

**PLAN OF SURVEY OF
BLOCK 1
PLAN 20M-////
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:500
R-PE SURVEYING LTD., O.L.S.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- NOTES**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - DENOTES SHORT STANDARD IRON BAR
 - DENOTES STANDARD IRON BAR
 - DENOTES IRON BAR
 - DENOTES PLASTIC BAR
 - DENOTES CONCRETE PIN
 - DENOTES PROPERTY IDENTIFIER NUMBER
 - DENOTES OBSERVED REFERENCE POINT
 - DENOTES PLAN 20M-///
 - DENOTES FENCE
 - DENOTES LINE OF BALCONY ABOVE
- ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS UNLESS NOTED OTHERWISE

INTEGRATION NOTE

BEARINGS AND DISTANCES ARE DERIVED FROM ORP (S) AND (B) S ARE DERIVED FROM REAL TIME NETWORK STATION 2072010009 (NORTHING 4801633.53, EASTING 597944.44).

COORDINATES ARE UTM ZONE 17, NAD83 (CSRS/CRV6:2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF OREG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT	NORTHING	EASTING
ORP (S)	4807697.30	600753.38
ORP (B)	4807726.19	601298.26

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE ___ DAY OF ___, 2024.

DATE: ____, 2024

L. A. ABRAHAM
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS
PLAN SUBMISSION FORM NUMBER V--

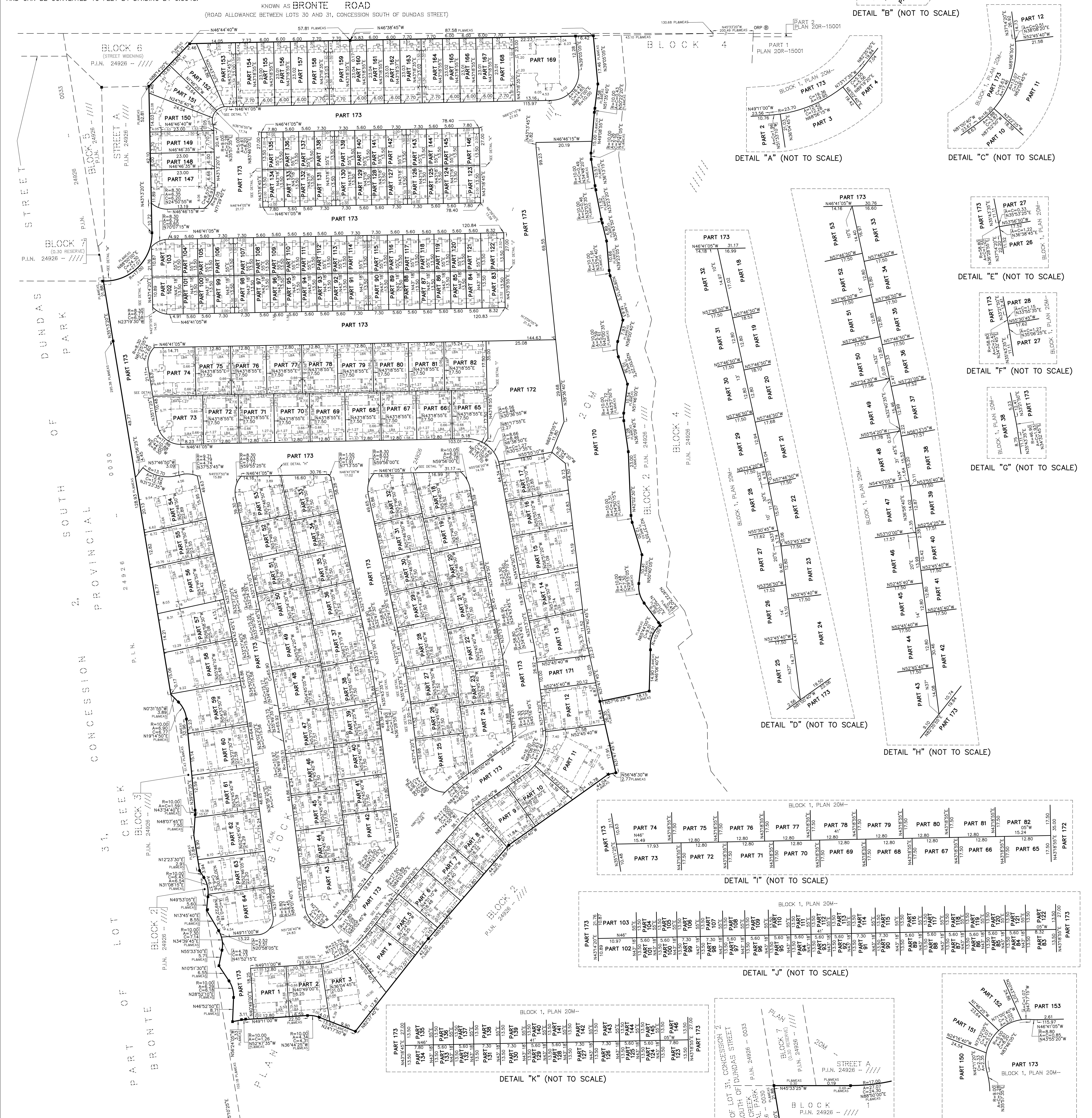
PLAN 20R--

RECEIVED AND DEPOSITED

DATE: ____, 2024

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF HALTON (No.20)

SCHEDULE			
PARTS	ALL OF BLOCK	PLAN	PART OF PLAN
1 TO 173	INCLUSIVE	20M-///	24926-///



DETAIL "K" (NOT TO SCALE)

PART	AREA (M ²)	AREA (SQ FT)
PART 173	13.00	13.00
PART 172	13.00	13.00
PART 171	13.00	13.00
PART 170	13.00	13.00
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PART 5	13.00	13.00
PART 4	13.00	13.00
PART 3	13.00	13.00
PART 2	13.00	13.00
PART 1	13.00	13.00

DETAIL "L" (NOT TO SCALE)

August 30, 2024

GSAI File: 1635-001

In Memoriam, Founding Partner:
Glen Schnarr

Secretary-Treasurer
Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3

**RE: Minor Variance Application
Bronte River LP
1300 – 1350 Bronte Road, Town of Oakville**

Glen Schnarr & Associates Inc (GSAI) have been retained by Bronte River LP (the 'Owner') of the lands municipally known as 1300, 1316, 1326, 1342 and 1350 Bronte Road, in the Town of Oakville (the 'Subject Lands' or 'Site'). On behalf of the Owner, we are pleased to provide this Minor Variance Application to facilitate a residential development on the Subject Lands.

