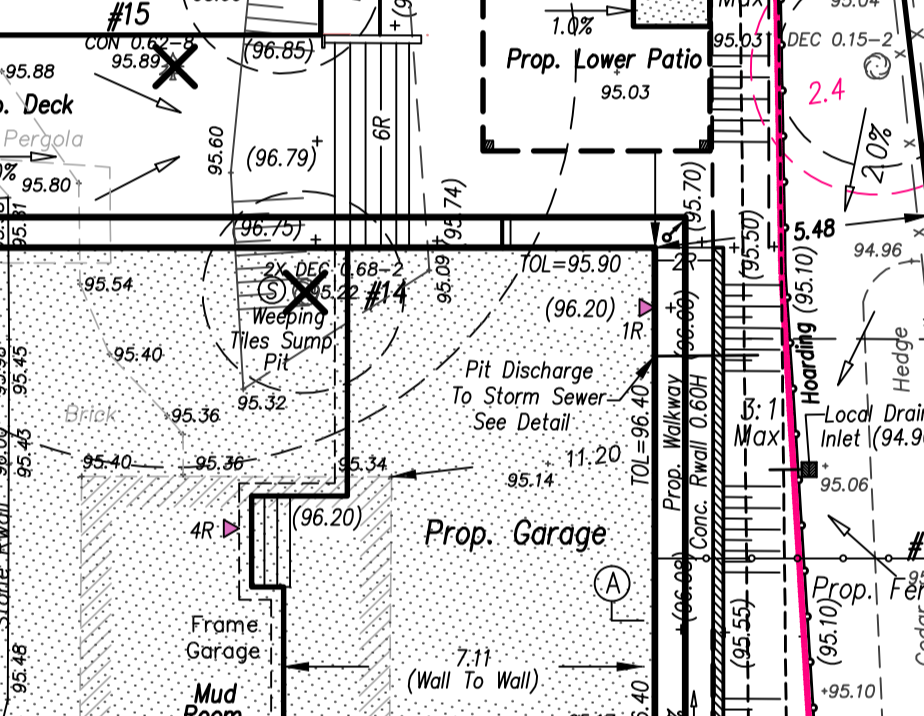
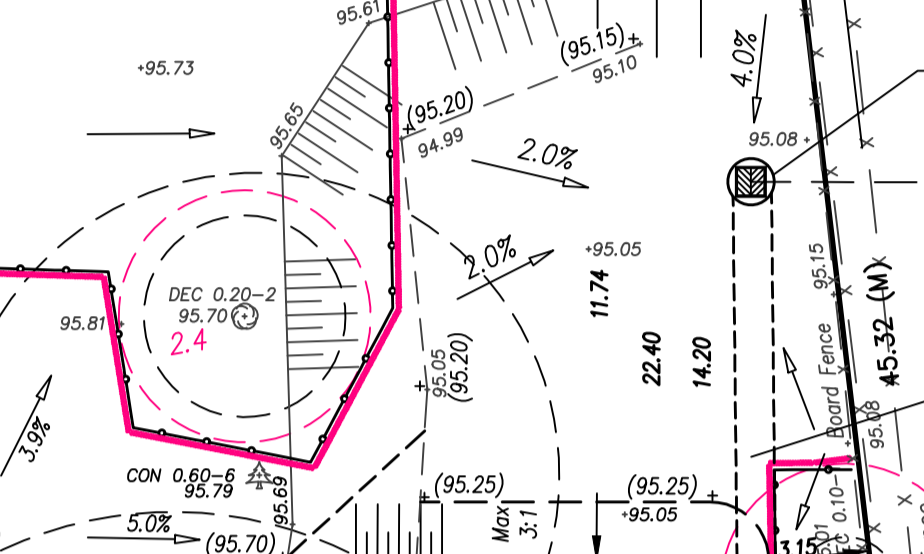
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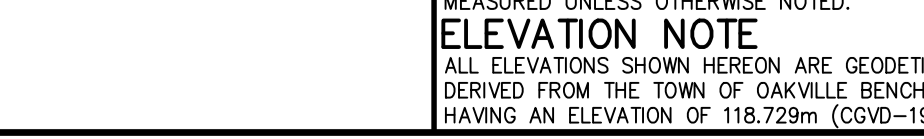
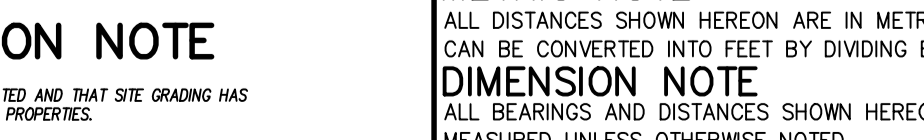
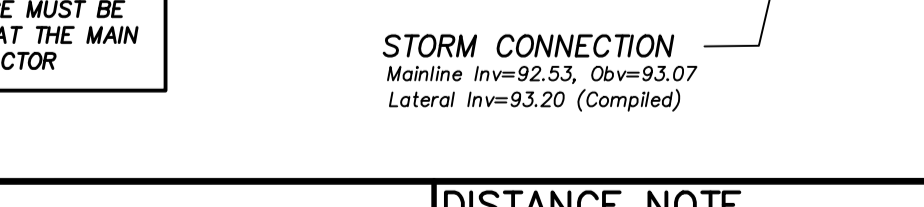
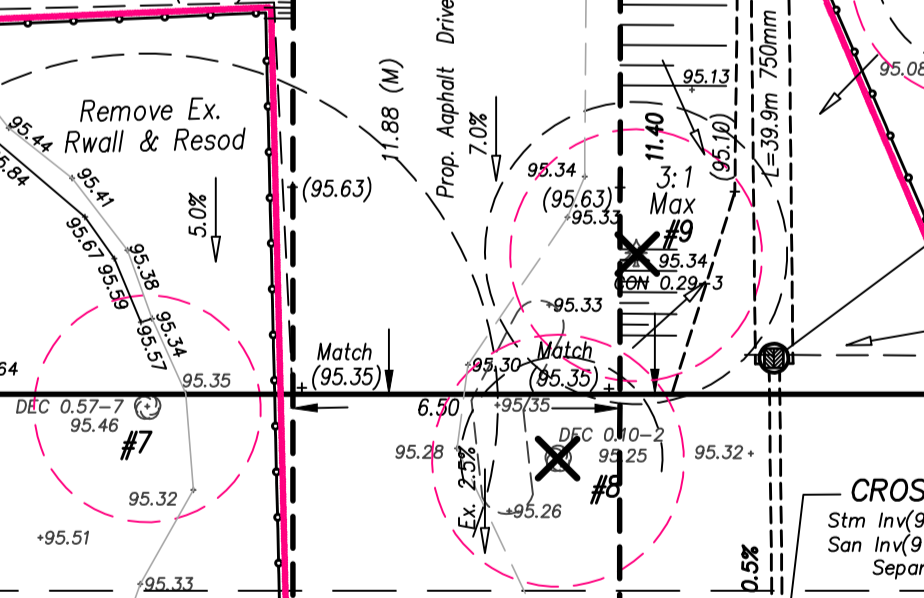
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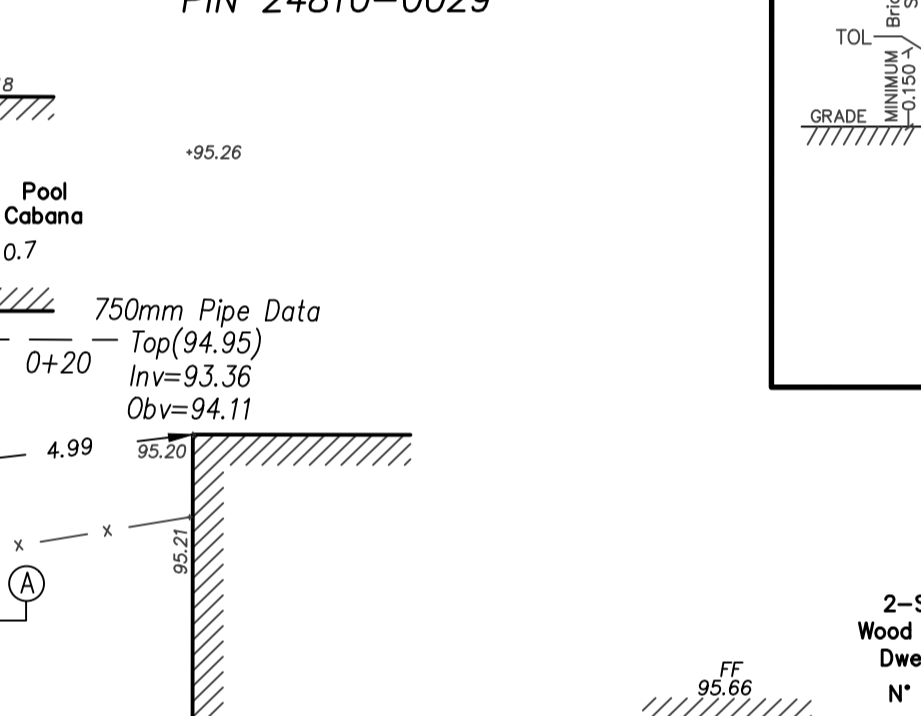
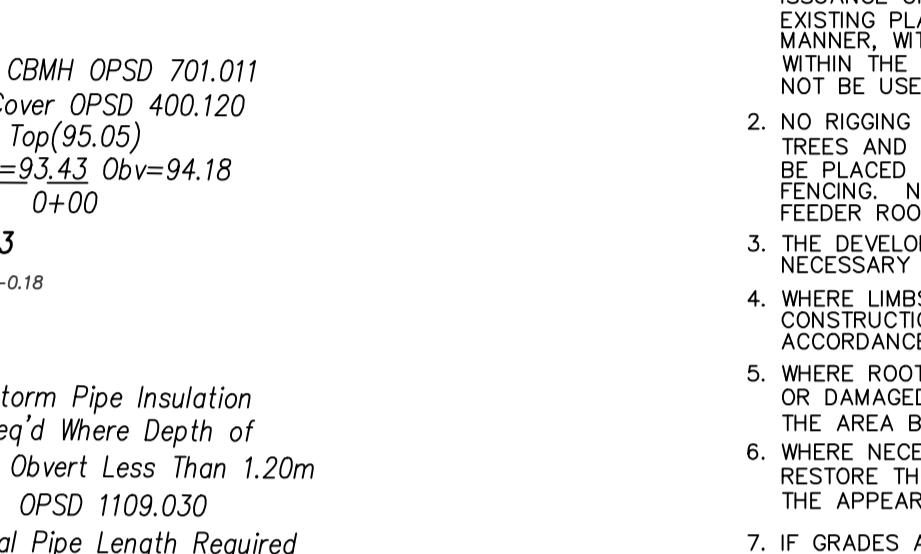
