

October 15, 2024

ROSS DEFINA CONSULTING

Town of Oakville
1225 Trafalgar Road
Oakville, On. L6H 0H3

Attention: Secretary-Treasurer, Committee of Adjustment, Town of Oakville.

Re: Minor Variance Applications Cover Letter for:
1238 Donlea Crescent, Oakville, On. L6J 1V7

Ross Defina Consulting has been retained by the owner to apply for minor variance relief to construct a new two storey single-family home.

The subject property is located at 1238 Donlea Crescent, Oakville, On. L6J 1V7.

Lot #15, Registered Plan 805. The property possess a frontage of 35.52m along Donlea Crescent and comprise an area of 1,392.9 m². The land is currently designated '*Single Family Residential (Group C)*' and zoned Residential RL1-0, with an existing single storey detached dwelling and garage currently located on the lands.

The purpose of the subject applications is to obtain relief for a total of five (4) minor variances as follows.

1. 6.4.1, Floor Space Index: allowable 29%, proposed 32.6%.
2. 5.8.6(c), Garage Floor Aera: allowable 56.0m², proposed 60.84m².
3. 6.3.1, Front Yard Setback: min. allowable 10.5m, proposed 7.6m.
4. 6.3.1, Rear Yard Setback: min. allowable 10.5m, existing (to remain) 9.7m.

We are proposing a Floor Space Index increase of 3.6%, spread over two floors which we believe to be a reasonable and fair request and minor in nature.

The garage floor area increase is needed to help meet the owner's needs for both indoor parking and general storage. Conservation Halton (CH) will not allow any structures to be constructed within the 6.0m setback from the floodplain and stable top of bank. This limits the owner's options to reasonable storage facilities. The garage is the logical best.

Effort was made to best integrate the desired building design with the irregular geometry of the front property lot line and the rear yard natural features. The building design beginning at the west side has been stepped back toward the east side such that adjacent neighbours are unobstructed. The front yard setbacks related to the minor variance relief are specific to encroaching building corners of the proposed dwelling. Further the proposed building plains are non-monolithic and the building height street facing is transitioned through the use of projections and recesses. This serves to create a sense of openness and removes any visible concerns typically associated with reduced front yard setbacks. These protruding corners vary in setback 7.6m at the easterly open entry porch corner, 8.6m at the south east living room corner and 9.8m at the garage east corner. Stepped building face segments with small portion encroachments into the front yard setback further supported by non-monolithic forms keep the majority of the building setback 10.5m posing no visual disruption nor negative impact to the balance within the neighbourhood.

The rear yard setback is based on keeping a significant portion of the existing basement foundation walls. The rear yard setback of 9.7m is an existing condition to remain and not a new proposal. Conservation Halton (CH) suggested that maintaining the existing foundation to help facilitate outdoor living space may have potential to meet CH policies. They recommended that we proceed with a minor variance application prior to applying for a CH permit.

The proposed development will not impact natural areas or features, provides orderly development to adjacent land uses, increases opportunities for more sustainably and energy efficiency, and is appropriately located within a greater residential area.

Economic development and competitiveness are priorities as reflected in all levels of Planning policy. The proposed development will result in increased choice and better housing standards. The subject applications aim to stimulate and revitalize through the integration of new residential development addressing changing social and demographic market demands.

The proposal is in keeping with orderly development of safe and healthy communities, supports the protection of natural areas and features, is in an appropriate location of growth and development, promotes the efficient use and conservation of energy and water and represents the bases for good design practices.

The justification for the approval of the minor variance application is based on the conformity with the goals and objectives of the Planning Act, Provincial Policy Statement, Provincial Growth Plan and the Town of Oakville Official Plan.

Respectfully submitted,
ROSS DEFINA CONSULTING

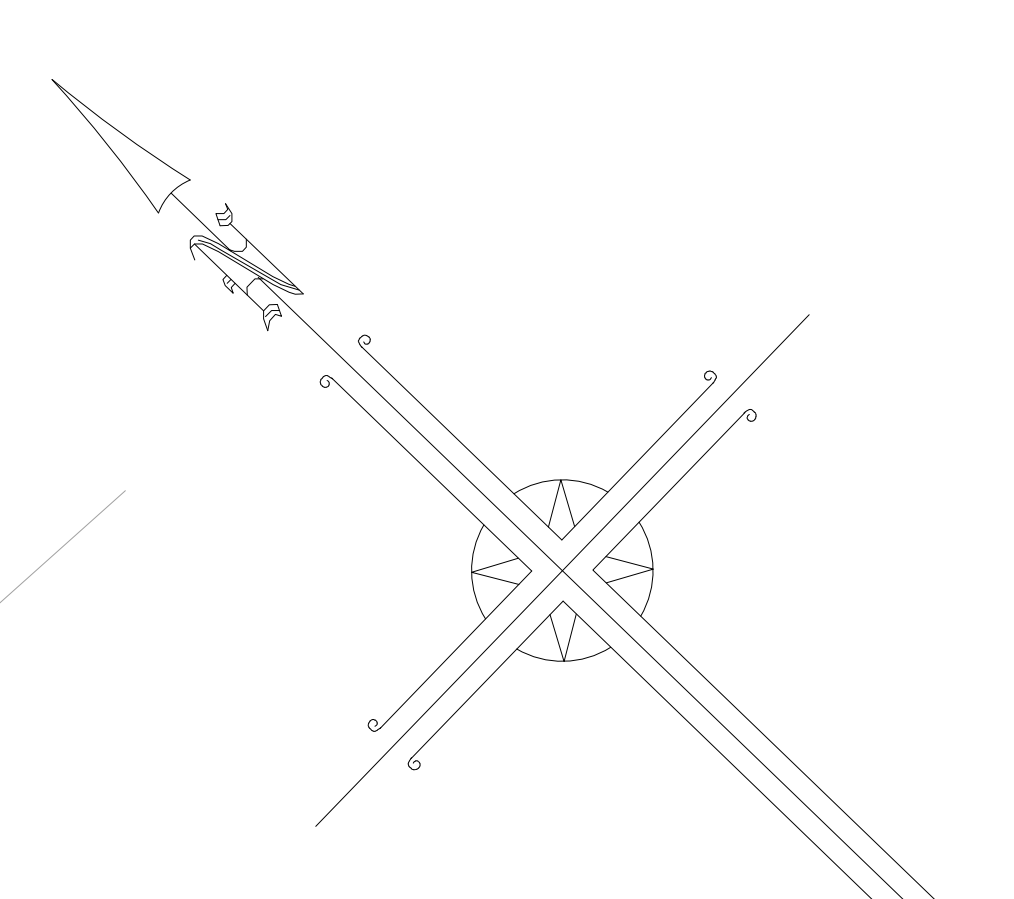
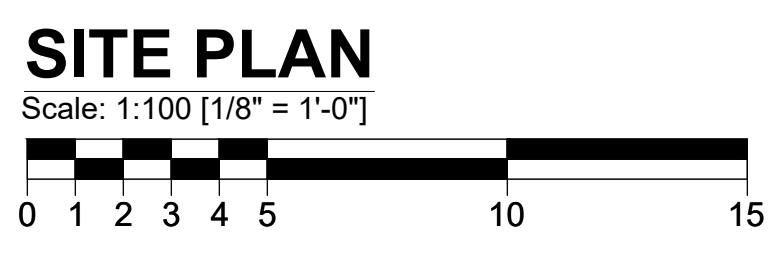
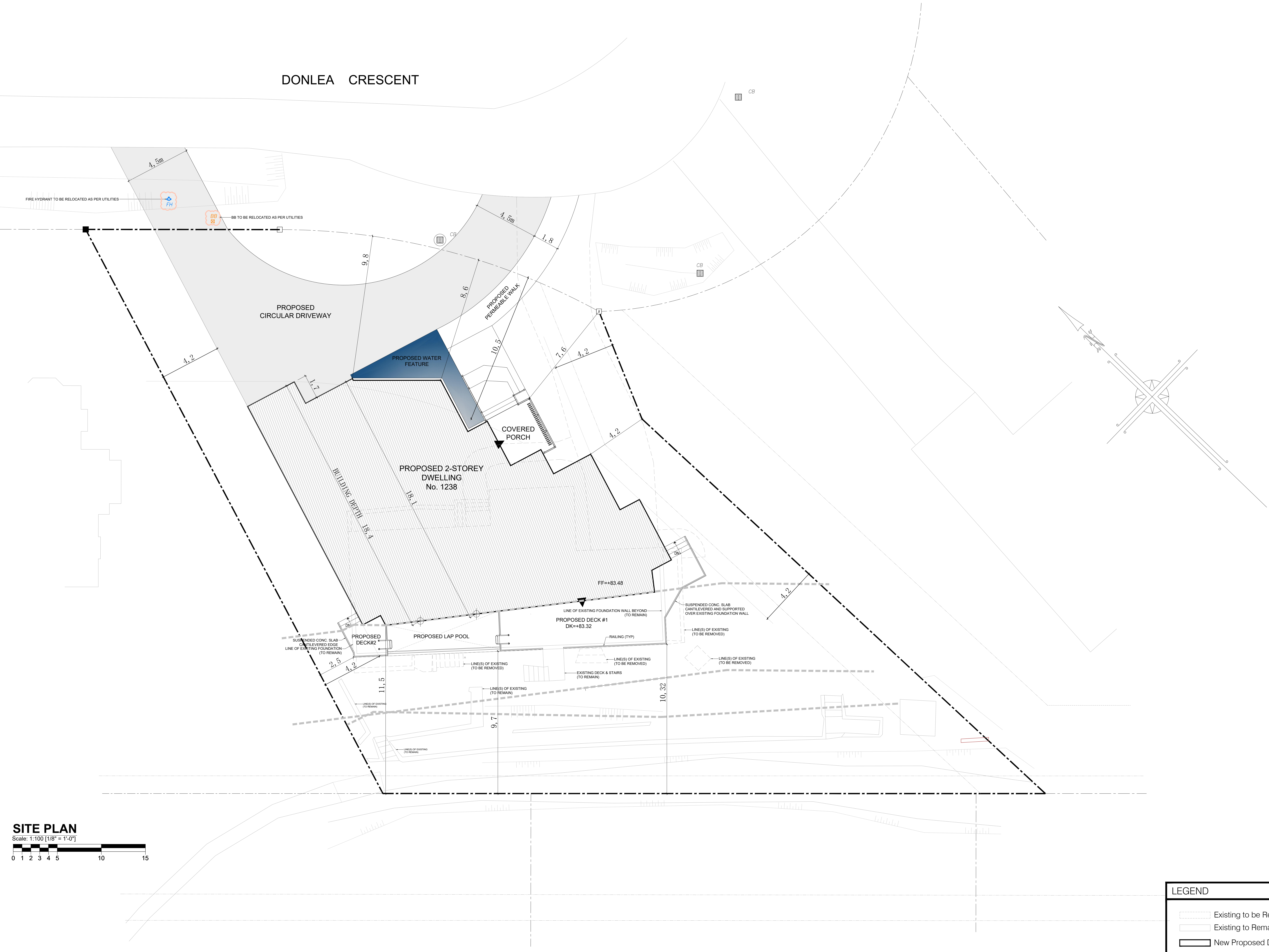
DONLEA CRESCENT

