

**SITE DATA:**

ZONING: RL2-0

LOT AREA: 1044.53 SQM (11,243.2 SQFT)

**LEGAL SETBACKS:**

FRONT YARD SETBACK: 10.45 M

EXISTING SETBACK - MINIMUM = EXISTING - 1.0M = 9.45 M

MAXIMUM = NEW MINIMUM + 5.5M = 15.95 M

WEST SIDE YARD SETBACK: 1.20 M

EAST SIDE YARD SETBACK: 2.40 M

REAR YARD SETBACK: 7.50 M

**EXISTING SETBACKS:**

REAR (SOUTH) SETBACK: 15.22 M

FRONT (NORTH) SETBACK: 10.45 M

WEST SETBACK: 2.15 M

EAST SETBACK: 1.73 M

**BUILDING FOOTPRINT AREA:**

HOUSE/GARAGE AREA: 254.0 SQM (2734.3 SQFT)

COVERED FRONT PORCH: 6.7 SQM (71.7 SQFT)

COVERED AREA OF REAR WALKOUT: 8.8 SQM (95.0 SQFT)

TOTAL EXISTING FOOTPRINT: 269.5 SQM (2901.0 SQFT)

**PROPOSED BUILDING FOOTPRINT AREA:**

EXISTING FOOTPRINT: 269.5 SQM (2901.0 SQFT)

PROPOSED ELEV. & GYM ADDITION: 18.7 SQM (201.1 SQFT)

TOTAL PROPOSED FOOTPRINT: 288.2 SQM (3102.1 SQFT)

**LOT COVERAGE:**

MAXIMUM PERMISSIBLE = 25% 1045.16 X 0.25 = 261.29 SQM (2812.5 SQFT)

EXISTING COVERAGE = 25.79% 269.5 SQM (2901.0 SQFT)

PROPOSED COVERAGE = 27.57% 288.2 SQM (3102.1 SQFT)

**RFA:**

EX. GROUND FLOOR: 209.2 SQM (2252.1 SQFT)

GROUND FLOOR ADDITION: 9.1 SQM (97.8 SQFT)

TOTAL GROUND FLOOR: 218.3 SQM (2349.9 SQFT)

EX. SECOND FLOOR: 202.6 SQM (2181.3 SQFT)

SECOND FLOOR ADDITION: 7.0 SQM (75.6 SQFT)

TOTAL GROUND FLOOR: 209.6 SQM (2256.9 SQFT)

TOTAL RFA: 427.9 SQM (4606.8 SQFT)

**MAXIMUM RFA:**

MAXIMUM PERMISSIBLE 1045.16 X 0.394 = 407.61 SQM (4387.5 SQFT)

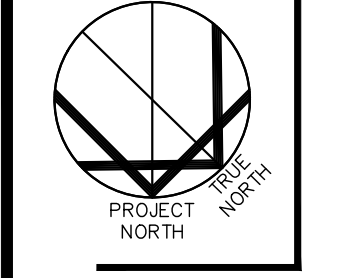
39% AS PER C OF A CAV A-109/2017: 404.9 SQM (4350.7 SQFT)

EXISTING RFA = 38.7% 427.9 SQM (4606.8 SQFT)

PROPOSED RFA = 40.94% 427.9 SQM (4606.8 SQFT)



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**general notes:**

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ISSUE	DATE	DESCRIPTION	INITIAL
1	03/09/24	CLIENT REVIEW	TK
2	03/15/24	CLIENT REVIEW	TK
3	03/18/24	CLIENT REVIEW	TK
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5	04/03/24	CLIENT REVIEW	TK
6	05/13/24	SPA	TK
7	05/30/24	PERMIT & CONSTRUCTION	TK
8	07/19/24	PERMIT	TK
9	07/29/24	PERMIT	TK
10	10/01/24	PERMIT	TK
11	10/03/24	PERMIT	TK