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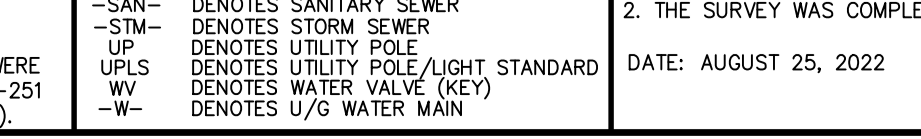
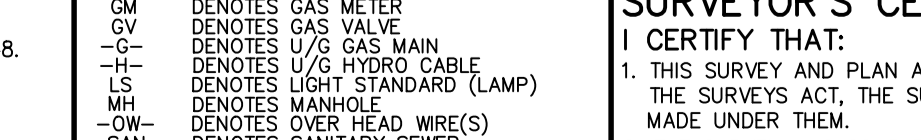
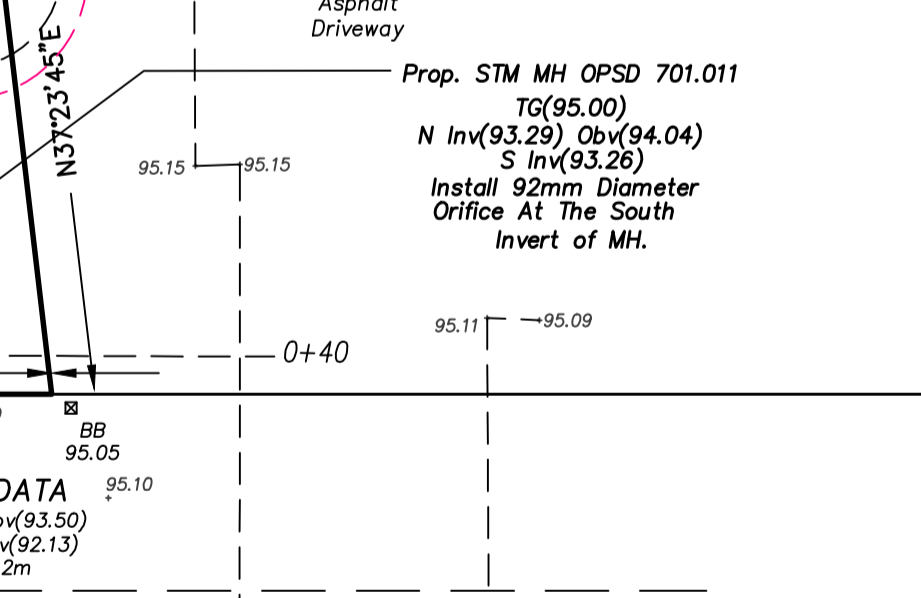
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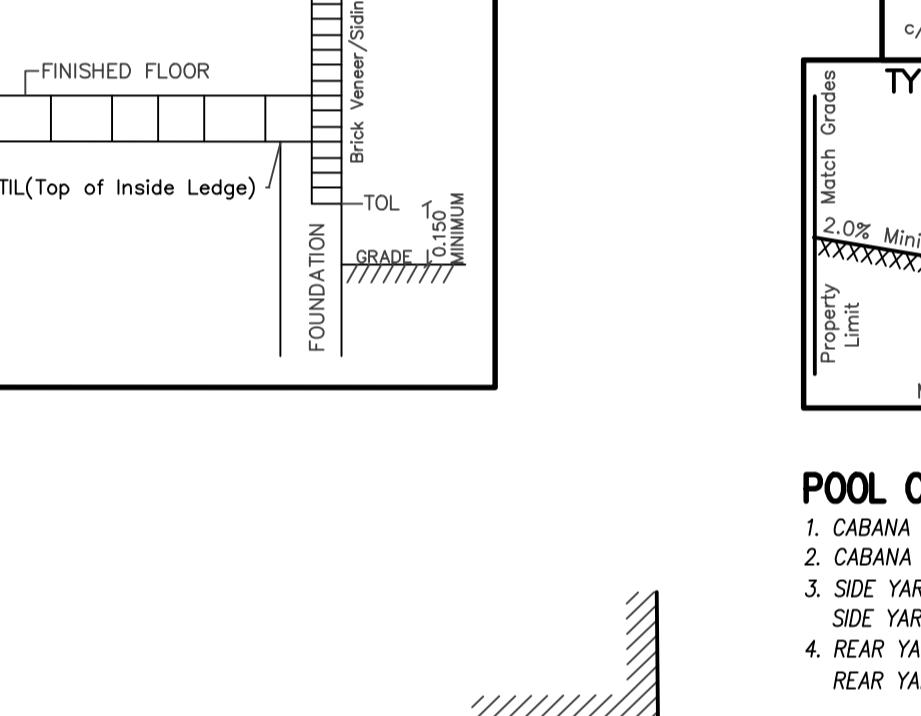
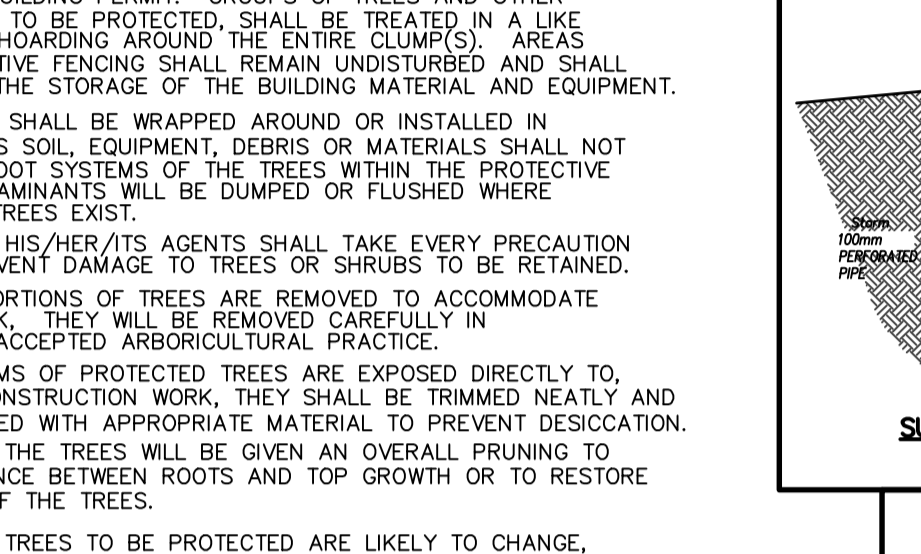
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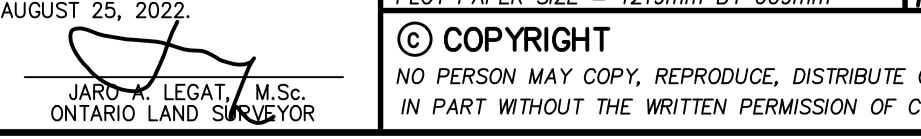