Site Data/Information			
TOWN OF EAST GWILMBURY BY-LAW 2018-043			
BUILDING ADDRESS	1238, DONLEA CRES., OAKVILLE, ONT.		
LOT NO.	15		
REGISTERED PLAN	805		
ZONING CLASSIFICATION	RS-10		
ESTABLISHED GRADE	+81.93 m		

	ACTUAL	ALLOWABLE	COMMENTS
LOT AREA	1,392.9 m ²		
LOT FRONTAGE	35.52m		
LOT COVERAGE	328.05m ² or 23.6%	25%	OK
FLOOR SPACE INDEX (FSI)	454.7m ² or 32.6%	29%	3.6% OVER

MAIN HOUSE			
MAIN FLOOR AREA	242.6 m ²		
UPPER FLOOR AREA	212.1 m ²		
TOTAL GFA	453.0 m ²		
BASEMENT FLOOR AREA	316.5 m ²		
GARAGE FLOOR AREA	60.84 m ²	56.0 m ²	4.84 m ² OVER
COVERED PORCH AREA	11.62 m ²		MAIN ENTRY
CONCRETE DECK #1	47.5 m ²		REAR YARD
CONCRETE DECK #2	7.0 m ²		REAR YARD

FRONT YARD (N)	7.6 m	10.5 m	2.9 m UNDER
SIDE YARD (E)	4.2 m	4.2 m	
SIDE YARD (W)	4.2 m	4.2 m	
REAR YARD (S)	9.7 m	10.5 m	0.8 m ² UNDER
BUILDING HEIGHT	9.0 m	9.0 m	
NUMBER OF STOREYS	TWO (2)	TWO (2)	



No.	Description	Date	By
7			
6			
5			
4			
3			
2			
1			

Revisions:

ENGINEERING DESIGN CRITERIA			
ROOF LOADS			
Ground Snow Load	23.0 Psf		40 Psf
Dead Load	15 Psf		18 Psf
Rain Load	8.35 Psf		
NOTE: Hourly Wind Pressure (q _h) = 9.2 psf (0.44 kPa)			

Project Site: #1238 DONLEA CRS., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENTS INC.