In support of this Application, please find attached the following materials:

- A copy of the signed Application Form;
- A copy of the Draft M-Plan, prepared by R-PE;
- A copy of the Conceptual Development Plan, prepared by Gerrard Design, dated July 22, 2024;
- A copy of the 42' Lot Architectural Plans, prepared by Q4 Architects Inc, dated June 6, 2024., including:
 - Ground Floor Plan (Drawing A1.02);
 - Second Floor Plan (Drawing A1.03);
 - Third Floor Plan (Drawing A1.04);
 - Optional Third Floor Plan (Drawing A4.05);
 - Front Elevation (Drawing A2.01);
 - Left (Side) Elevation (Drawing A2.02);
 - Rear Elevation (Drawing A2.03);
 - Right (Side) Elevation (Drawing A2.04);
- A copy of the 46' Lot Architectural Plans, prepared by Q4 Architects Inc, dated May 31, 2024., including:
 - Ground Floor Plan (Drawing B-1.1);
 - Second Floor Plan (Drawing B-2.1);
 - Front Elevation (Drawing B-4.1);
 - Left (Side) Elevation (Drawing B-4.2);
 - Rear Elevation (Drawing B-4.3);
 - Right (Side) Elevation (Drawing B-4.4);
- A copy of the 50' Lot Architectural Plans, prepared by Q4 Architects Inc, dated May 31, 2024., including:
 - Ground Floor Plan (Drawing A-1.1);

- Optional Ground Floor Plan (Drawing A-1.2);
- Optional Second Floor Plan (Drawing A-2.3);
- Optional Third Floor Plan (Drawing A-3.2);
- Third Floor Plan (Drawing A-3.3);
- Front Elevation (Drawing A-4.1);
- Left (Side) Elevation (Drawing A-4.2);
- Rear Elevation (Drawing A-4.3);
- A copy of the By-law 2024-029; and,
- A copy of the Variance Sketch, prepared by GSAI, dated August 23, 2024.

Payment of full fees will be provided prior to circulation.

SITE & SURROUNDING AREA

The Subject Lands are an assembly of five (5) lots located on the west side of Bronte Road, north of the Queen Elizabeth Way ("QEW") and south of Upper Middle Road. The Site, which is currently municipally known as 1300, 1316, 1326, 1342 and 1350 Bronte Road, is located within an evolving community. More specifically, the Subject Lands and surrounding area are in various stages of development. Once complete, this area of the Town will support the creation of a complete community whereby a range of uses are to be provided as well as a range of built forms. Given this, the surrounding area can be understood to have an evolving and eclectic character due to the range and mixture of built forms.

By way of context, the Subject Lands are referred to as the 'Bronte River' development and are subject to previous approvals. These approvals include a site-specific Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision. The approved Zoning By-law Amendment culminated in By-law 2024-029, while the approved Draft Plan of Subdivision will culminate in the creation of development blocks. As demonstrated on the accompanying Plan of Subdivision, the development area subject to this current Minor Variance Application is comprised of a segment of Block 1 lands. The entirety of the Block 1 lands will be further divided and enable the creation of individual lots, or Parcels of Tied Lands ('POTLs'), via a future Exemption from Part Lot Control Approval process. The Site is also currently ongoing a Site Plan pre-submission process. When complete, the Bronte River development will provide for the creation of a compact residential development comprised of dual frontage townhouse, back-to-back townhouse and detached built forms. This Application is focused on a segment of the Block 1 lands in the overall subdivision which are to be developed for a range and mixture of detached dwellings.

OFFICIAL PLAN & ZONING

The segment of the Subject Lands subject to this Application are designated 'Low Density Residential' by the in-effect Livable Oakville Plan. In accordance with a Town Council approved Official Plan Amendment, the Site is also subject to an Area Specific policy which permits the overall development density and the introduction of private condominium roadways. For clarity, the Area Specific policy does not change the permitted use of the Site.

The Site is subject to the Town of Oakville Zoning By-law 2014 – 014 ('By-law 2014-014'), as amended, which zones the segment of the Site subject to this Application as 'Residential Low Density, Special Provision 429 (RL6 sp. 429)' via By-law 2024-029. Detached dwellings are a permitted use. Special Provision 429 establishes a series of site-specific

development standards, including minimum setbacks and maximum projections, that the detached dwellings must conform to.

REQUESTED RELIEF

The Owner is in the process of obtaining planning approvals (via a site plan pre-submission) to construct a series of new detached dwellings, including integrated private garages and select rear yard, 2nd level balconies. The proposed dwellings, as currently contemplated, has been planned and designed to comply with the applicable zoning regulations, to the greatest extent possible and to implement the approved development vision established by the accompanying Conceptual Development Plan. The following are the variances for which the Owner is seeking approval:

1. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 65% of the dwelling width measured at the rear of the main building is requested.

2. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 63% of the dwelling width measured at the rear of the main building is requested.

3. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 72% of the dwelling width measured at the rear of the main building (of corner lots) is requested.

4. Section 15.429.1.k), By-law 2014-014

A maximum encroachment into a minimum rear yard for uncovered platforms having a floor height less than or equal to 3.0 metres, measured from grade, of up to 1.2 m from the rear lot line is required.

A maximum encroachment into a minimum rear yard for uncovered platforms on the second level having a floor height greater than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is requested.

MINOR VARIANCE TESTS

Section 45(1) of the *Planning Act*, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. Those tests are:

1. The variance maintains the general intent and purpose of the Official Plan.

2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development or use of the land.
4. The variance is minor in nature.

In my opinion, the requested variances are supportable and meet the four tests under the *Planning Act* in the following ways:

The Variance Maintains The General Intent & Purpose of the Official Plan

As mentioned above, the segment of the Subject Lands subject to this Application are designated 'Low Density Residential' by the in-effect Livable Oakville Plan. The intent of the 'Low Density Residential' designation is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed detached dwelling built forms are permitted.

Livable Oakville directs that infill development in stable residential communities is to be evaluated against perspective criteria (Section 11.1.9). Specifically, Section 11.1.9 states:

"Development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:

- a) *The built form of development, including scale, height, massing, architectural character, and materials, is to be compatible with the surrounding neighbourhood.*
- b) *Development should be compatible with the setbacks, orientation, and separation distances within the surrounding neighbourhood.*
- h) *Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing."*

The proposed dwellings (as demonstrated in the accompanying Architectural Plans) have been designed to be complimentary to and compatible with both historical and surrounding development forms in the surrounding area. This is achieved through the provision of refined, high-quality built forms that include stepbacks above the ground level, the integration of living areas into the roofline and built form features that are similar and complimentary to those found in the immediate surrounding area.

I also highlight that the presence of a covered front porch and an integrated, front yard private garage are features found throughout the immediate surrounding community. As such, the prevailing pattern of dwelling orientation, height, massing and character are maintained. Furthermore, the proposed facades are to provide for similar, compatible material selections as those present in the surrounding community and provides for a built form, scale and massing that has clear ground level elements, and mitigates the appearance of blank front main walls or a dwelling that visually overwhelms. This enables the provision of living areas that meet the needs of families, while also being appropriately and sensitively provided on the lot. Given the above, the proposal will provide for built forms, massing and built form features that will seamlessly integrate with the established and evolving character of the community.