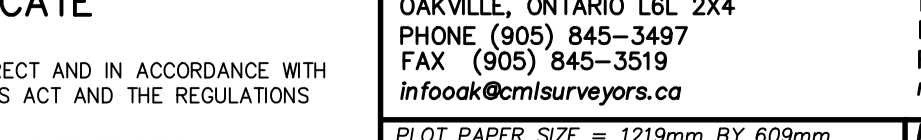
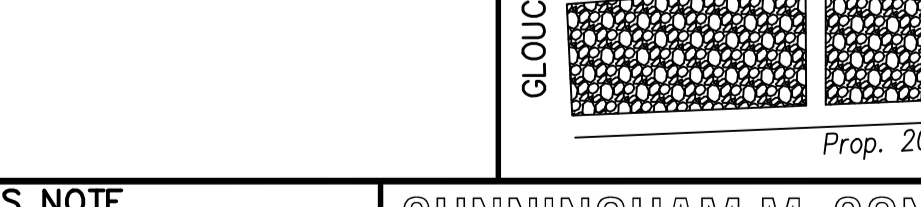
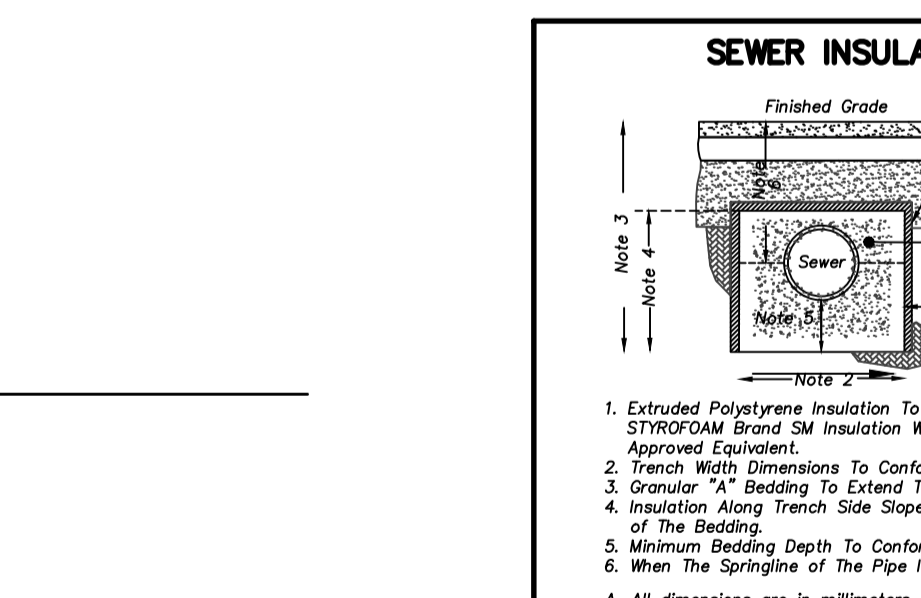
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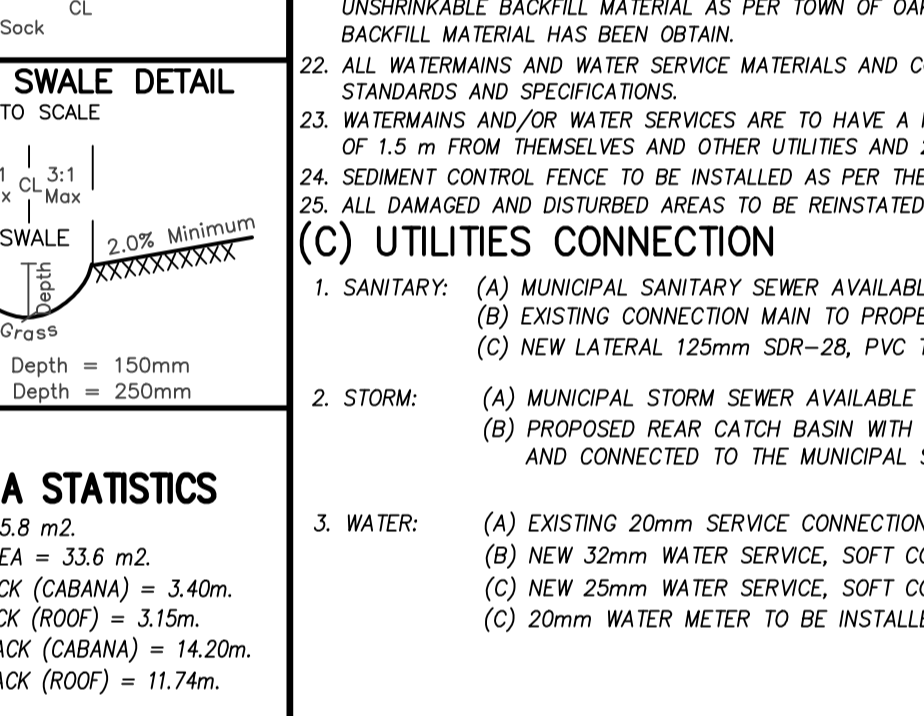
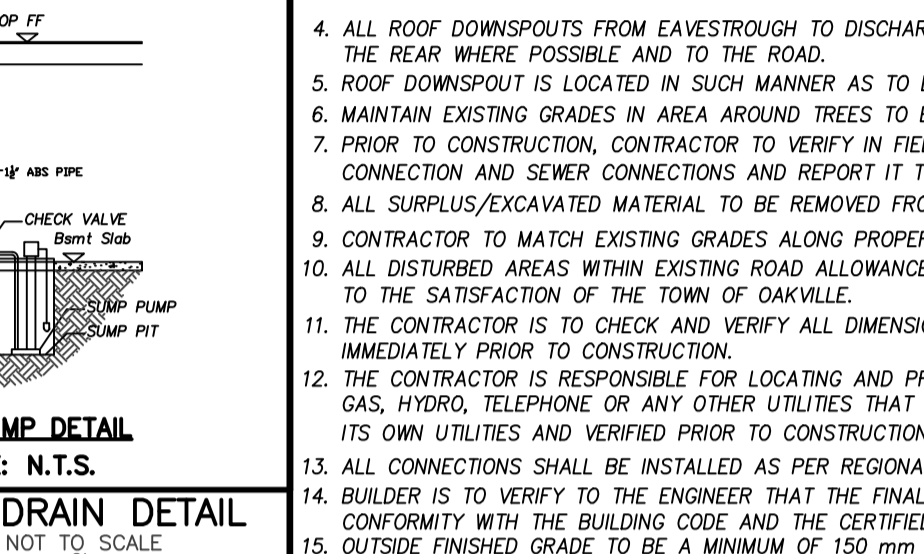
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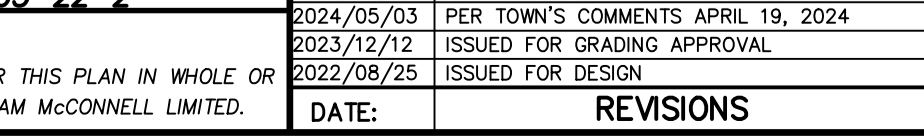
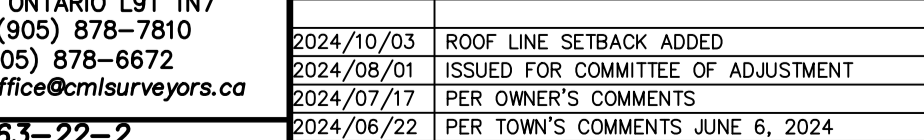