Date: OCT. 7, 2024 Scale: as shown Job #: 0524-017

PROPOSED CONCEPTUAL SITE PLAN

Page: A100

Notes: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

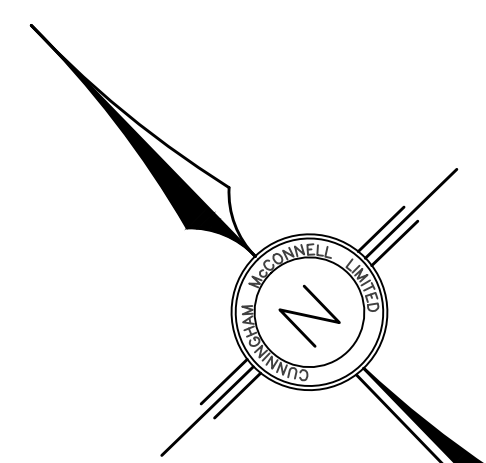
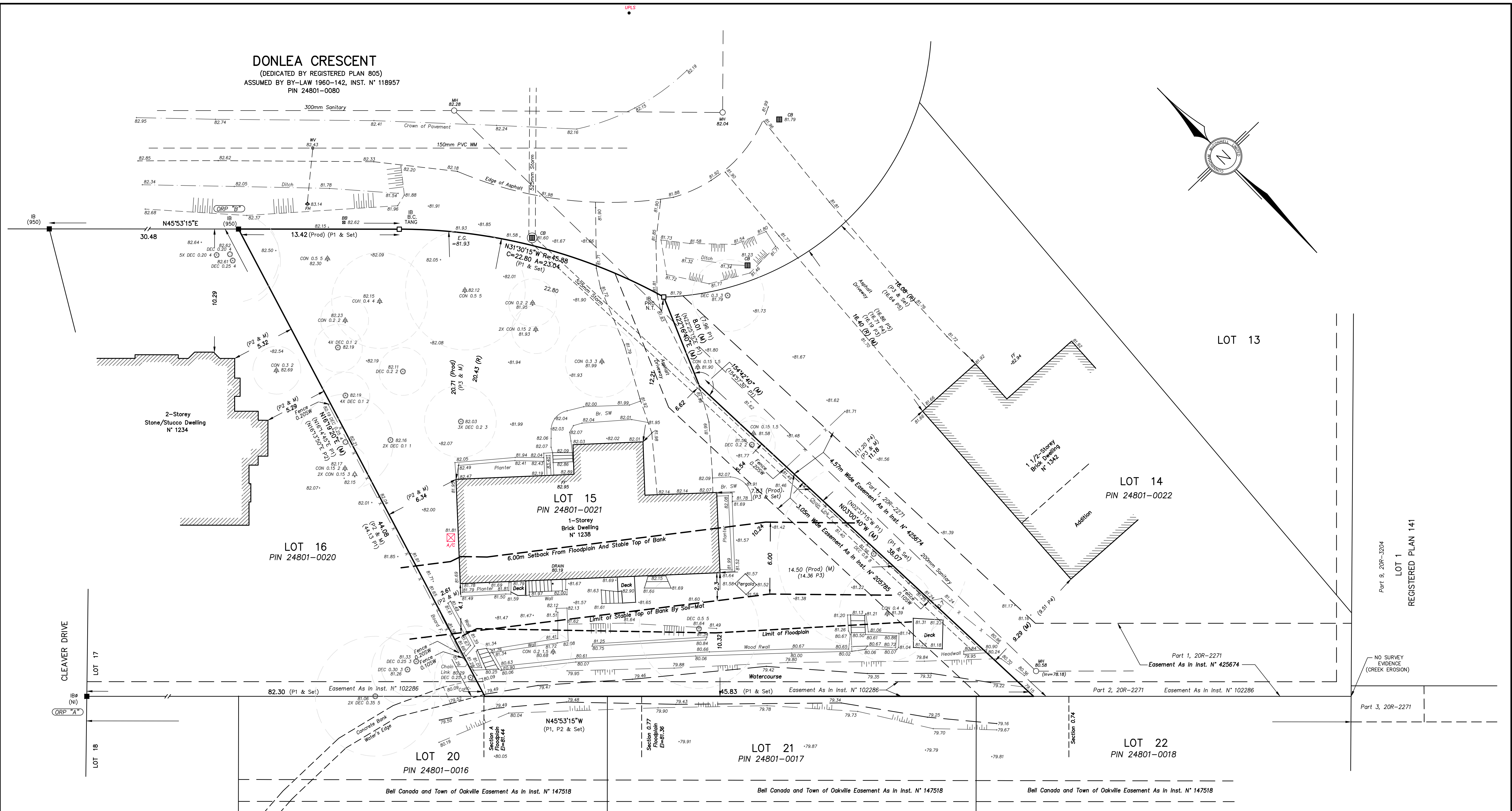
Drawn by: _____ Checked by: _____

ABBREVIATIONS & SYMBOLS

A AGE..... AVERAGE GRADE ELEVATION	C COW..... COMPLETE WITH	D DN..... DOWN	F FHL..... FLUSH LINTEL	H HORIZ..... HORIZONTAL	L LB..... LOAD BEARING.	O O.C..... ON CENTRE SPACING	S SL..... STEEL LINTEL	U U.N.O..... UNLESS NOTED OTHERWISE
AT..... APPROVED FLAT BOTTOM CHORD TRUSSES	CONC..... CONCRETE	DBL..... DOUBLE	FB..... FLUSH BEAM	I IPO..... IN PLACE OF	LBW..... LOAD BEARING WALL	O.B.C..... ONTARIO BUILDING CODE	SB..... STEEL BEAM	U.S..... UNDERSIDE OF
B BM..... BEAM	CLN..... COLUMN	DIA. or (Ø)..... DIAMETER	FLR..... FLOOR	INT..... INTERIOR	L..... LINEN CLOSET	OPG..... OPENING	SPL..... SLOPING LINTEL	USF..... UNDERSIDE OF FOOTING
BTN..... BETWEEN	CANT..... CANTILEVERED	DIAG..... DIAGONAL	FLC..... FLOOR CONSTRUCTION	J JST..... JOISTS	MANIF..... MANUFACTURED	OPB..... OBSCURED	SPB..... SLOPING BEAM	V VENT..... VENTILATION
BU..... BUILT-UP	CB..... CROSS BRIDGING	DWG..... DRAWING(S)	FFE..... FINISH FLOOR ELEVATION	JH..... JOIST HANGER	M.O..... MASONRY OPENING	OS..... OUTSWING	SBFLR..... SUBFLOOR	VERT..... VERTICAL
B/O..... BY OTHERS	CLS..... CLOSET	DL..... DROPPED LINTEL	FSE..... FINISH SLAB ELEVATION	DJH..... DOUBLE JOIST HANGER	M..... MAXIMUM	P PIT..... PRESSURE TREATED	SLB..... CONCRETE SLAB CONSTRUCTION	W W.C..... WALK IN CLOSET
BH..... BEAM HANGER	CAP..... CAPACITY	DB..... DROPPED BEAM	FCE..... FINISH CEILING ELEVATION	TJH..... TRIPLE JOIST HANGER	MIN..... MINIMUM	PC..... PARALLEL CHORD	SDB..... SOLID BEARING BELOW	W.C..... WATER CLOSET
BF..... BOTTOM FLUSH	CLG..... CEILING	E EXT..... EXTERIOR	FG..... FINISH GRADE ELEVATION	QBH..... QUAD BEAM HANGER	Mech..... MECHANICAL	PCST..... PARALLEL CHORD SCISSOR TRUSS	WB..... WASHROOM	WID..... WASHER AND DRYER
BYND..... BEYOND	CLSP..... CLEAR SPAN	E.T.R..... EXISTING TO REMAIN	FTG..... FOOTING	N N.A..... NOT APPLICABLE	M.C.O..... MASONRY OPENING	P.O..... POINT LOAD OVER	WID..... WASHROOM	WL..... WALL CONSTRUCTION
		E.T.B.R..... EXISTING TO BE REMOVED	FN..... FOUNDATION WL CONSTRUCTION	NSTL..... NON-STRUCTURAL	M.C.O..... MASONRY OPENING	PLO or [S]..... POINT LOAD OVER (SOLID BEARING UNDER PLO)	WLD..... WASHER AND DRYER	
		EDGE..... ESTABLISHED GRADE ELEVATION	(G)..... GRILLS (WINDOW APPLICATION)	NLB..... NON-LOAD BEARING WALL			WT..... WALL CONSTRUCTION	
			(GL)..... GRILLS LOWER					
			(GU)..... GRILLS UPPER					

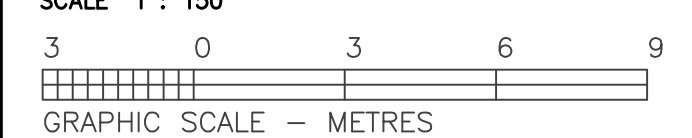
LEGEND

[Dashed Line]	Existing to be Removed
[Solid Line]	Existing to Remain
[Thick Solid Line]	New Proposed Dwelling



SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF SURVEY OF
LOT 15
REGISTERED PLAN 805
TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 SCALE 1 : 150