Based on the above, it is my opinion that the requested variances conform to the policy objectives established by the Livable Oakville Plan and meet the general intent and purpose of the Official Plan.

The Variance Maintains The General Intent & Purpose of the Zoning By-law

As mentioned above, the Subject Lands are subject to By-law 2014-014, as amended. The requested variances seek the following relief:

Maintenance of Rear Yard Setbacks, as a function of dwelling width

Section 15.429.1.d) of By-law 2014-014 states that a minimum rear yard setback of 1.2 m is permitted for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building, whereas a 1.2 m rear yard setback for 63%, 65% and 72% of the dwelling width measured at the rear of the main building is requested.

The general intent and purpose of setback regulations is to ensure sufficient spacing and buffering between buildings that are beside one another in order to provide appropriate transition and scale as well as adequate space for maintenance, while also avoiding privacy and overlook concerns.

In this case, the minimum rear yard setback of 1.2 metres is to be maintained, while the setback as a measure of dwelling width along the rear façade is to be increased depending on the lot configuration. More specifically, the rear yard setback as a measure of dwelling width is to be increased from 55% of the dwelling depth along the rear façade to 63%, 65% and 72% of dwelling width for certain lots as further demonstrated on the accompanying Variance Sketch. The requested setback as a measure of an increased dwelling width is required to facilitate a refined, high-quality built form that incorporates interior living spaces that reflect the changing needs of families. I highlight that the overall position of dwellings on the lot, regardless of the lot configuration under consideration, and the minimum rear yard setbacks will remain unchanged. Furthermore, the greatest relief of 72% is only applicable to select corner lots across the development. As a result, the requested setbacks and home designs are reflective of the proposed, optimized site design and will provide for sufficient spacing and visual screening. Visual screening is to be provided via privacy fencing along the shared property lines as well as rear yard amenity areas and landscaping. As a result, the positioning of the dwellings on the lot at 63%, 65% and 72% of the dwelling width will provide a consistent pattern, will not lead to privacy concerns nor will it have adverse impacts on the surrounding lands.

Increased Rear Yard Maximum Encroachment

Section 15.429.1.k) of By-law 2014-014 states that a maximum encroachment into a minimum rear yard for uncovered platforms having a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is required, whereas a maximum encroachment into a minimum rear yard for a 2nd level uncovered platform having a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 metres from the rear lot line is requested.

The general intent and purpose of projection regulations is to control massing and architectural form. Projection regulations often work hand-in-hand with building envelope regulations to ensure an appropriate built form is provided on a lot.

In this case, By-law 2024-029 permits rear yard projections for uncovered platforms with a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 metres from the rear lot line, while a maximum projection for a 2nd level uncovered platform with a floor height less than or equal to 3.0 m, measured from grade, up to 1.2 m from the rear lot line is requested. For clarity, this requested relief is only being requested for a selection of detached lots on the periphery within the development as demonstrated on the accompanying Variance Sketch.

In this case, the requested projection permission for a 2nd level uncovered platform is to facilitate the provision of a walk-out terrace above the ground level. This terrace, which is understood to be an uncovered platform for the purpose of zoning, will enable an outdoor area to be provided that is a natural extension of the adjacent interior living area. It will also further compliment the rear yard outdoor amenity space provided for residents. Given the balcony is to be positioned above the ground level, the agreed upon placement of dwellings on the lot is to be maintained and the specified maximum projection into the required rear yard is also maintained. A consistent pattern is also to be provided as each selected detached lot is to have this requested terrace. Furthermore, By-law 2024-029 already permits rear yard projections with a floor height less than or equal to 3.0 m, measured from grade. As such, the requested relief to permit a 2nd level uncovered platform is a minor deviation from existing permissions.

Finally, I highlight that the requested 2nd level uncovered platforms are to be provided only on those lots which abut Natural Area or Stormwater Management Facility areas. Collectively, the above-noted features contribute to refined, high-quality built forms and optimal site designs to be realized and to prevent adverse overlook conditions. As a result, the requested projection permission and home designs will provide for an appropriate and desirable rear yard condition which does not lead to overlook or privacy concerns nor will it have any adverse impacts on the surrounding lands.

Based on the above, it is my opinion that the proposed variances meet the general intent and purpose of the Zoning By-law.

The Variance is Desirable for the Appropriate Development or Use of the Land

Approval of the requested variance will allow for the proposed redevelopment of the Subject Lands as contemplated by the previous development approvals. Reinvestment in lands in close proximity to services and amenities, such as that being proposed, is appropriate and desirable for the Town, the Neighbourhood, and this Site.

The requested increased dwelling width as a measure of rear yard setbacks and increased uncovered platform projections will maintain appropriate built forms, height, mass, and built-form features. The variances are desirable in recognizing the appropriate development and use of the Subject Lands.

Overall, it is my opinion that the proposed variances have been designed to be complimentary to the character of the Subject Lands and the surrounding community. The proposal will not negatively affect surrounding uses and represents an efficient, compatible, and appropriate development that is desirable for the Subject Lands.

The Variance is Minor in Nature

The requested variances will permit the development of new dwellings on the Subject Lands and represent a minor departure from current zoning permissions. The variances required do not represent overdevelopment of the Subject Lands as the proposed dwellings will be complimentary to the surrounding community and have been thoroughly reviewed as a result of the previous development approval processes.

Overall, the variances will allow for sensitive reinvestment to occur on the Subject Lands in a manner that is compatible and in keeping with the current and evolving physical character of the surrounding community. The variances requested will not result in adverse impacts on adjoining properties or surrounding lands. Therefore, it is my opinion that the proposed variances are minor in nature.

CONCLUSION

As described above, the requested variances satisfy the four tests of Section 45(1) of the *Planning Act* and represent good planning. As such, we respectfully request the Town's recommendation in favour for the proposed variances.

Yours very truly,

GLEN SCHNARR & ASSOCIATES INC.