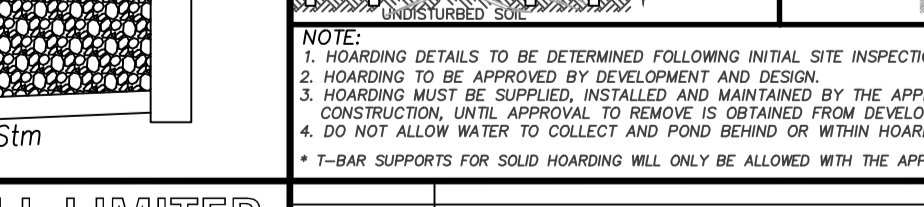
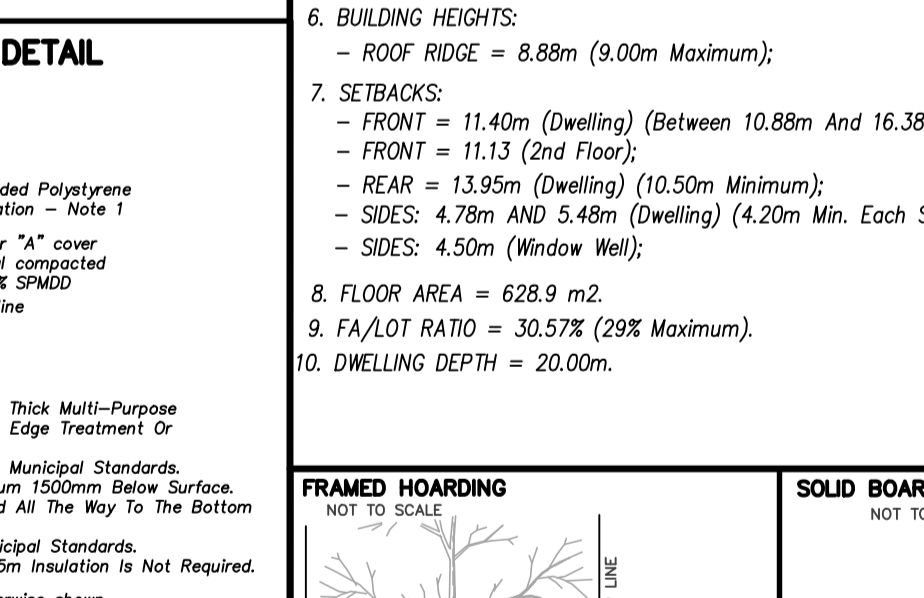
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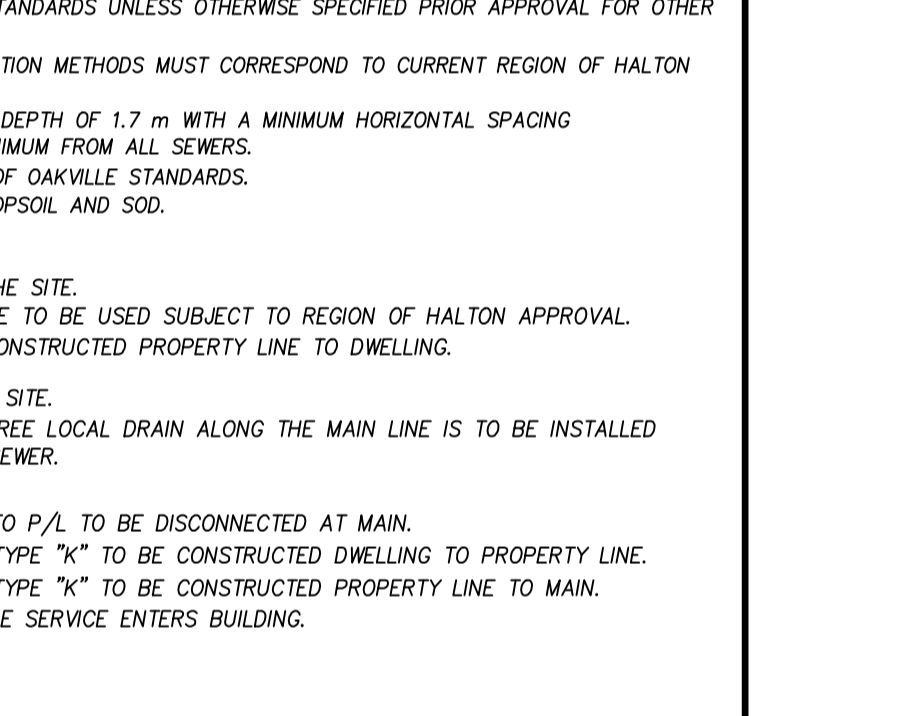
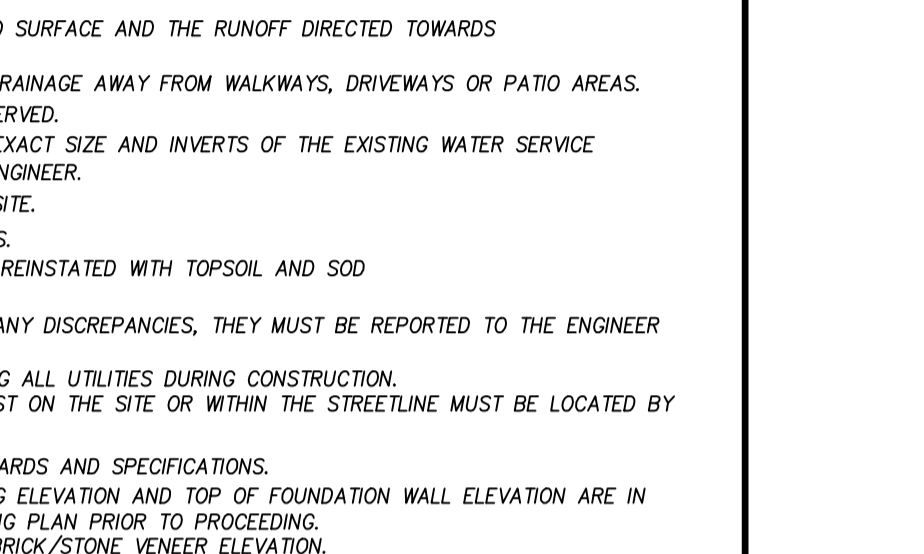
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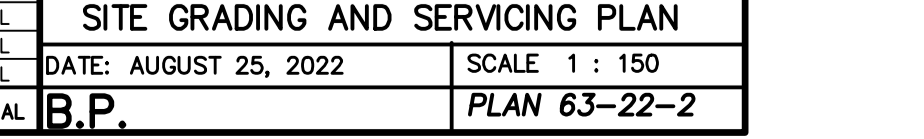
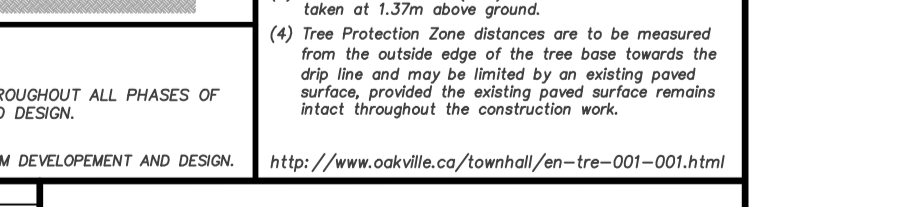
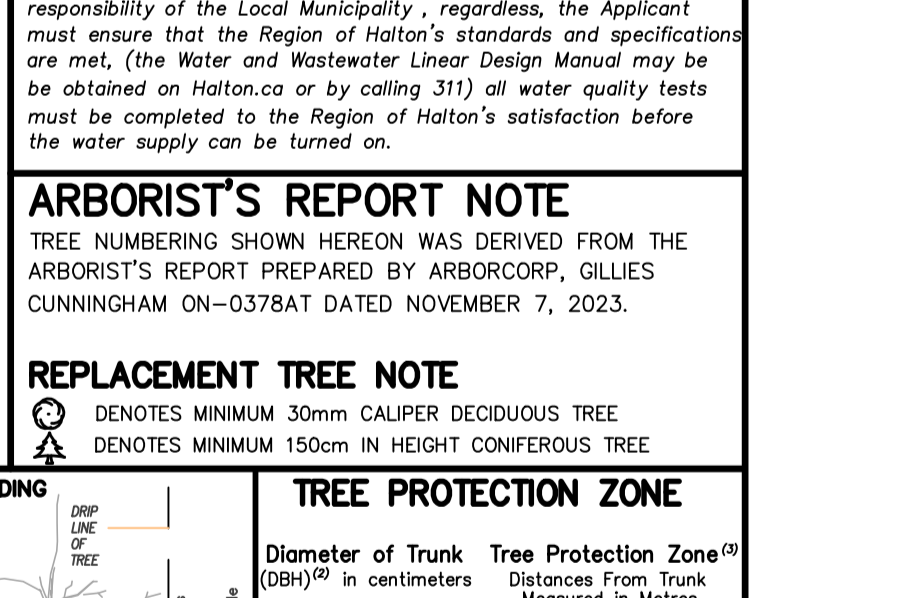
**AREA COVERAGE DETAIL SCALE 1 : 300**