PERMIT  
 Issued to: OCTOBER 3, 2024  
 Issue date

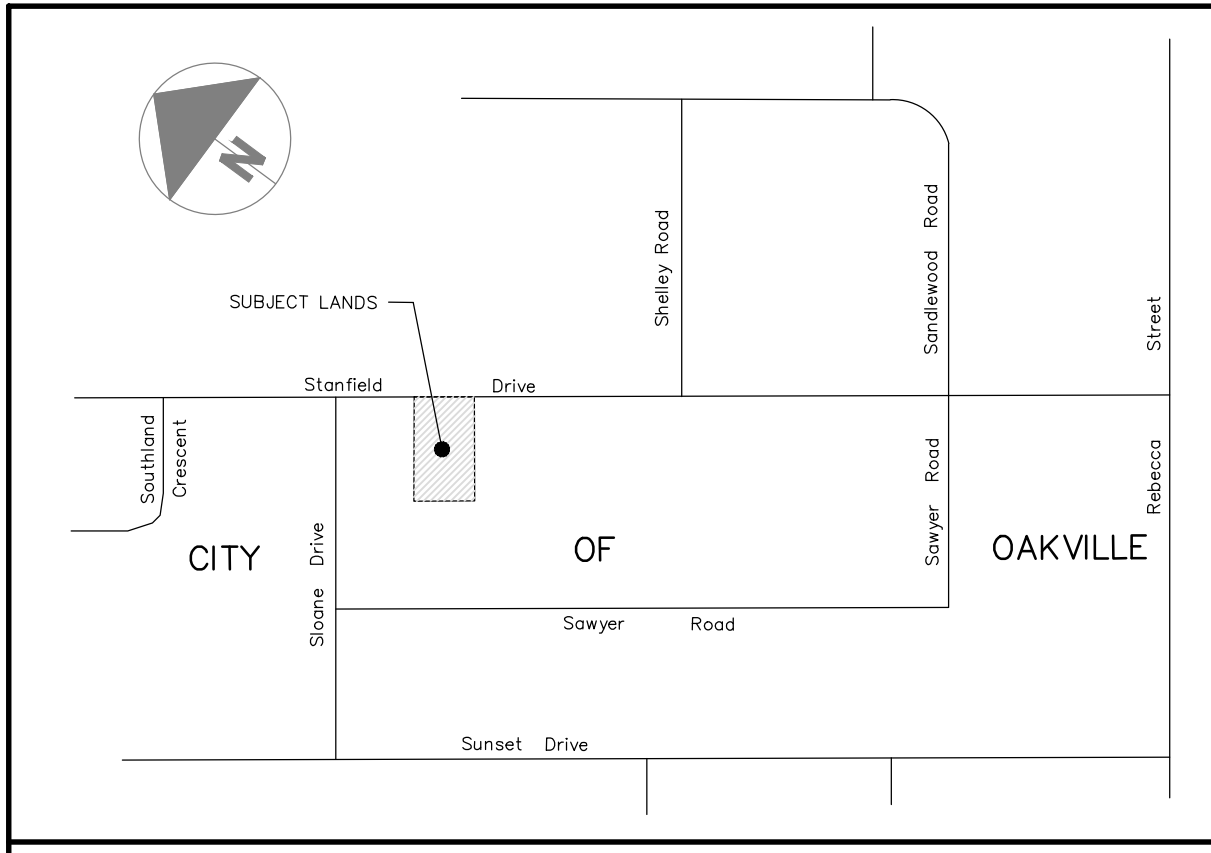
Project No.	DRL	TK
Drawn by	Checked by	

Single Family Residence  
 Renovation & Addition  
 372 Standfield Drive  
 Oakville Ontario