REGISTERED PLAN 805



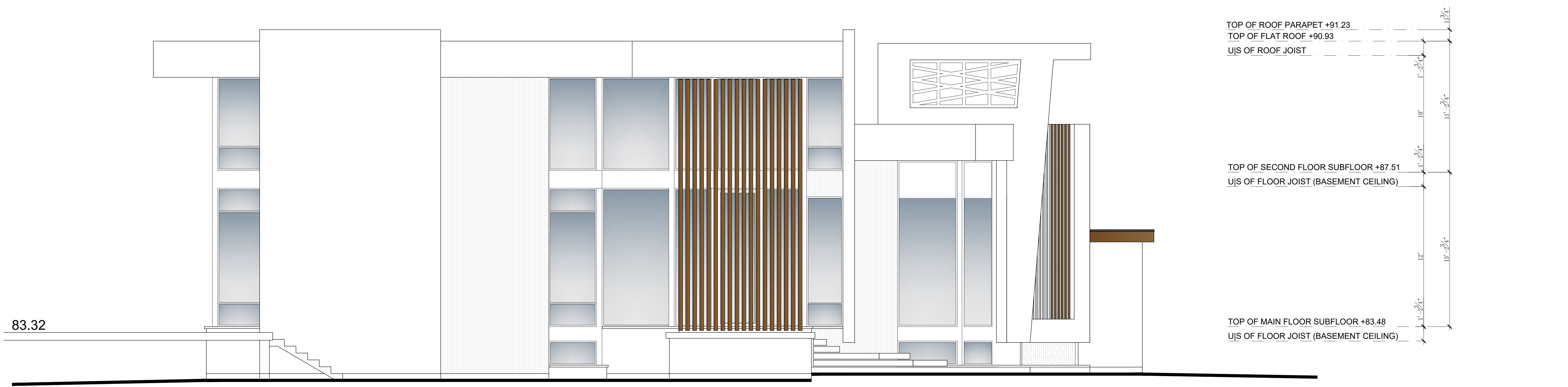
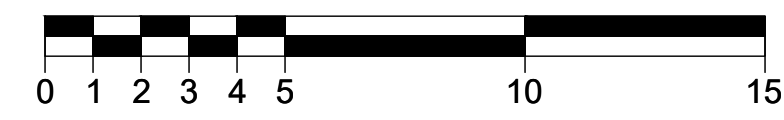
REVISION NOTE
 THIS PLAN WAS REVISED ON MAY 15, 2023 BY ADDING THE STABLE TOP OF BANK AS PER SOIL-MAT ENGINEERS & CONSULTANTS SLOPE STABILITY ASSESSMENT REPORT DATED MARCH 2023, FILE N° SM 230132-G.

- PART 2 – SURVEY REPORT**
- DESCRIPTION OF LAND:**
 ALL OF LOTS 321 AND 322 AND PART OF LOTS 309, 310 AND 311, REGISTERED PLAN 113.
 - REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:**
 BELL CANADA EASEMENT OVER THE REAR 1.22m AS IN INSTRUMENT N° 102286.
 TOWN OF OAKVILLE EASEMENT OVER THE EASTERLY 3.05m AS IN INSTRUMENT N° 205785.
 - BOUNDARY FEATURES:**
 ASIDE FROM FENCING, WE FOUND NO VISIBLE FEATURES MAY AFFECT THE BOUNDARY.
 - MUNICIPAL ZONING COMPLIANCE:**
 TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.
 - ZONING DATA:**
 - LOT AREA = 1,392.9 m²;
 - LOT FRONTAGE = 35.52m;
 - FRONTYARD SETBACK = Between 11.21m AND 16.71m;
 - ESTABLISHED GRADE = 81.93m;

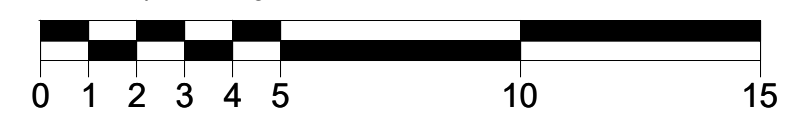
<p>ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-36545</p>	<p>INTEGRATION DATA BEARINGS ARE UTM GRID, DERIVED FROM THE OBSERVED REFERENCE POINTS "A" AND "B" BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS-2010.0) OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD-83 (CSRS-2010.0). CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.G. 216/10.</p> <table border="1"> <thead> <tr> <th>POINT N°</th> <th>NORTHING</th> <th>EASTING</th> </tr> </thead> <tbody> <tr> <td>"A"</td> <td>4,813,098.63</td> <td>608,747.72</td> </tr> <tr> <td>"B"</td> <td>4,813,083.68</td> <td>608,819.17</td> </tr> </tbody> </table> <p>CO-ORDINATES CAN NOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.</p>	POINT N°	NORTHING	EASTING	"A"	4,813,098.63	608,747.72	"B"	4,813,083.68	608,819.17	<p>DISTANCE NOTE DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.999745659.</p> <p>METRIC NOTE ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.</p> <p>ELEVATION NOTE ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK O-251 HAVING AN ELEVATION OF 118.729m (CGVD-1928:1978).</p>	<p>LEGEND</p> <ul style="list-style-type: none"> AW DENOTES SURVEY MONUMENT FOUND BB DENOTES SURVEY MONUMENT SET SIB DENOTES STANDARD IRON PIPE SRB DENOTES SHORT STANDARD IRON PIPE IB DENOTES IRON BAR CC DENOTES CONCRETE CURB CC DENOTES CONCRETE PIN CB DENOTES CONCRETE BLOCK PL DENOTES PLASTIC PIPE PL DENOTES PLASTIC PIN P.N. DENOTES PROPERTY IDENTIFICATION NUMBER (E) DENOTES ENCROACHMENT REFERENCE (M) DENOTES MARSHALL MAQUIN MONAGHAN (G) DENOTES GUNNINGHAM MCCONNELL LIMITED E.C. DENOTES BEGINNING OF CURVE P.R.C. DENOTES POINT OF REVERSE CURVE N.T. DENOTES NOT TANGENTIAL TANG DENOTES TANGENTIAL PROD DENOTES PRODUCTION (R) DENOTES RADIAL P-1 DENOTES REGISTERED PLAN 805 P-2 DENOTES PLAN BY (950) NOVEMBER 20, 2017 P-3 DENOTES PLAN BY SEWELL & SEWELL AUGUST 3, 1959 P-4 DENOTES PLAN BY MCCONNELL MAUGHAN JULY 21, 1983 P-5 DENOTES PLAN BY J.H. GELBLOOM SEPTEMBER 13, 2011 	<p>CLIENT'S NOTE THIS REPORT WAS PREPARED FOR ELIZABETH HAMVAI AND PHILIPPE DEROME AND THEIR SOLICITORS, MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.</p> <p>BEARING COMPARISON NOTE FOR BEARING COMPARISON THE BEARINGS ON PLANS WERE LOCATED BY: PLAN P1 = (-) 0°53'15" PLAN P2 = (-) 0°53'15"</p> <p>FLOODPLAIN LIMIT THE FLOODPLAIN LIMIT WAS OBTAINED FROM THE CONSERVATION HALTON MAPPING - MODEL MORR91.DATT.</p>	<p>TOPOGRAPHIC LEGEND</p> <ul style="list-style-type: none"> AW DENOTES ANCHOR WIRE(S) BB DENOTES BELL BOX BB DENOTES U/G BELL CABLE CON-0.20 DENOTES CONIFEROUS TREE 0.20 DIA DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA GM DENOTES GAS METER GV DENOTES GAS VALVE GM DENOTES GAS MAIN U/G DENOTES U/G GAS MAIN LS DENOTES LIGHT STANDARD (LAMP) WH DENOTES WHIMPLE OH DENOTES OVER HEAD WIRE(S) SW DENOTES SANITARY SEWER STW DENOTES STORM SEWER UP DENOTES UTILITY POLE UPLS DENOTES UTILITY POLE/LIGHT STANDARD WV DENOTES WATER VALVE (KEY) WM DENOTES U/G WATER MAIN 	<p>UNDERGROUND SERVICES NOTE ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN. THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.</p> <p>SURVEYOR'S CERTIFICATE I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON APRIL 10, 2023.</p> <p>DATE: APRIL 10, 2023</p> <p>SEE REVISION NOTE JARO A. LEGAT, M.Sc. ONTARIO LAND SURVEYOR</p>	<p>GUNNINGHAM MCCONNELL LIMITED ONTARIO LAND SURVEYORS</p> <p>1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2K4 PHONE (905) 845-3497 FAX (905) 845-3519 info@ocmlsurveyors.ca</p> <p>205 MAIN STREET MILTON, ONTARIO L9T 1N7 PHONE (905) 878-7810 FAX (905) 878-6672 milton.office@ocmlsurveyors.ca</p> <p>PLOT PAPER SIZE = 914mm BY 609mm PLAN 28-23-1</p> <p>© COPYRIGHT NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF GUNNINGHAM MCCONNELL LIMITED.</p>
POINT N°	NORTHING	EASTING														
"A"	4,813,098.63	608,747.72														
"B"	4,813,083.68	608,819.17														