**CROSS-SECTION A-A NOT TO SCALE**



**AREA COVERAGE DETAIL SCALE 1 : 300**



**TOPOGRAPHIC LEGEND**

- AA DENOTES ANCHOR WELLS
AB DENOTES BELL BOX
AC DENOTES CABLE
AD DENOTES CONCRETE TIE 0.20 DIA
AE DENOTES DECIDUOUS TREE 0.20 DIA
AF DENOTES FIRE HYDRANT
AG DENOTES GAS MAIN
AH DENOTES U/G GAS MAIN
AI DENOTES U/G HYDRO CABLE
AJ DENOTES U/G STANDARD (LAMP)
AK DENOTES USER HEAD WIRE(S)
AL DENOTES UTILITY POLE
AM DENOTES STORM SEWER
AN DENOTES WATER MAIN
AO DENOTES UTILITY POLE (LIGHT STANDARD)
AP DENOTES U/G WATER MAIN

**UNDERGROUND SERVICES NOTE**

ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN. THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

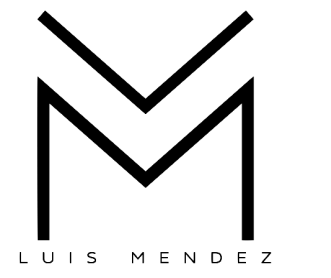
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON AUGUST 25, 2022. DATE: AUGUST 25, 2022

**CUNNINGHAM McCONNELL LIMITED ONTARIO LAND SURVEYORS**

1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2J4 PHONE (905) 845-3467 FAX (905) 845-3519
205 MAIN STREET MILTON, ONTARIO L7T 1N7 PHONE (905) 878-7810 FAX (905) 878-6872

**DATE: AUGUST 25, 2022**



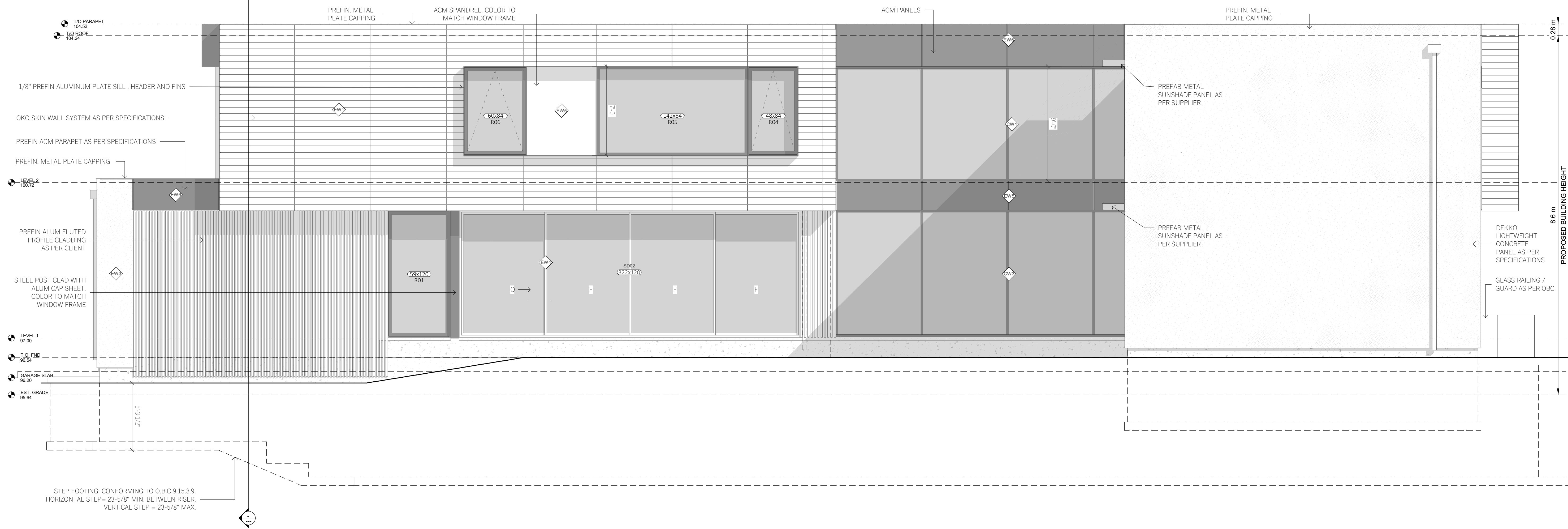
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**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1 OF THE ONTARIO BUILDING CODE (OBC)  
LUIS MENDEZ 41896  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1 OF THE ONTARIO BUILDING CODE (OBC)  
LM BUILDING DESIGN INC 126230  
FIRM NAME BCIN