Stephanie Matveeva, MCIP, RPP
Associate

Material Legend

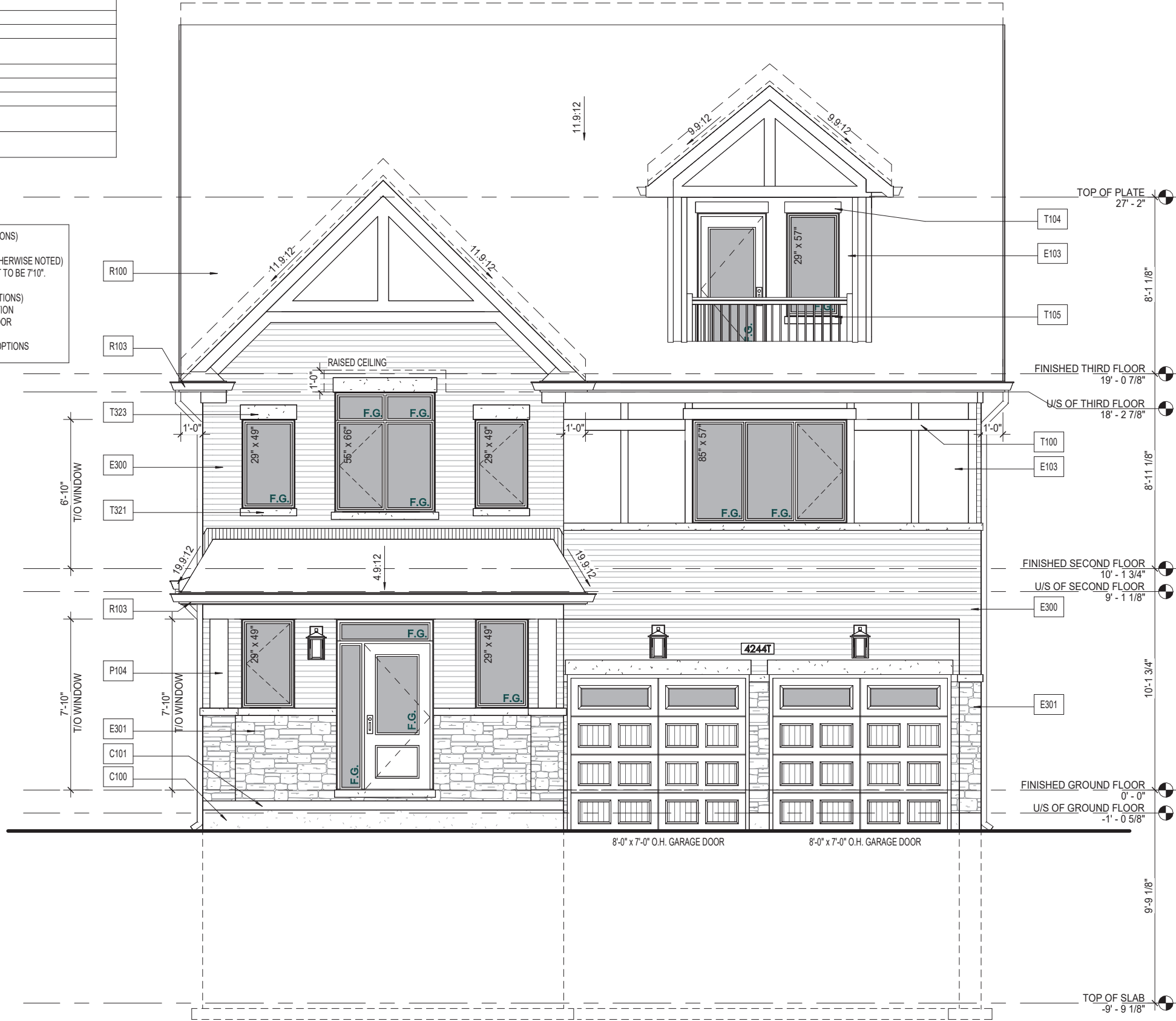
C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
C101	POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED.
E103	SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK)
E300	FACE BRICK (TYP.)
E301	STONE VENEER (TYP.)
P104	SQUARE VINYL OR FIBERGLASS COLUMN
R100	ASPHALT SHINGLES (TYP)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T100	FIBER-CEMENT TRIM BOARD
T104	FIBER-CEMENT HEADER TRIM BOARD
T105	FIBER-CEMENT SILL TRIM BOARD
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION
T323	SMOOTH PRECAST OR STONE W/ 1/2" PROJECTION

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-0".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'-0" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



A - FRONT ELEVATION

A - FRONT ELEVATION

Sheet Title

Project Title

CAVAN TCSD42' MODULE

Location

BRAMPTON - CALEDON, ON.

Client

CAVAN

Issued / Revision Chart

NO	ISSUED FOR CONSULTANT	2024.06.06	NS
6	ISSUED FOR CONSULTANT	2024.06.06	NS
5	UPDATED AS PER CLIENT	2024.04.26	TW
4	FINAL SCHEMATIC DESIGN ISSUED	2024.03.15	SL/HR
3	ISSUED FOR CLIENT	2024.02.09	GB
2	FULL SD ISSUED FOR CLIENT	2023.12.11	HR
1	FULL SD ISSUED FOR CLIENT	2023.12.11	HR

Q4 ARCHITECTS INC.

4110 Yonge Street
Suite 602, Toronto, ON.
M2P 2B7

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E. info@q4architects.com

Q4A

ARCHITECTS

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PROFESSIONAL STAMP

TCSD4244T

Project No. 23008
Scale 3/16" = 1'-0"