NORTH SIDE ELEVATION PC1
Scale: 1/4" = 1'-0"



EAST SIDE ELEVATION PC1
Scale: 1/4" = 1'-0"



7			
6			
5			
4			
3			
2			
1			

No.	Description	Date	By
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Revisions:

ENGINEERING DESIGN CRITERIA	
ROOF LOADS	
Ground Snow Load	23.0 Psf 40 Psf
Dead Load	15 Psf 18 Psf
Rain Load	8.35 Psf
NOTE: Hourly Wind Pressure (q_h)= 9.2 psf (0.44 kPa)	

Project Site: #1238 DONLEA CRES., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENT INC

Date: OCT. 07, 2024 Scale: as shown Job #: 0524-017

Page Title: PROPOSED CONCEPT ELEVATIONS (N&E)

Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

Drawn By: _____ Checked by: _____

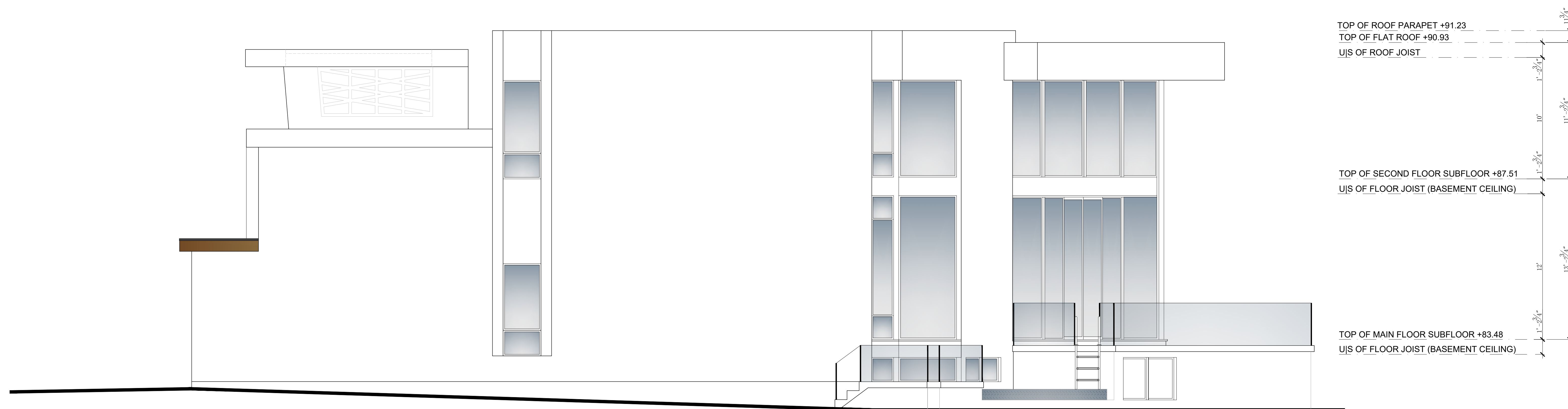
A200

LEGEND

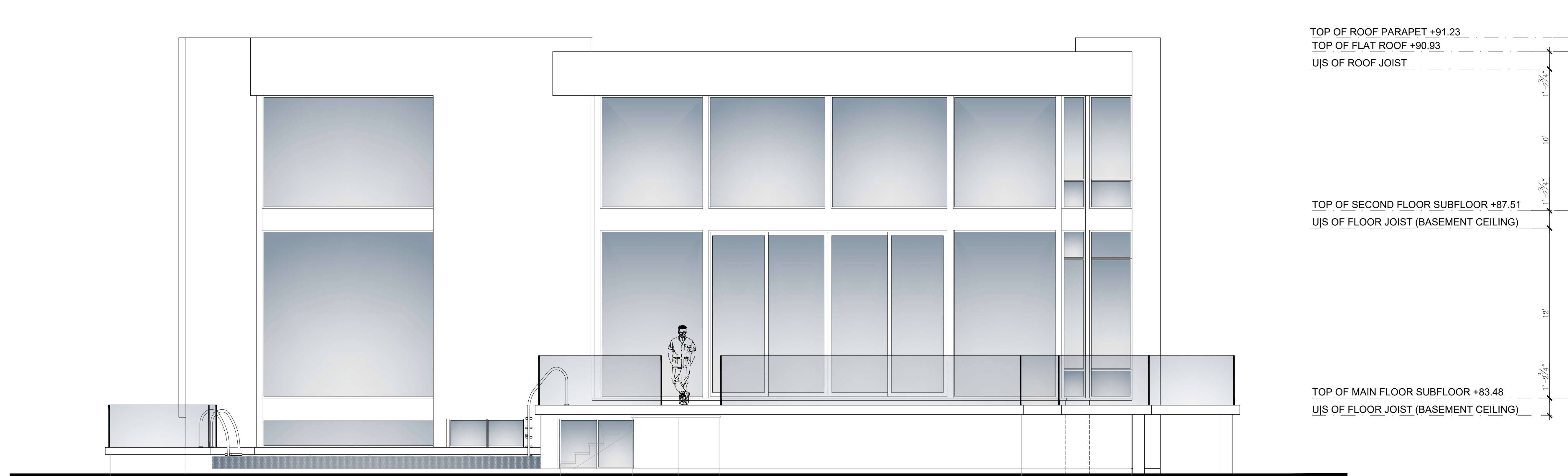
	Existing to be Removed
	Existing to Remain
	New Proposed Dwelling