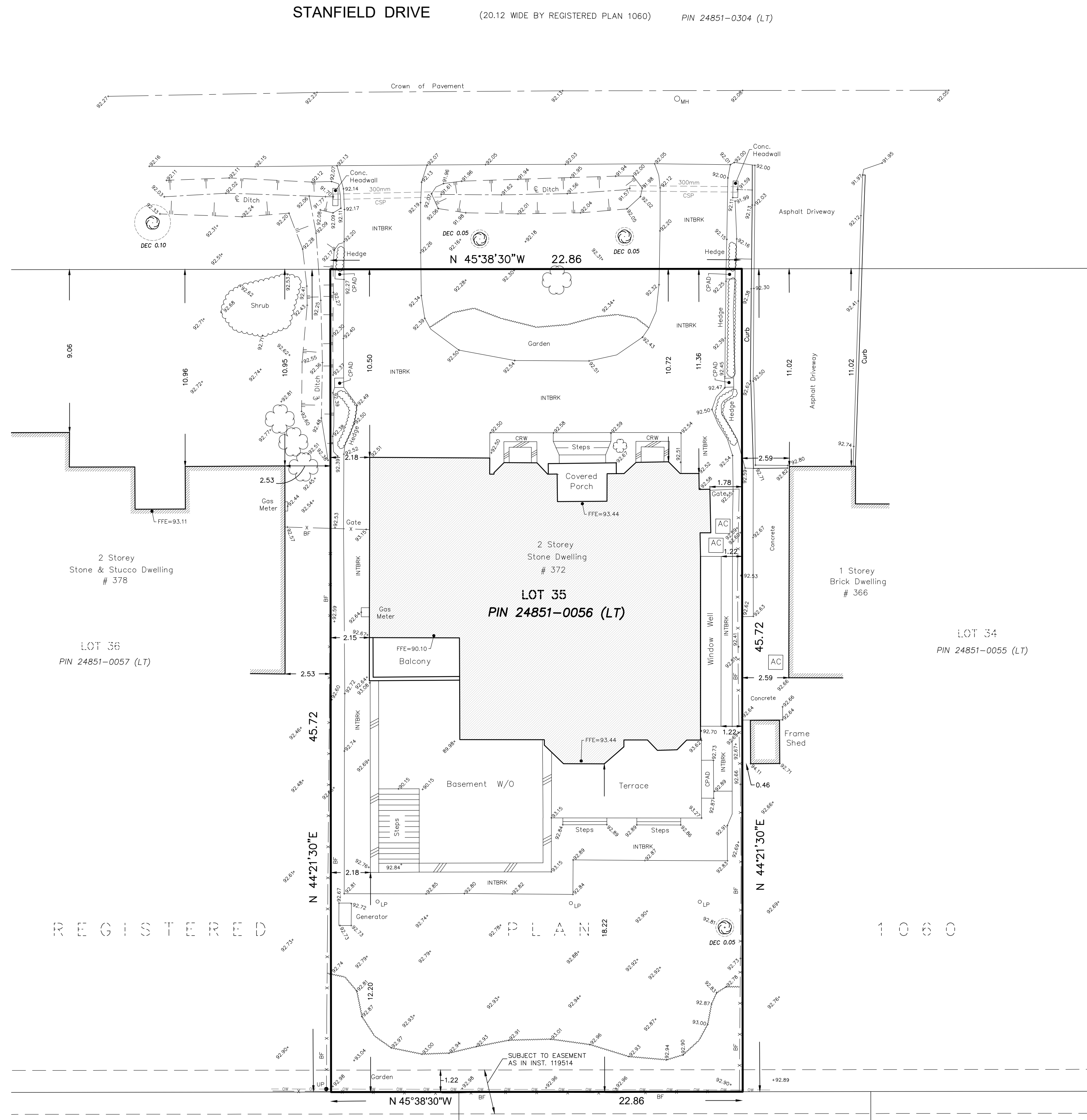
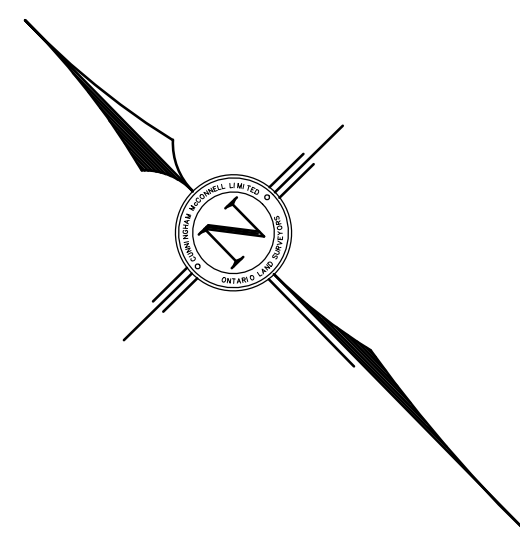
Site Plan  
 Drawing title

1 SITE PLAN  
 A1.1 3/32" = 1'-0"

OCBA



KEY PLAN  
NOT TO SCALE



TOPOGRAPHIC SKETCH OF  
LOT 35  
REGISTERED PLAN 1060  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON  
SCALE 1:150

GRAPHIC SCALE

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**BENCH MARK NOTE:**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK N° 251 HAVING AN ELEVATION OF 118.729m. (CGVD-1928, 1978 Re-adjustment).