Drawn By TW
Checked By NS/KB

A2.01

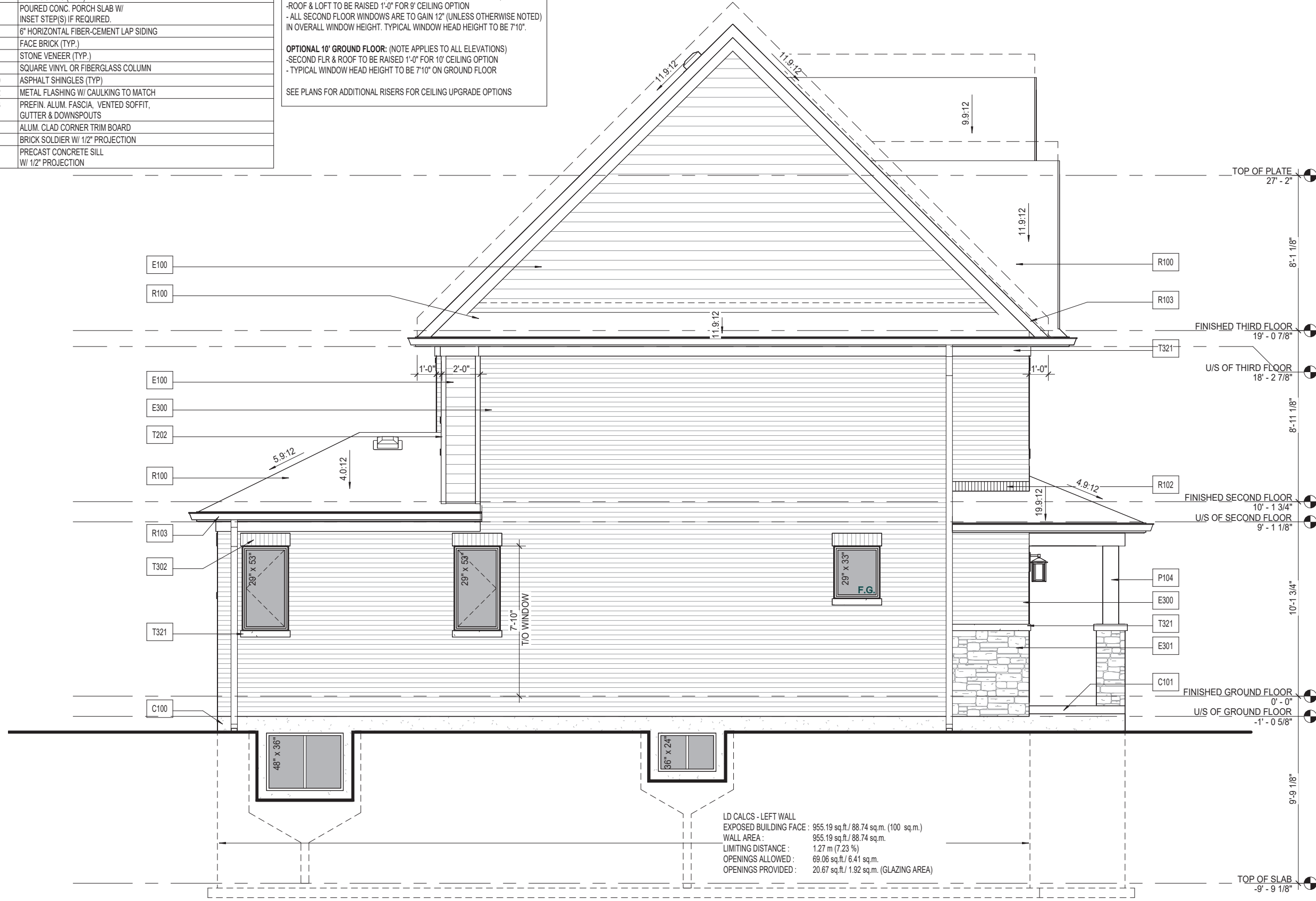
Material Legend	
C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
C101	POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED.
E100	6" HORIZONTAL FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
E301	STONE VENEER (TYP.)
P104	SQUARE VINYL OR FIBERGLASS COLUMN
R100	ASPHALT SHINGLES (TYP)
R102	METAL FLASHING W/ CAULKING TO MATCH
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T202	ALUM. CLAD CORNER TRIM BOARD
T302	BRICK SOLDIER W/ 1/2" PROJECTION
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - LEFT WALL
 EXPOSED BUILDING FACE : 955.19 sq.ft./ 88.74 sq.m. (100 sq.m.)
 WALL AREA : 955.19 sq.ft./ 88.74 sq.m.
 LIMITING DISTANCE : 1.27 m (7.23 %)
 OPENINGS ALLOWED : 69.06 sq.ft./ 6.41 sq.m.
 OPENINGS PROVIDED : 20.67 sq.ft./ 1.92 sq.m. (GLAZING AREA)

A - LEFT ELEVATION

A - LEFT ELEVATION

Sheet Title

TCSD4244T

Project Title
CAVAN TCSD42' MODULE

Location
BRAMPTON - CALEDON, ON.
Client
CAVAN

Project No. **23008**
Scale **3/16" = 1'-0"**
Drawn By **TW**
Checked By **NS/KB**

A2.02

NO	ISSUED FOR CONSULTANT	2024.06.06	NS
6	ISSUED FOR CONSULTANT	2024.06.06	NS
5	UPDATED AS PER CLIENT	2024.04.26	TW
4	FINAL SCHEMATIC DESIGN ISSUED	2024.03.15	SL/MR
3	ISSUED FOR CLIENT	2024.02.09	GB
2	FULL SD ISSUED FOR CLIENT	2023.12.11	MR
1	FULL SD ISSUED FOR CLIENT	2023.12.11	MR

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Issued / Revision Chart

Material Legend

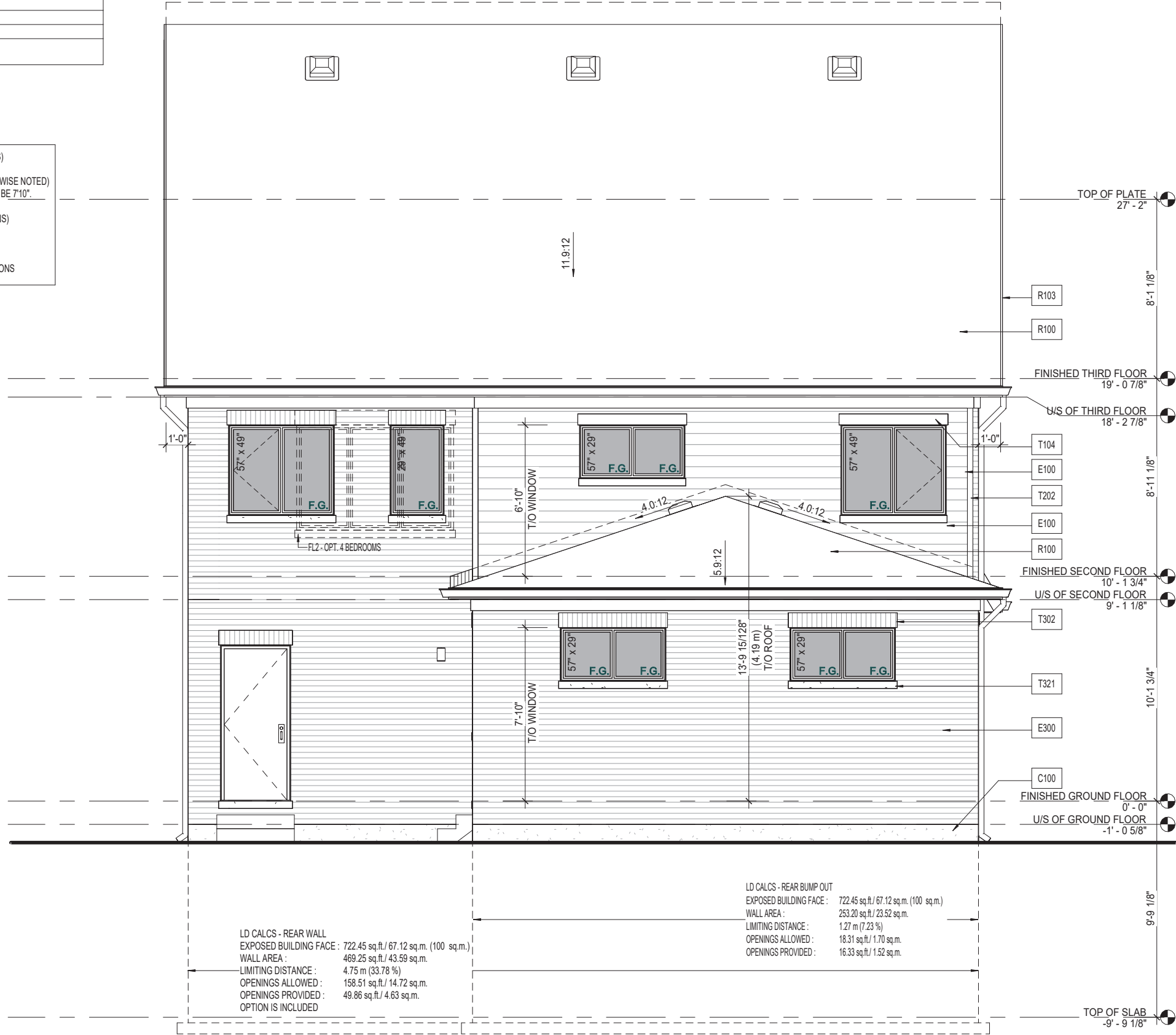
C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
E100	6" HORIZONTAL FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
R100	ASPHALT SHINGLES (TYP.)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T104	FIBER-CEMENT HEADER TRIM BOARD
T202	ALUM. CLAD CORNER TRIM BOARD
T302	BRICK SOLDIER W/ 1/2" PROJECTION
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - REAR WALL
EXPOSED BUILDING FACE : 722.45 sq.ft./ 67.12 sq.m. (100 sq.m.)
WALL AREA : 469.25 sq.ft./ 43.59 sq.m.
LIMITING DISTANCE : 4.75 m (33.78 %)
OPENINGS ALLOWED : 158.51 sq.ft./ 14.72 sq.m.
OPENINGS PROVIDED : 49.86 sq.ft./ 4.63 sq.m.
OPTION IS INCLUDED