ABBREVIATIONS & SYMBOLS

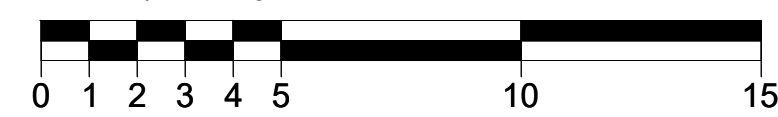
<p>A..... AVERAGE GRADE ELEVATION AT..... APPROVED FLAT BOTTOM CHORD TRUSSES B..... BEAM BTN..... BETWEEN BU..... BUILT-UP BO..... BY OTHERS BH..... BEAM HANGER BF..... BOTTOM FLUSH BYND..... BEYOND</p>	<p>C..... COMPLETE WITH CONC..... CONCRETE CLN..... COLUMN CANT..... CANTILEVERED CB..... CROSS BRIDGING CLS..... CLOSET CAP..... CAPACITY CLG..... CEILING CLSP..... CLEAR SPAN</p>	<p>D..... DOWN DN..... DOUBLE DBL..... DIAMETER DIA. or [Ø]..... DIAMETER DIAG...... DIAGONAL DWC..... DRAWINGS(S) DL..... DROPPED LINTEL DB..... DROPPED BEAM E..... EXTERIOR EXT...... EXTERIOR E.T.R...... EXISTING TO REMAIN E.T.B.R...... EXISTING TO BE REMOVED EBGE..... ESTABLISHED GRADE ELEVATION</p>	<p>F..... FLUSH LINTEL FL..... FLUSH BEAM FLR..... FLOOR FLC..... FLOOR CONSTRUCTION FFE..... FINISH FLOOR ELEVATION FSE..... FINISH SLAB ELEVATION FCE..... FINISH CEILING ELEVATION FGE..... FINISH GRADE ELEVATION FTG..... FOOTING FN..... FOUNDATION WL CONSTRUCTION FRN..... FURNACE G..... GRILLS (WINDOW APPLICATION) (GL)..... GRILLS LOWER (GU)..... GRILLS UPPER</p>	<p>H..... HORIZONTAL HORIZ..... HORIZONTAL HB..... HOSE BIB I..... IN PLACE OF INT..... INTERIOR J..... JOISTS JH..... JOIST HANGER DJH..... DOUBLE JOIST HANGER TJH..... TRIPLE JOIST HANGER QBH..... QUAD BEAM HANGER K..... KILN DRIED</p>	<p>L..... LOAD BEARING LB..... LOAD BEARING WALL LBW..... LOAD BEARING WALL L..... LINEN CLOSET LIN..... LINEN CLOSET M..... MAXIMUM MIN..... MINIMUM MECH..... MECHANICAL MANUF..... MANUFACTURED M.O...... MASONRY OPENING N/A..... NOT APPLICABLE NSTL..... NON-STRUCTURAL NLB..... NON-LOAD BEARING WALL</p>	<p>O..... ON CENTRE SPACING O.B.C...... ONTARIO BUILDING CODE OPG..... OPENING OBS..... OBSCURED OJS..... OUTSWING P..... PRESSURE TREATED PC..... PARALLEL CHORD PCST..... PARALLEL CHORD SCISSOR TRUSS PLO or [S]..... POINT LOAD OVER (SOLID BEARING UNDER P'LO)</p>	<p>Q..... QUAD BEAM HANGER R..... REINFORCED R..... RADIUS RSO..... ROUGH OPENING RSOW..... ROUGH SAWN OPENING WIDTH RSOH..... ROUGH SAWN OPENING HEIGHT REFP or [R]..... REFERENCE POINT RF..... ROOF CONSTRUCTION</p>	<p>S..... STEEL LINTEL SB..... STEEL BEAM SPL..... SLOPING LINTEL SPB..... SLOPING BEAM SBFLR..... SUBFLOOR SLB..... CONCRETE SLAB CONSTRUCTION SDB..... SOLID BEARING BELOW T..... TYPICAL T.O...... TOP OF TOF..... TOP OF FOOTING TPW..... TOP OF FOUNDATION WALL (T) or [T]..... TEMPERED GLASS (TL) or [TL]..... TEMPERED GLASS IN LOWER UNIT ONLY</p>	<p>U..... UNLESS NOTED OTHERWISE UJS..... UNDERSIDE OF USF..... UNDERSIDE OF FOOTING UXC..... UNEXCAVATED V..... VENTILATION VERT...... VERTICAL W.I.C...... WALK IN CLOSET W.C...... WATER CLOSET WR..... WASHROOM WD..... WASHER AND DRYER WL..... WALL CONSTRUCTION</p>
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WEST SIDE ELEVATION PC1
Scale: 1/4" = 1'-0"



SOUTH SIDE ELEVATION PC1
Scale: 1/4" = 1'-0"