**TOPOGRAPHIC LEGEND**

- AC DENOTES AIR CONDITIONER
- CRW DENOTES CONCRETE RETAINING WALL
- CSF DENOTES CORRUGATED STEEL PIPE
- CPAD DENOTES CONCRETE SIDEWALK
- CONC DENOTES CONCRETE PAD
- CON 0.20 DENOTES CONIFERUS TREE 0.20 DIA
- DEC 0.20 DENOTES DECIDUOUS TREE 0.20 DIA
- FTE DENOTES FINISHED FLOOR ELEVATION
- INTBRK DENOTES INTERLOCKING BRICK
- LP DENOTES LAMP
- MM DENOTES MANNHOLE
- UP DENOTES UTILITY POLE
- OW DENOTES OVERHEAD WIRE
- AW DENOTES ANCHOR WIRE
- RS DENOTES ROAD SIGN
- BT DENOTES TOP OF BANK
- SR DENOTES SHRUB

**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.  
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**BOUNDARY NOTE:**  
THIS SKETCH IS PREPARED FROM COMPILED REGISTRY OFFICE AND CALCULATED INFORMATION, NOT FROM AN ACTUAL SURVEY. DISTANCES SHOWN HAVE NOT BEEN VERIFIED BY AN ACTUAL SURVEY.

**BEARING NOTE:**  
BEARINGS SHOWN HEREON ARE UTM GRID, DERIVED FROM GPS RTK (TOPNET NETWORK) OBSERVATIONS.  
FOR BEARING COMPARISONS, A ROTATION OF 00°50'30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS SHOWN ON REGISTERED PLAN 1060.



**ONTARIO LAND SURVEYORS**  
1200 SPEERS ROAD, UNIT 35 OAKVILLE, ONTARIO L6L 2K4  
PHONE: (905) 845-3497  
info@omlsurveyors.ca