LD CALCS - REAR BUMP OUT
EXPOSED BUILDING FACE : 722.45 sq.ft./ 67.12 sq.m. (100 sq.m.)
WALL AREA : 253.20 sq.ft./ 23.52 sq.m.
LIMITING DISTANCE : 1.27 m (7.23 %)
OPENINGS ALLOWED : 18.31 sq.ft./ 1.70 sq.m.
OPENINGS PROVIDED : 16.33 sq.ft./ 1.52 sq.m.

A - REAR ELEVATION

A - REAR ELEVATION

Sheet Title

Project No.	23008
Scale	3/16" = 1'-0"
Drawn By	TW
Checked By	NS/KB

Project Title
CAVAN TCSD42' MODULE

Location
BRAMPTON - CALEDON, ON.
Client
CAVAN

Issued / Revision Chart

6	ISSUED FOR CONSULTANT	2024.06.06	NS
5	UPDATED AS PER CLIENT	2024.04.26	TW
4	FINAL SCHEMATIC DESIGN ISSUED	2024.03.15	SL/MR
3	ISSUED FOR CLIENT	2024.02.09	GB
2	FULL SD ISSUED FOR CLIENT	2023.12.11	MR
1	FULL SD ISSUED FOR CLIENT	2023.12.11	MR

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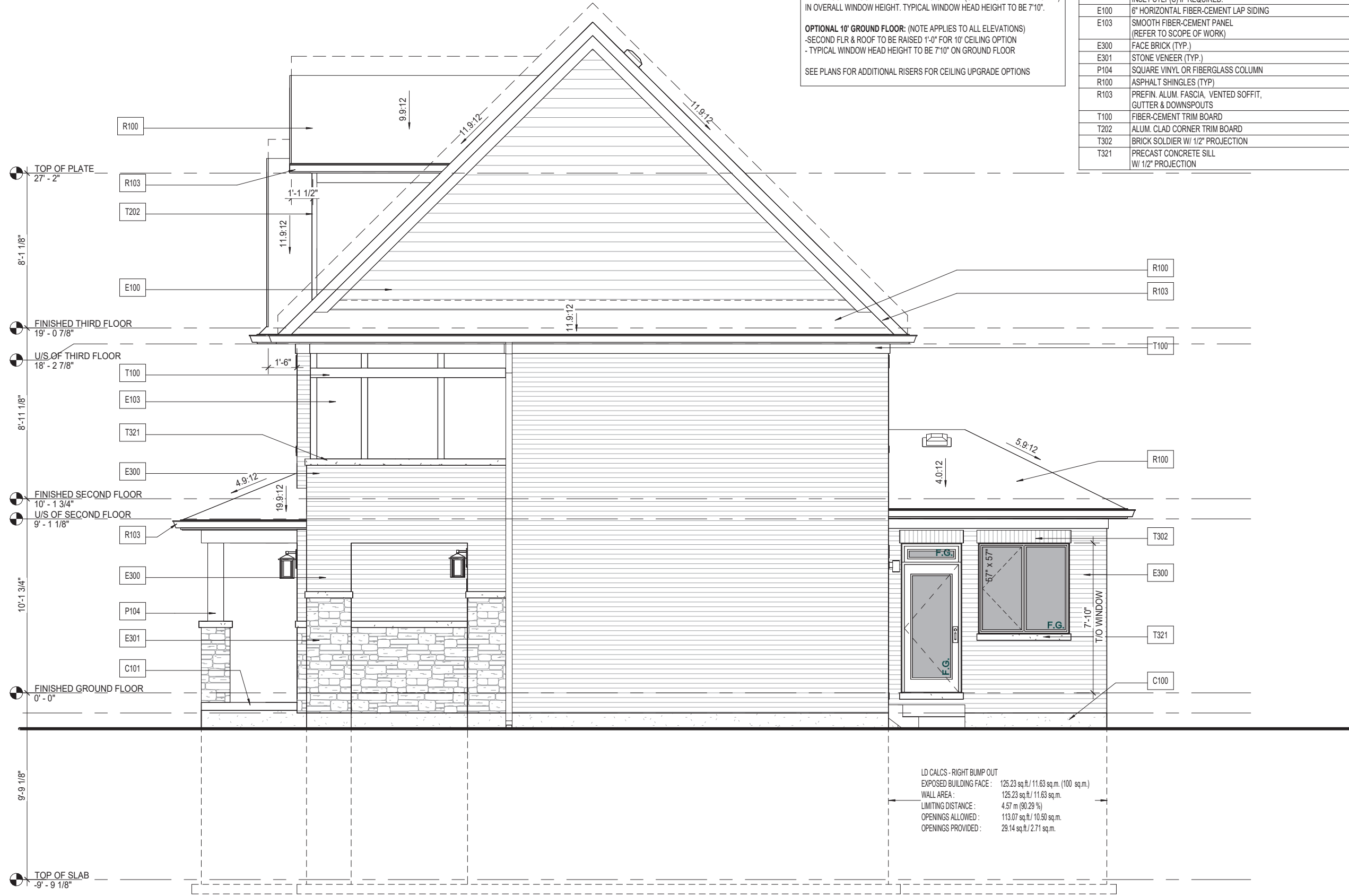
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PROFESSIONAL STAMP

TCSD4244T

A2.03



A - RIGHT ELEVATION

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

Material Legend	
C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
C101	POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED.
E100	6" HORIZONTAL FIBER-CEMENT LAP SIDING
E103	SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK)
E300	FACE BRICK (TYP.)
E301	STONE VENEER (TYP.)
P104	SQUARE VINYL OR FIBERGLASS COLUMN
R100	ASPHALT SHINGLES (TYP)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T100	FIBER-CEMENT TRIM BOARD
T202	ALUM. CLAD CORNER TRIM BOARD
T302	BRICK SOLDIER W/ 1/2" PROJECTION
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