LEGEND

	Existing to be Removed
	Existing to Remain
	New Proposed Dwelling



7			
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No.	Description	Date	By
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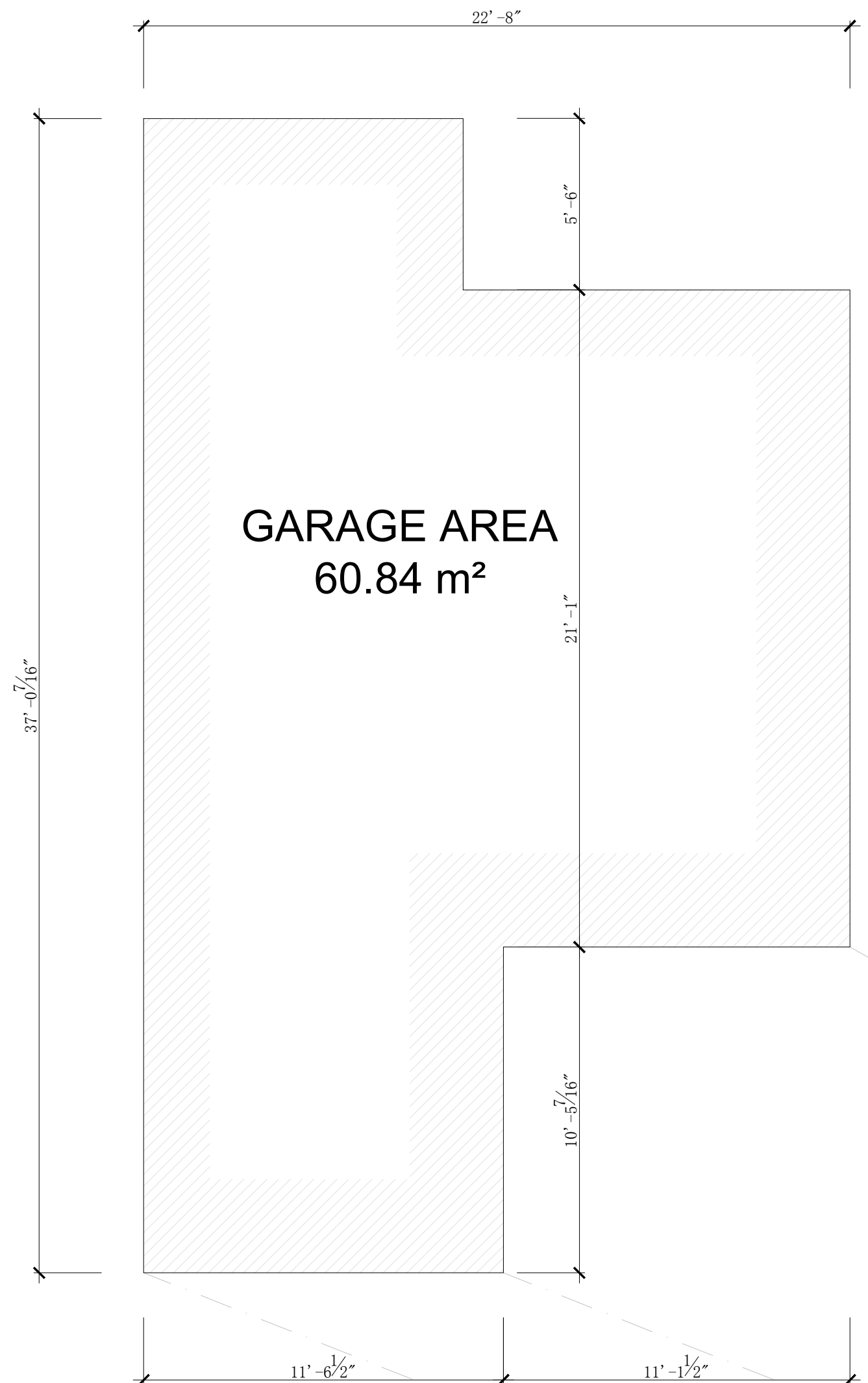
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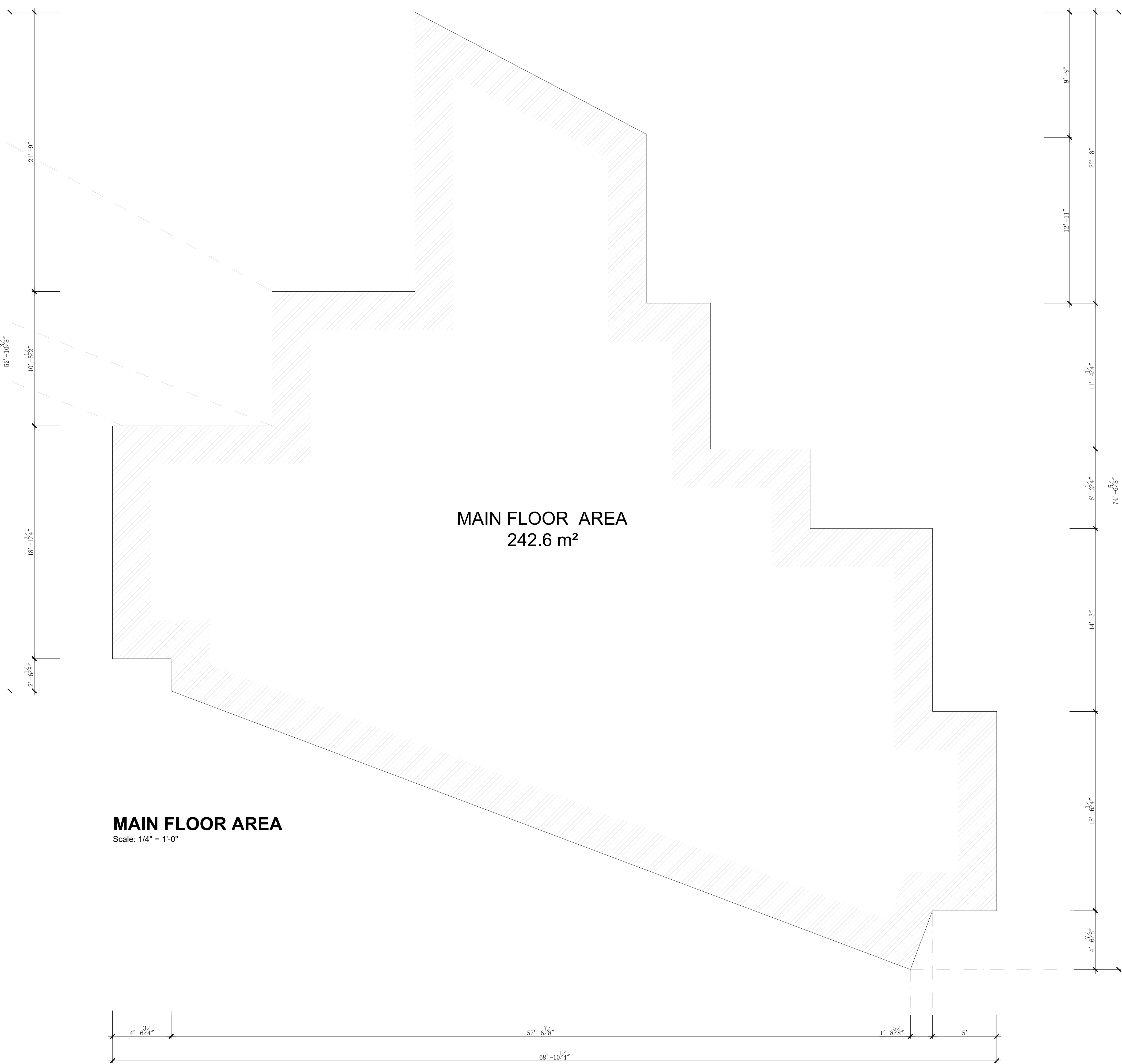
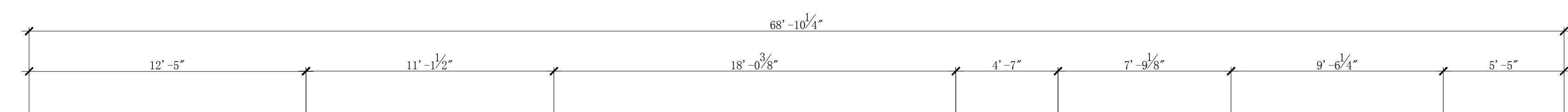
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ABBREVIATIONS & SYMBOLS