215 MAIN STREET MILTON, ONTARIO L9T 1N7  
PHONE: (905) 878-7810  
milton.office@omlsurveyors.ca

CLIENT: SHARED PLAN 9-24-1

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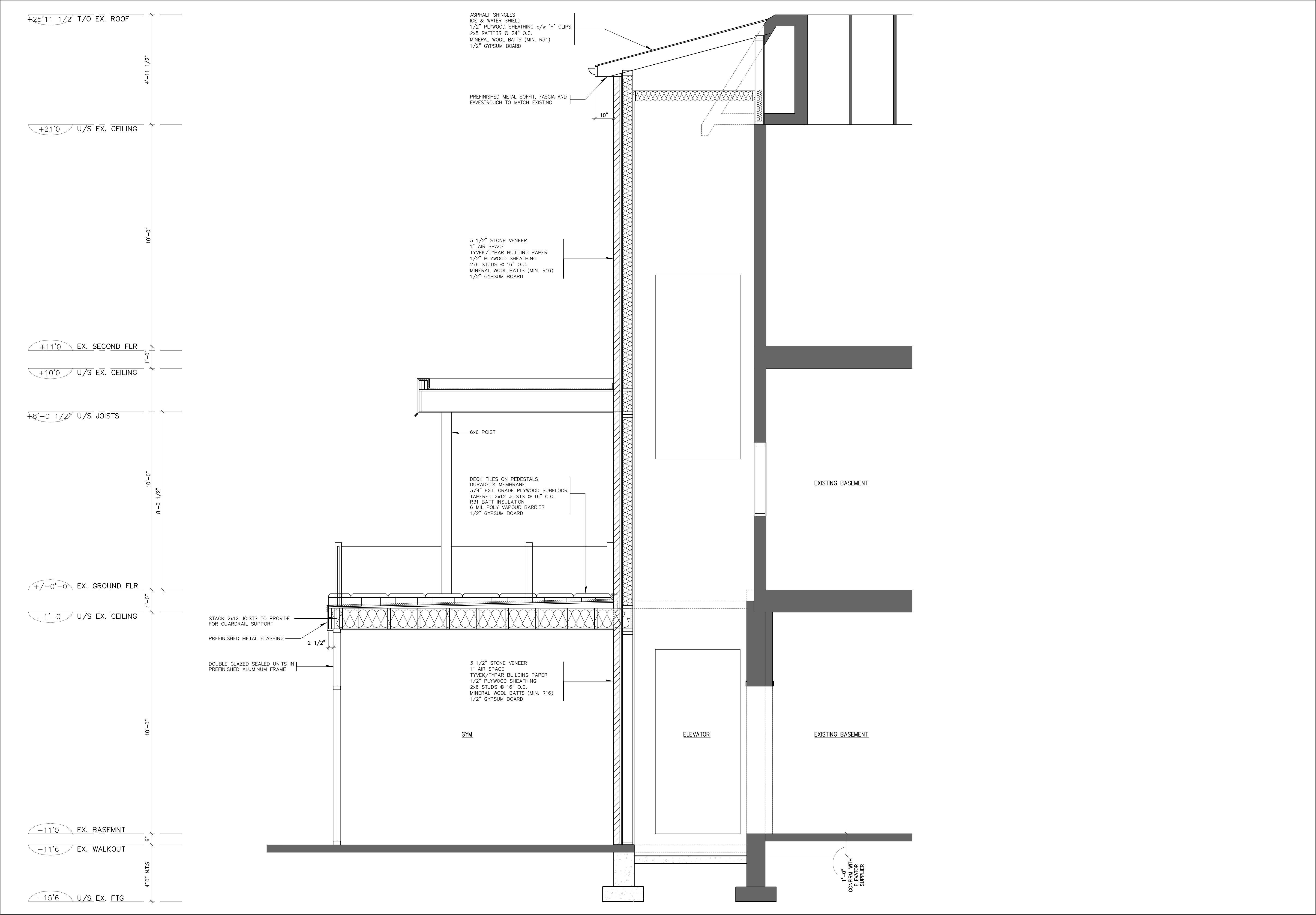
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**OCTOBER 3, 2024**  
 Issue date

Project No. \_\_\_\_\_ DRL \_\_\_\_\_ TK \_\_\_\_\_  
 Drawn by \_\_\_\_\_ Checked by \_\_\_\_\_

**Single Family Residence  
 Renovation & Addition**  
 372 Standfield Drive  
 Oakville Ontario

Project \_\_\_\_\_  
 Wall Sections  
 Drawing title

**A4.1**



**1**  
 A4.1 ELEVATOR SECTION  
 1/2 = 1'-0"



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#118	DATE	DESCRIPTION	#118
1	8/22/24	CLIENT REV	12
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86	8/22/24	CLIENT REV	97
87	8/22/24	CLIENT REV	98
88	8/22/24	CLIENT REV	99
89	8/22/24	CLIENT REV	100



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 OCTOBER 3, 2024  
 Issued by

Project No. \_\_\_\_\_ Drawn by \_\_\_\_\_  
 Single Family Residence  
 Renovation & Addition  
 372 Standfield Drive  
 Oakville Ontario