A - RIGHT ELEVATION

TCSD4244T

Sheet Title

Project Title
CAVAN TCSD42' MODULE

Location
BRAMPTON - CALEDON, ON.
Client
CAVAN

Project No. **23008**
Scale **3/16" = 1'-0"**
Drawn By **TW**
Checked By **NS/KB**

A2.04

NO	ISSUED FOR CONSULTANT	2024.06.06	NS
6	ISSUED FOR CONSULTANT	2024.06.06	NS
5	UPDATED AS PER CLIENT	2024.04.26	TW
4	FINAL SCHEMATIC DESIGN ISSUED	2024.03.15	SL/MR
3	ISSUED FOR CLIENT	2024.02.09	GB
2	FULL SD ISSUED FOR CLIENT	2023.12.11	MR
1	FULL SD ISSUED FOR CLIENT REVIEW		

Issue / Revision Chart

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Material Legend

E103	SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK)
E204	WOOD-LIKE CLADDING WALL FINISH
E300	FACE BRICK (TYP.)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - FRONT ELEVATION

TCSD4640C

B- FRONT ELEVATION

Project Title
CAIVAN - TCSD46' CORNER MODULE

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

B-4.1

Location
ONTARIO
 Client
CAIVAN

4	FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	NS
3	REVISED PER CLIENT COMMENTS	2024.05.10	DS
2	SD ISSUED FOR CLIENT REVIEW	2024.05.03	NS
1	SD ISSUED FOR INTERNAL REVIEW	2024.05.02	DS

Issued / Revision Chart

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Material Legend

E100	FIBER-CEMENT LAP SIDING
E103	SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK)
E204	WOOD-LIKE CLADDING WALL FINISH
E300	FACE BRICK (TYP.)
T302	BRICK SOLDIER W/ 1/2" PROJECTION
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - LEFT ELEVATION (FLANKAGE)

B- LEFT ELEVATION (FLANKAGE)

Project Title
CAIVAN - TCSD46' CORNER MODULE

Location
ONTARIO
 Client
CAIVAN

TCSD4640C

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

B-4.2

Issued / Revision Chart

4	FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	NS
3	REVISED PER CLIENT COMMENTS	2024.05.10	DS
2	SD ISSUED FOR CLIENT REVIEW	2024.05.03	NS
1	SD ISSUED FOR INTERNAL REVIEW	2024.05.02	DS

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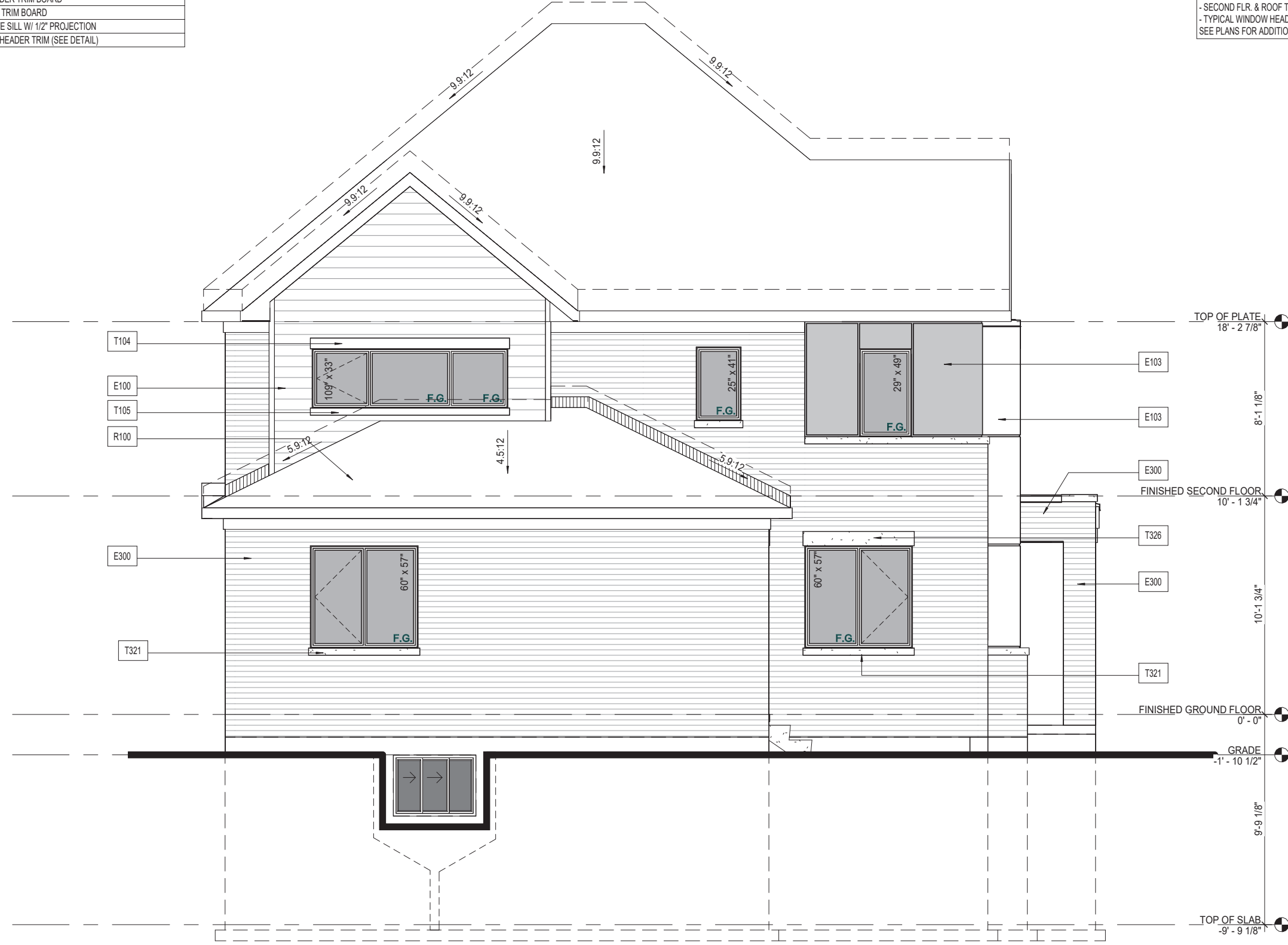
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Material Legend

E100	FIBER-CEMENT LAP SIDING
E103	SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK)
E300	FACE BRICK (TYP.)
R100	ASPHALT SHINGLES (TYP)
T104	FIBER-CEMENT HEADER TRIM BOARD
T105	FIBER-CEMENT SILL TRIM BOARD
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION
T326	BUILT-UP PRECAST HEADER TRIM (SEE DETAIL)



B - REAR ELEVATION

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

B- REAR ELEVATION

Sheet Title

TCSD4640C

Project Title
CAVAN - TCSD46' CORNER MODULE

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

Location **ONTARIO**
 Client **CAVAN**

4	FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	NS
3	REVISED PER CLIENT COMMENTS	2024.05.10	DS
2	SD ISSUED FOR CLIENT REVIEW	2024.05.03	NS
1	SD ISSUED FOR INTERNAL REVIEW	2024.05.02	DS