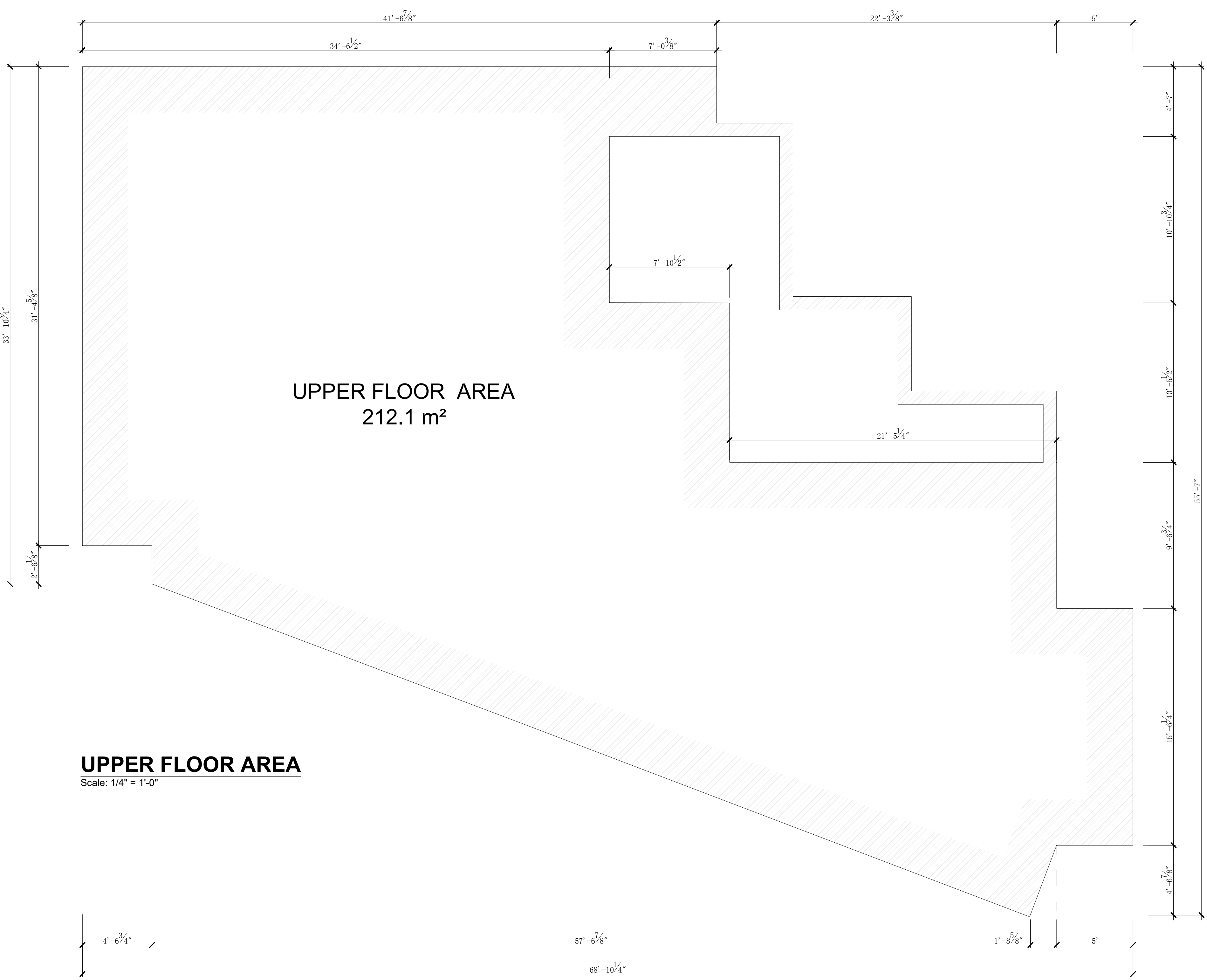
A	AGE.....AVERAGE GRADE ELEVATION	C	CW.....COMPLETE WITH	D	DN.....DOWN	F	FHL.....FLUSH LINTEL	H	HORIZ.....HORIZONTAL	L	LB.....LOAD BEARING	O	O/C.....ON CENTRE SPACING	S	SL.....STEEL LINTEL	U	U.N.O.....UNLESS NOTED OTHERWISE
AT	APPROVED FLAT BOTTOM CHORD TRUSSES	CONC	CONCRETE	DBL	DOUBLE	FB	FLUSH BEAM	HB	HOSE BIB	LBW	LOAD BEARING WALL	O.B.C	ONTARIO BUILDING CODE	UJS	UNDERSIDE OF		
B	BEAM	CLN	COLUMN	DIA. or (Ø)	DIAMETER	FLR	FLOOR	L	WOOD LINTEL	OPG	OPENING	USF	UNDERSIDE OF FOOTING	UXC	UNEXCAVATED		
BTN	BETWEEN	CANT	CANTILEVERED	DWG	DRAWING(S)	FL	FLOOR CONSTRUCTION	LIN	LINEN CLOSET	OBS	OBSCURED	USP	UNDERSIDE OF FOOTING				
BU	BUILT-UP	CB	GROSS BRIDGING	DL	DROPPED LINTEL	FFE	FINISH FLOOR ELEVATION	I	IN PLACE OF	OJS	OUTSWING	USP	UNDERSIDE OF FOOTING				
B/O	BY OTHERS	CLS	CLOSET	DB	DROPPED BEAM	FSE	FINISH SLAB ELEVATION	INT	INTERIOR	P	PRESSURE TREATED	REFP	REFERENCE POINT				
BH	BEAM HANGER	CAP	CAPACITY	E	EXT.	FCE	FINISH CEILING ELEVATION	J	JOISTS	PC	PARALLEL CHORD	REFP	REFERENCE POINT				
BF	BOTTOM FLUSH	CLG	CEILING	EXT.	EXISTING TO REMAIN	FGE	FINISH GRADE ELEVATION	JH	JOIST HANGER	PCST	PARALLEL CHORD SCISSOR TRUSS	REFP	REFERENCE POINT				
BYND	BEYOND	CLSP	CLEAR SPAN	E.T.B.R.	EXISTING TO BE REMOVED	FTG	FOOTING	DJH	DOUBLE JOIST HANGER	PLO or [S]	(SOLID BEARING UNDER 'PLO')						
				EBGE	ESTABLISHED GRADE ELEVATION	FRN	FOUNDATION WL CONSTRUCTION	TJH	TRIPLE JOIST HANGER								
						FRN	FURNACE	QBH	QUAD BEAM HANGER								
				(G)	GRILLS (WINDOW APPLICATION)			N	NOT APPLICABLE								
				(GL)	GRILLS LOWER			NSTL	NON-STRUCTURAL								
				(GU)	GRILLS UPPER			NLB	NON-LOAD BEARING WALL								



GARAGE FLOOR AREA
Scale: 1/4" = 1'-0"



MAIN FLOOR AREA
Scale: 1/4" = 1'-0"



UPPER FLOOR AREA
Scale: 1/4" = 1'-0"

ABBREVIATIONS & SYMBOLS

A AVERAGE GRADE ELEVATION	C COMPLETE WITH	D DOWN	F FLUSH LINTEL	H HORIZONTAL	L LOAD BEARING	O ON CENTRE SPACING	Q	S STEEL LINTEL	U UNLESS NOTED OTHERWISE
AT APPROVED FLAT BOTTOM CHORD TRUSSES	CONC. CONCRETE	DBL DOUBLE	FB FLUSH BEAM	HB HOSE BIB	LB LOAD BEARING WALL	O.B.C. ONTARIO BUILDING CODE	R	SL SLOPING LINTEL	U.S. UNDERSIDE OF
B BEAM	CLN COLUMN	DIA. or (Ø) DIAMETER	FLR FLOOR	INT. INTERIOR	L. LINEN CLOSET	OPG OPENING	RENF. REINFORCED	SPL SLOPING LINTEL	USF UNDERSIDE OF FOOTING
BTN BETWEEN	CANT. CANTILEVERED	DWG. DRAWING(S)	FLC FLOOR CONSTRUCTION	I IN PLACE OF	LIN. LINEN CLOSET	OBS. OBSURED	R.v. RADIUS	SPB SLOPING BEAM	UXC UNEXCAVATED
BUI BUILT-UP	CLB GROSS BRIDGING	DL. DROPPED LINTEL	FFE FINISH FLOOR ELEVATION	I.P.O. IN PLACE OF	M	OJS OUTSWING	RSO ROUGH OPENING	SBFLR SUBFLOOR	V VENTILATION
B/O BY OTHERS	CLS CLOSET	DB DROPPED BEAM	FSE FINISH SLAB ELEVATION	INT. INTERIOR	MAX. MAXIMUM	P	RSOH ROUGH SAWN OPENING HEIGHT	SLB CONCRETE SLAB CONSTRUCTION	VERT. VERTICAL
BH BEAM HANGER	CAP CAPACITY	FN FOUNDATION WL CONSTRUCTION	FCE FINISH CEILING ELEVATION	J JOISTS	MIN. MINIMUM	P.P.T. PRESSURE TREATED	REFP REFERENCE POINT	SDB SOLID BEARING BELOW	W
BF BOTTOM FLUSH	CLG CEILING	FRN FURNACE	FGE FINISH GRADE ELEVATION	J.H. JOIST HANGER	MECH. MECHANICAL	PC. PARALLEL CHORD	RF ROOF CONSTRUCTION	T	W.C. WALK IN CLOSET
BYND BEYOND	CLSP CLEAR SPAN	EDGE ESTABLISHED GRADE ELEVATION	FTG FOOTING	DJH DOUBLE JOIST HANGER	MANUF. MANUFACTURED	PCST. PARALLEL CHORD SCISSOR TRUSS	PLO or ([S]) (SOLID BEARING UNDER 'PLO')	TPW TOP OF FOUNDATION WALL	W.C. WATER CLOSET
			FRN FURNACE	TJH TRIPLE JOIST HANGER	M.O. MASONRY OPENING			TPW TOP OF FOUNDATION WALL	W.R. WASHROOM
			G	QBH QUAD BEAM HANGER	N.A. NOT APPLICABLE			TL or (TL) TEMPERED GLASS	W.D. WASHER AND DRYER
			(G)..... GRILLS (WINDOW APPLICATION)	N. NOT APPLICABLE	N.A. NOT APPLICABLE			(TL) or (TL) TEMPERED GLASS	WL WALL CONSTRUCTION
			(GL)..... GRILLS LOWER	N.L.B. NON-LOAD BEARING WALL	N.L.B. NON-LOAD BEARING WALL				
			(GU)..... GRILLS UPPER						

Project Site: #1238 DONLEA CRES., OAKVILLE, ON.		
OWNER: LACABAN DEVELOPMENT INC		
Date: OCT. 07, 2024	Scale: as shown	Job #: 0524-017
Page Title: BUILDING AREA SKETCHES		
Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)		
Drawn By:	Checked by:	Page: A303