Project  
 West Elevation



1 Side Elevation  
 A3.2 1/4" = 1'-0"



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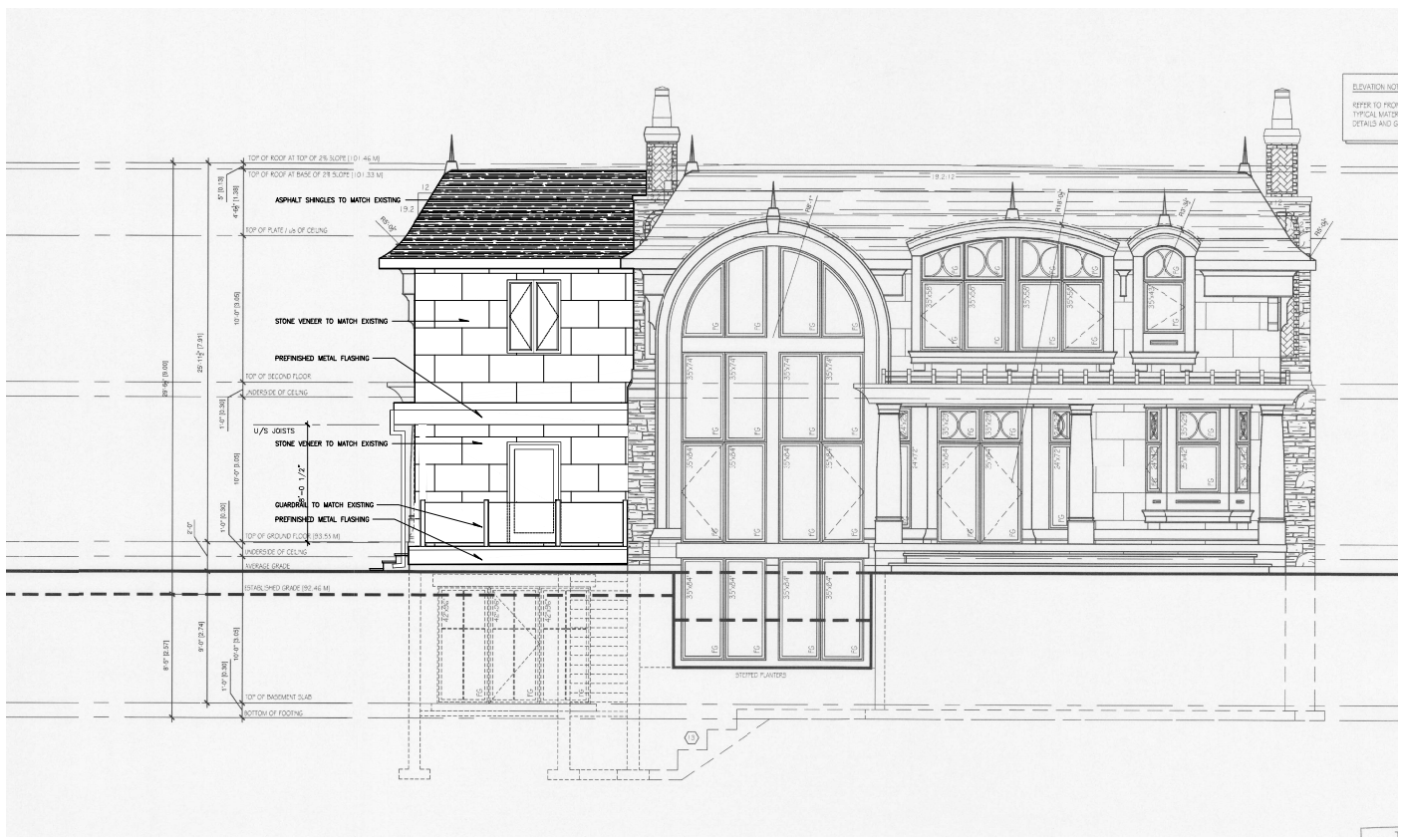
#	DATE	DESCRIPTION	BY
1	8/22/24	CLEAR THE REV	TK
2	8/22/24	CLEAR THE REV	TK
3	8/22/24	CLEAR THE REV	TK
4	8/22/24	CLEAR THE REV	TK
5	8/22/24	CLEAR THE REV	TK
6	8/22/24	FORM & CONSTRUCTION	TK
7	8/22/24	FORM	TK
8	8/22/24	FORM	TK
9	8/22/24	FORM	TK
10	8/22/24	FORM	TK



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 Project No. [Blank] Drawn by: [Blank] T.K.  
 Checked by: [Blank]  
 Single Family Residence  
 Renovation & Addition  
 372 Standfield Drive  
 Oakville Ontario

Rear (South) Elevation



1 Front Elevation  
1/4" = 1'-0"

A3.1