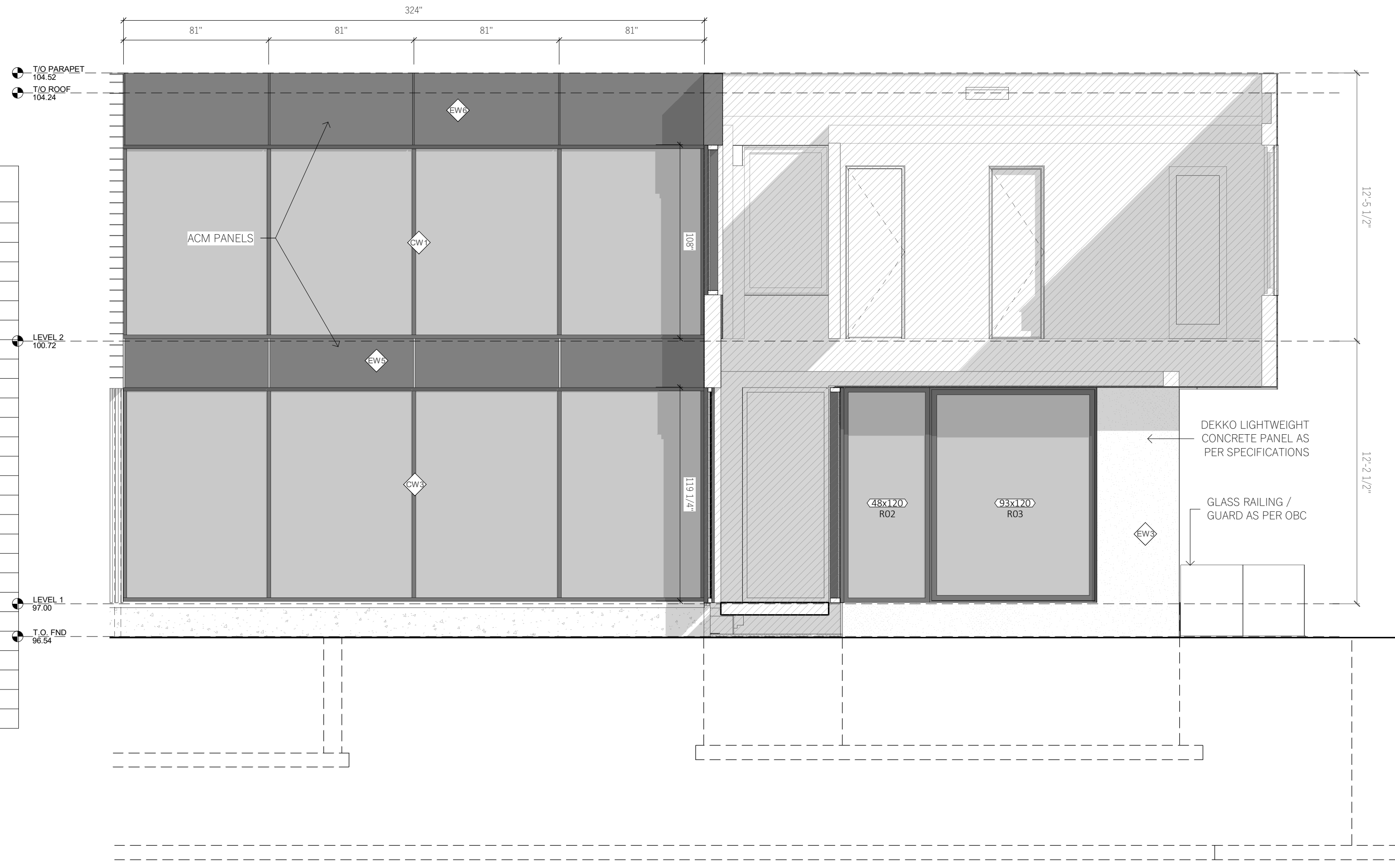


1 REAR ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	AREA	REMARKS
E01	44"	84"	2.39 m <sup>2</sup>	FIXED WINDOW
E02	44"	84"	2.4 m <sup>2</sup>	FIXED WINDOW
E03	34"	84"	1.88 m <sup>2</sup>	
E04	34"	84"	1.84 m <sup>2</sup>	
E05	68"	84"	3.68 m <sup>2</sup>	
E06	68"	84"	3.71 m <sup>2</sup>	FIXED WINDOW
F01	45"	120"	3.46 m <sup>2</sup>	
F02	45"	120"	3.48 m <sup>2</sup>	FIXED WINDOW
F03	45"	120"	3.48 m <sup>2</sup>	
F04	45"	120"	3.48 m <sup>2</sup>	FIXED WINDOW
F05	20"	120"	1.54 m <sup>2</sup>	
F06	40"	120"	3.09 m <sup>2</sup>	SIDELIGHT
F07	48"	120"	3.7 m <sup>2</sup>	
F08	92"	120"	7.11 m <sup>2</sup>	
F09	48"	120"	3.71 m <sup>2</sup>	FIXED WINDOW
F10	48"	84"	2.58 m <sup>2</sup>	
F11	134"	84"	7.2 m <sup>2</sup>	
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F22	60"	36"	1.38 m <sup>2</sup>	
F22	60"	36"	1.38 m <sup>2</sup>	
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R02	48"	120"	3.71 m <sup>2</sup>	
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R04	48"	84"	2.6 m <sup>2</sup>	
R05	142"	84"	7.71 m <sup>2</sup>	FIXED WINDOW
R06	60"	84"	3.25 m <sup>2</sup>	

WINDOW SCHEDULE				
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W11	48"	84"	2.59 m <sup>2</sup>	
Grand total:			40	121.08 m <sup>2</sup>

DOOR SCHEDULE				
Mark	Width	Height	Qty.	Remarks
E07	88 1/2"	120"	1	GLASS SLIDING DOOR
ED02	39 1/2"	120"	1	ENTRY DOOR
ED03	36"	96"	1	GARAGE ENTRY DOOR
ED04	36"	96"	1	GARAGE MANDOOR
GD01	28"	84"	4	GLASS SHOWER DOOR
GD02	36"	120"	1	GLASS DOOR
ID01	36"	96"	4	INTERIOR DOOR
ID02	32"	96"	14	INTERIOR DOOR
ID03	30"	96"	2	INTERIOR DOOR
ID04	32"	84"	1	HIDDEN DOOR
OH01	108"	108"	1	GARAGE OVERHEAD DOOR
OH02	108"	108"	1	GARAGE OVERHEAD DOOR
PD01	36"	96"	3	POCKET DOOR
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SD02	322 1/2"	120"	1	GLASS SLIDING DOOR
SD05	57"	120"	1	GLASS SLIDING DOOR
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SD16	32"	96"	1	POCKET DOOR
SD17	28"	84"	1	POCKET DOOR



2 REAR PARTIAL ELEVATION  
1/4" = 1'-0"

CLIENT:

Anoop &  
Rutnaish Prihar

PROJECT:

OAK HOUSE

LOCATION:

349 Gloucester, Oakville,  
ON

DWG:

REAR & PART  
ELEVATION

No.	DATE:	STATUS:
8	20/10/2023	DRWGS FOR STRUCT
9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFE REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	09/27/2024	PERMIT RESUBMISSION

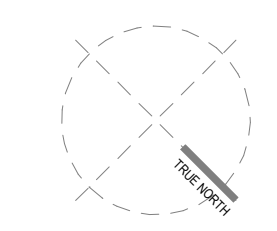
PROJECT NORTH: Drawn by: LM

Date: 30/07/2024

Scale: 1/4" = 1'-0"

Project No: 1824

TRUE NORTH: DWG No:



A10

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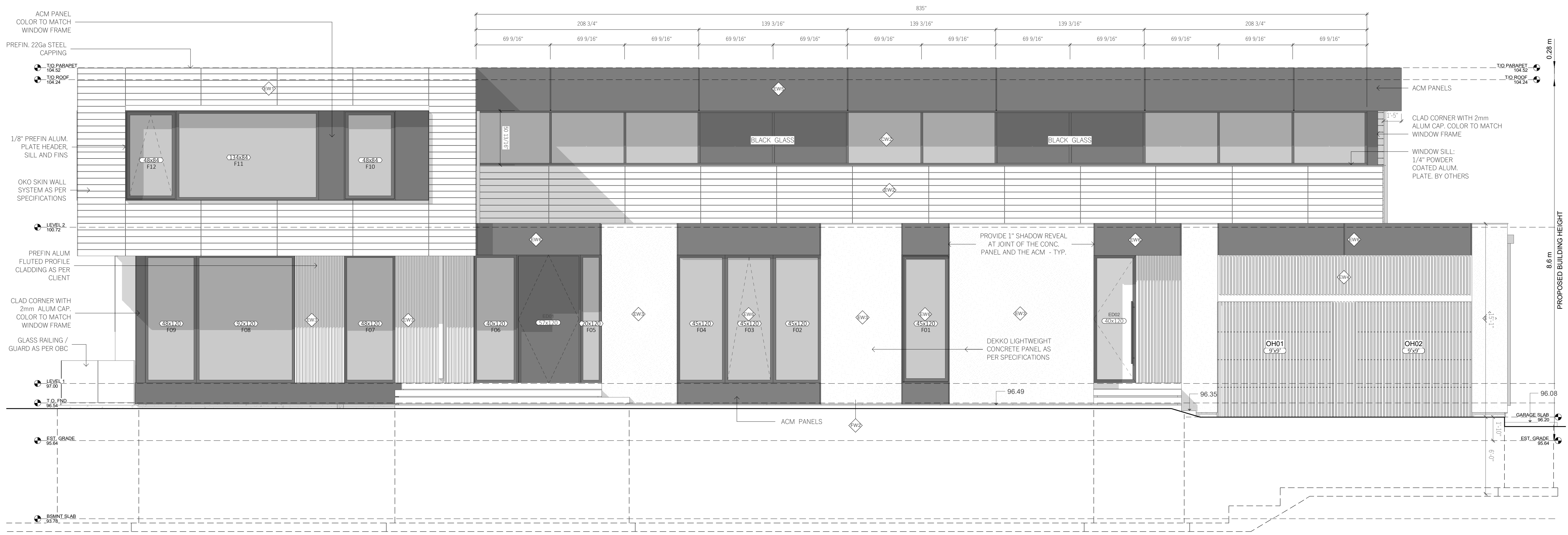
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**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE ONTARIO BUILDING CODE (OBC)

LUIS MENDEZ 41886  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE ONTARIO BUILDING CODE (OBC)

LM BUILDING DESIGN INC 126230  
FIRM NAME BCIN



1 FRONT ELEVATION  
1/4" = 1'-0"

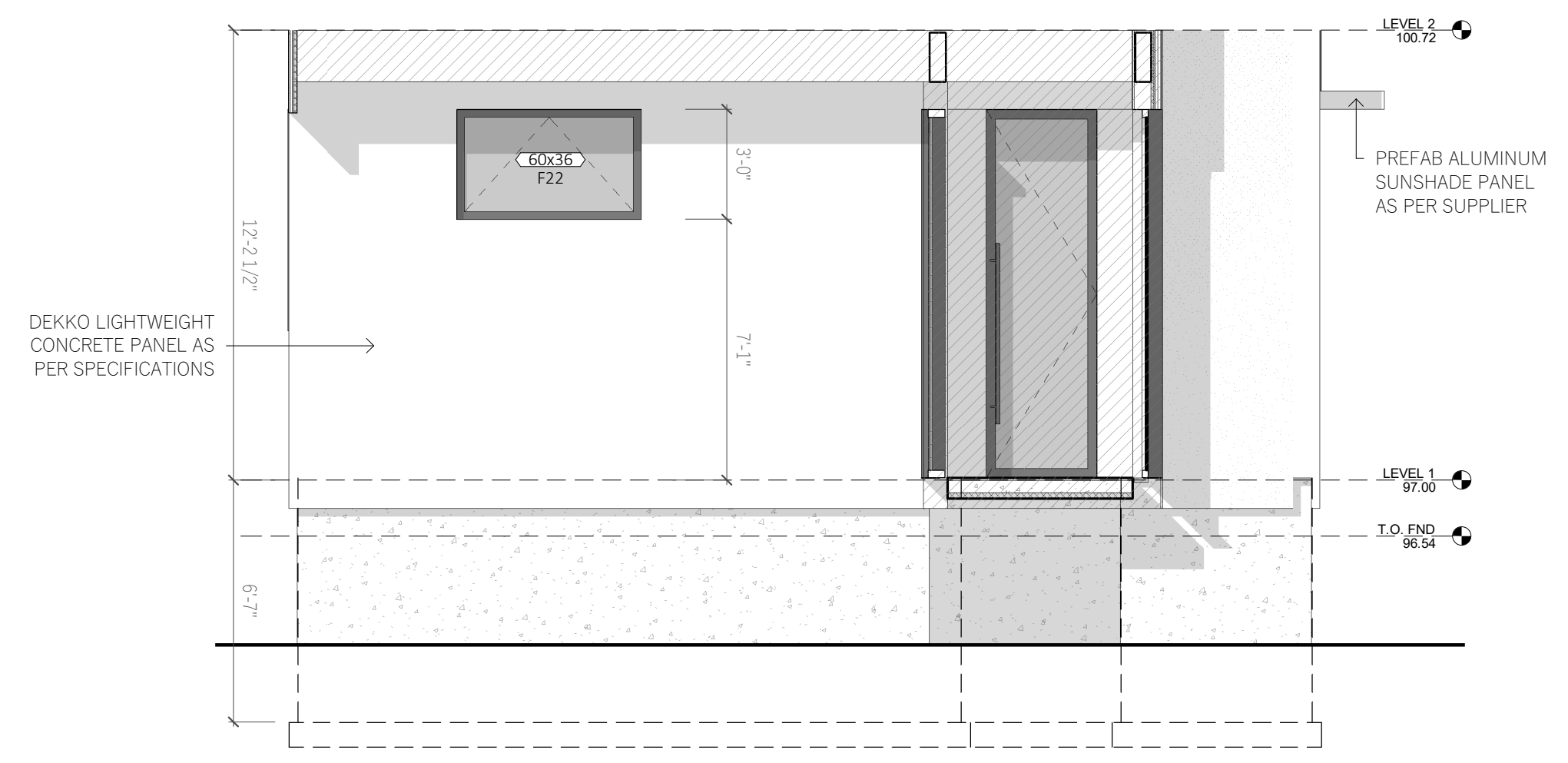
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SD16	32"	96"	1	POCKET DOOR	
SD17	28"	84"	1		

CLIMATIC DATA (OAKVILLE, ON)	
Ground Snow Load (Sg):	2.5 kPa
Rain Snow Load (Sr):	0.4 kPa
Snow Load Factor:	0.55
Specified Roof Load:	1.8 kPa + snow piling
Hourly Wind Pressure (1/50):	0.36 kPa
Degree Days Below 18C:	4380

**NOTE:**  
NEW CONSTRUCTION DIMENSIONS ARE FROM:  
• FACE OF FDN WALLS  
• EXTERIOR FACE OF WOOD STUDS  
• INTERIOR FACE OF WOOD STUDS  
• TO CENTERLINE OF ROUGH OPENINGS  
• UNDERSIDE OF FLR JOISTS & TRUSSES



3 PARTIAL ELEVATION 1  
1/4" = 1'-0"

CLIENT:  
**Anoop & Rutnaish Prihar**

PROJECT:  
**OAK HOUSE**

LOCATION:  
**349 Gloucester, Oakville, ON**

DWG:  
**FRONT & PARTIAL ELEVATIONS**

No.	DATE:	STATUS:
8	20/10/2023	DRWS FOR STRUCT
9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFE REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	09/27/2024	PERMIT RESUBMISSION

PROJECT NORTH: Drawn by: **LM**  
Date: **30/07/2024**  
Scale: **1/4" = 1'-0"**  
Project No: **1824**  
TRUE NORTH: DWG No:



**A9**

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LUIS MENDEZ 41896  
NAME SIGNATURE BCIN

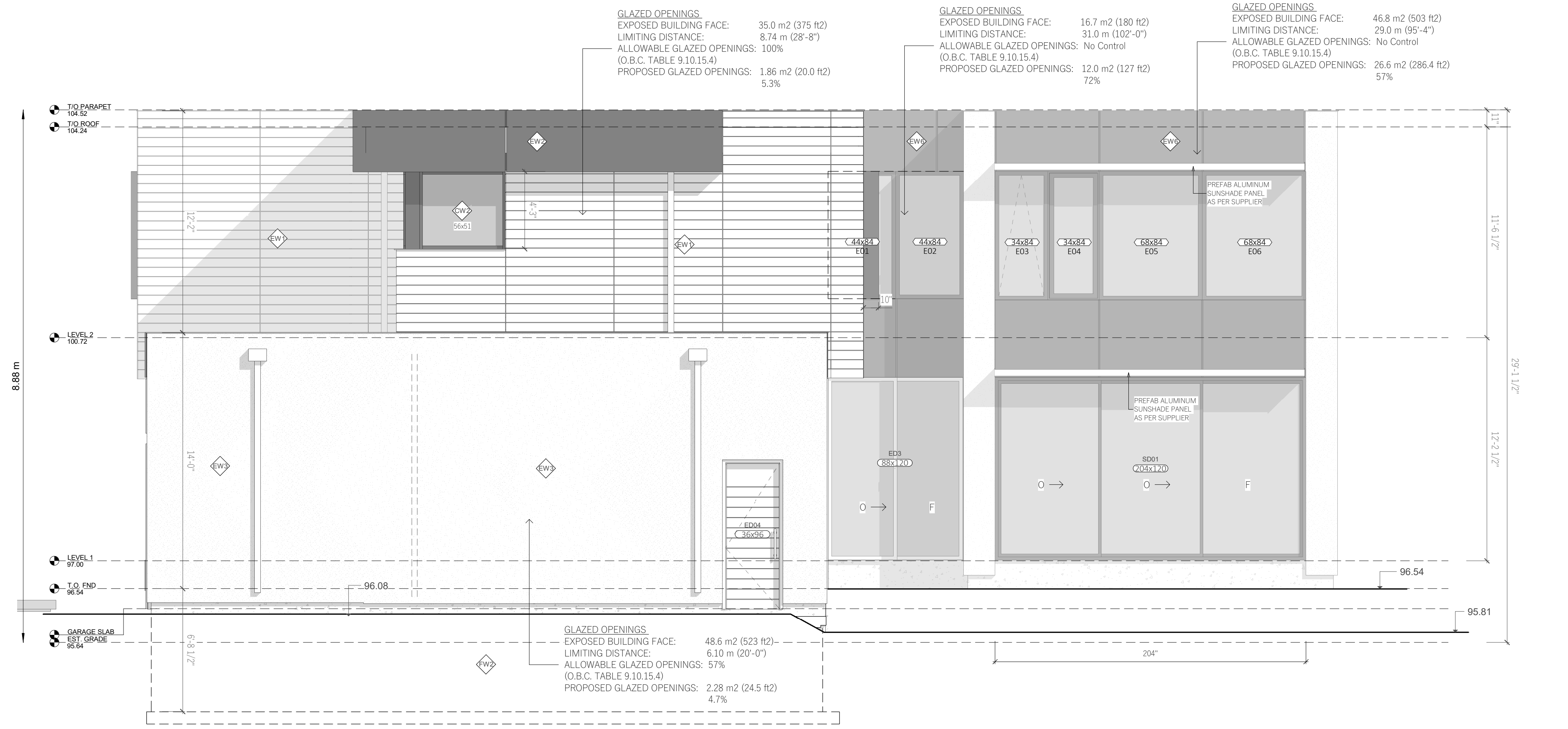
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FIRM NAME BCIN

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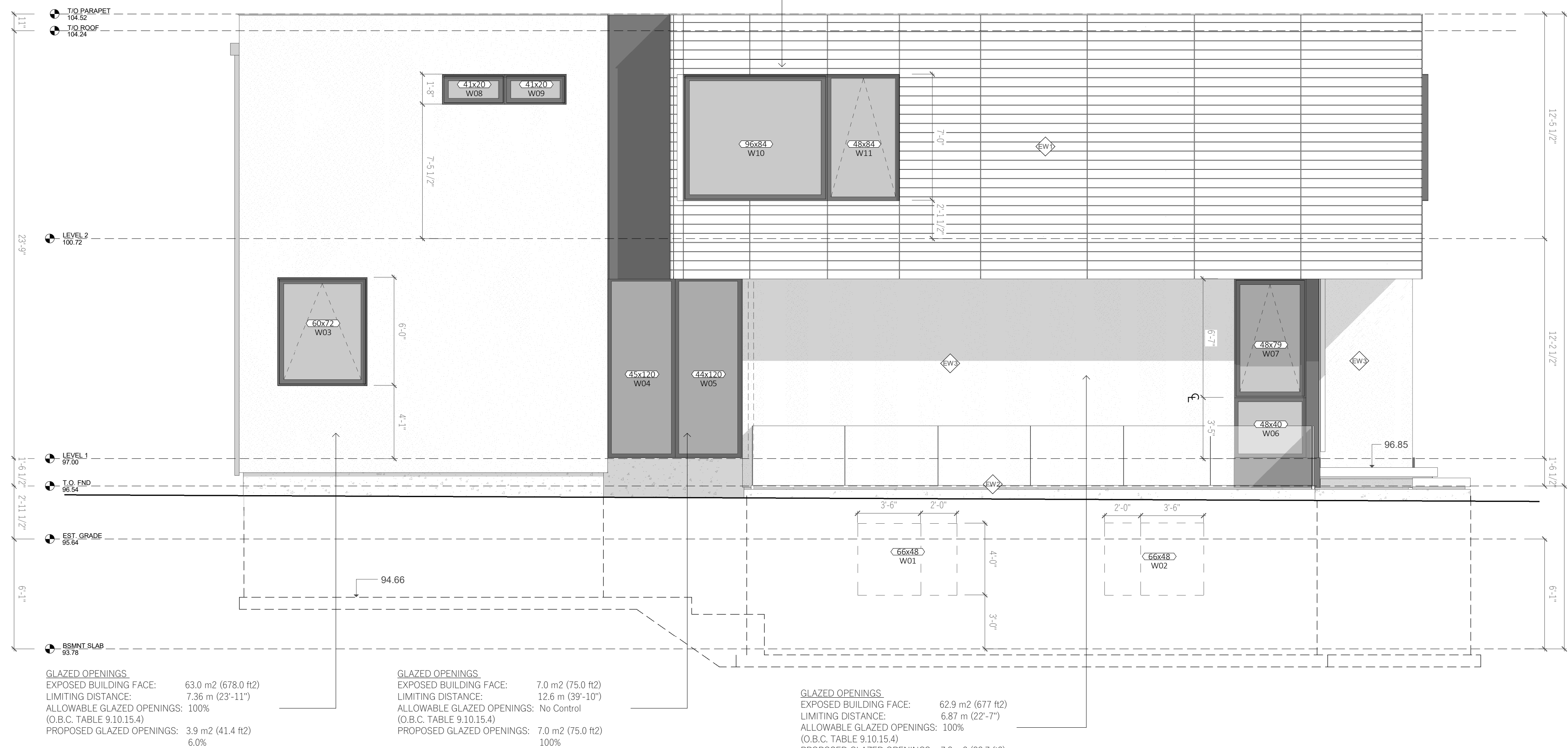
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SD17	28"	84"	1	



1 EAST ELEVATION  
1/4" = 1'-0"

**TOTAL AREA BUILDING FACE CALCULATIONS (9.10.15.4)**  
EXPOSED BUILDING FACE: 56.4 m<sup>2</sup> (610.6 ft<sup>2</sup>)  
LIMITING DISTANCE: 5.6 m (18'-3")  
ALLOWABLE GLAZED OPENINGS: 57%  
(O.B.C. TABLE 9.10.15.4)  
PROPOSED GLAZED OPENINGS: 32 m<sup>2</sup> (348 ft<sup>2</sup>)  
57%



2 WEST ELEVATION  
1/4" = 1'-0"

CLIENT:

Anoop &  
Rutnaish Prihar

PROJECT:

OAK HOUSE

LOCATION:

349 Gloucester, Oakville,  
ON

DWG:

EAST & WEST  
ELEVATIONS

No.	DATE:	STATUS:
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9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFE REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	09/27/2024	PERMIT RESUBMISSION

PROJECT NORTH: Drawn by: LM

Date: 30/07/2024

Scale: 1/4" = 1'-0"

Project No: 1824

TRUE NORTH: DWG No:

A11