Issued / Revision Chart

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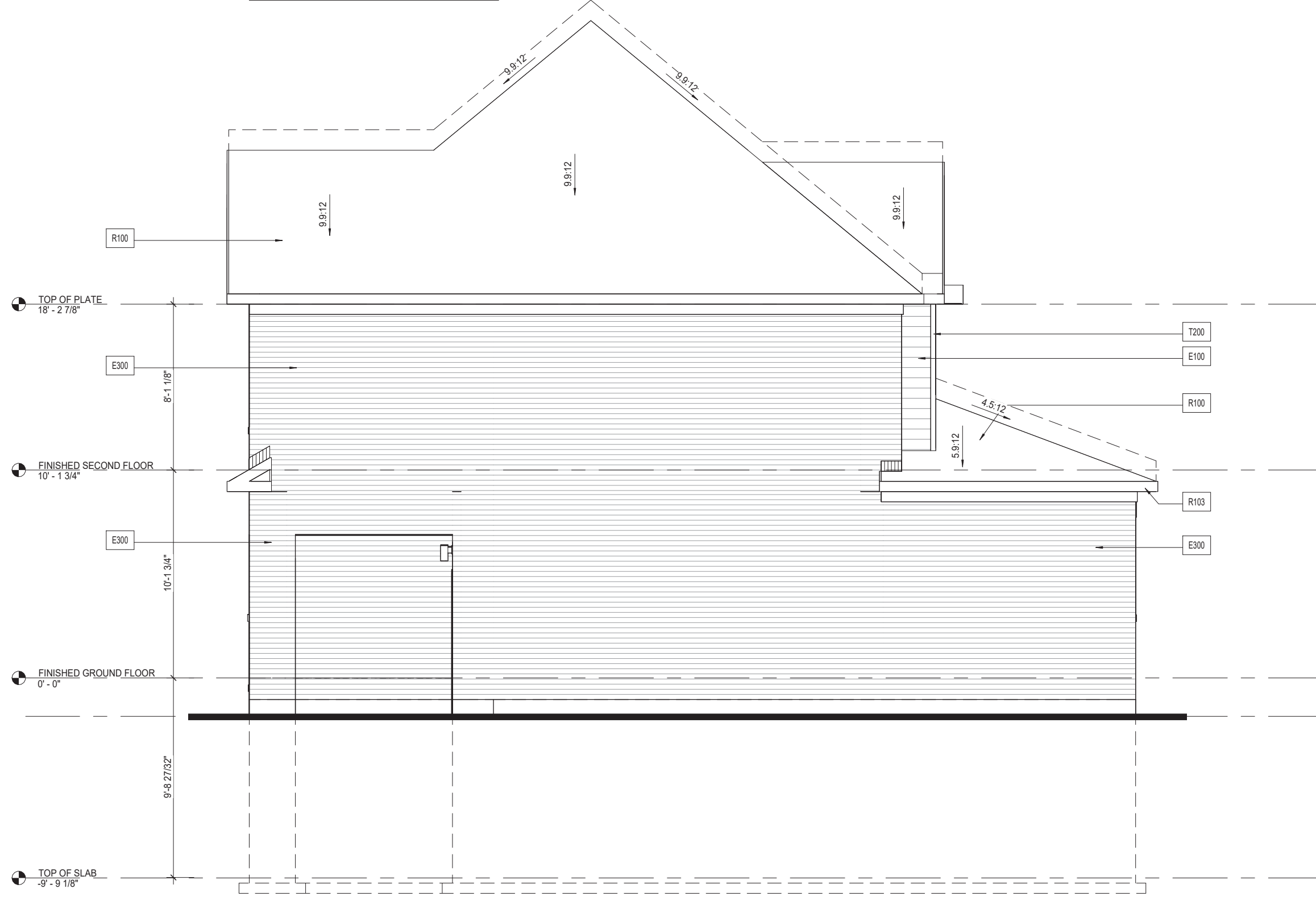
B-4.3

Material Legend

E100	FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
R100	ASPHALT SHINGLES (TYP)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T200	ALUM. CLAD TRIM BOARD

OPTIONAL 9' SECOND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - RIGHT ELEVATION

Issue / Revision Chart

4	FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	NS
3	REVISED PER CLIENT COMMENTS	2024.05.10	DS
2	SD ISSUED FOR CLIENT REVIEW	2024.05.03	NS
1	SD ISSUED FOR INTERNAL REVIEW	2024.05.02	DS

B- RIGHT ELEVATION

TCSD4640C

Project Title
CAIVAN - TCSD46' CORNER MODULE

Location
ONTARIO

Client
CAIVAN

PROFESSIONAL
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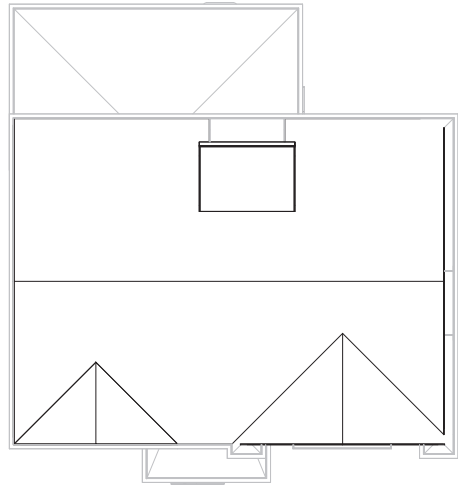
Project No. **23026**

Scale **3/16" = 1'-0"**

Drawn By **NS/DS**

Checked By **PM/KB/NS**

B-4.4



A - ROOF PLAN

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

Material Legend	
E100	FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
E301	STONE VENEER (TYP.)
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7 (REFER TO SCOPE OF WORK)
R100	ASPHALT SHINGLES (TYP)
R102	METAL FLASHING W/ CAULKING TO MATCH
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION
T323	SMOOTH PRECAST OR STONE W/ 1/2" PROJECTION
T326	BUILT-UP PRECAST HEADER TRIM (SEE DETAIL)
T329	STONE / PRECAST CONCRETE IMPOST



A - FRONT ELEVATION

TCSD5043T

Project No. 23026
 Scale As indicated
 Drawn By MO/TW
 Checked By PM/KB/NS

A - FRONT ELEVATION

Project Title
CAVAN - TCSD50' MODULE

Location
ONTARIO

Client
CAVAN

Issue / Revision Chart	Date	By
5 FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	DS
4 REVISIONS FOR CLIENT COMMENTS	2024.04.26	RR/DS
3 REVISIONS FOR CLIENT REVIEW (ELEV. B)	2024.04.19	NS
2 SD ISSUED FOR CLIENT REVIEW (ELEV. A)	2024.04.12	NS
1 SD ISSUED FOR INTERNAL REVIEW	2024.04.05	TW

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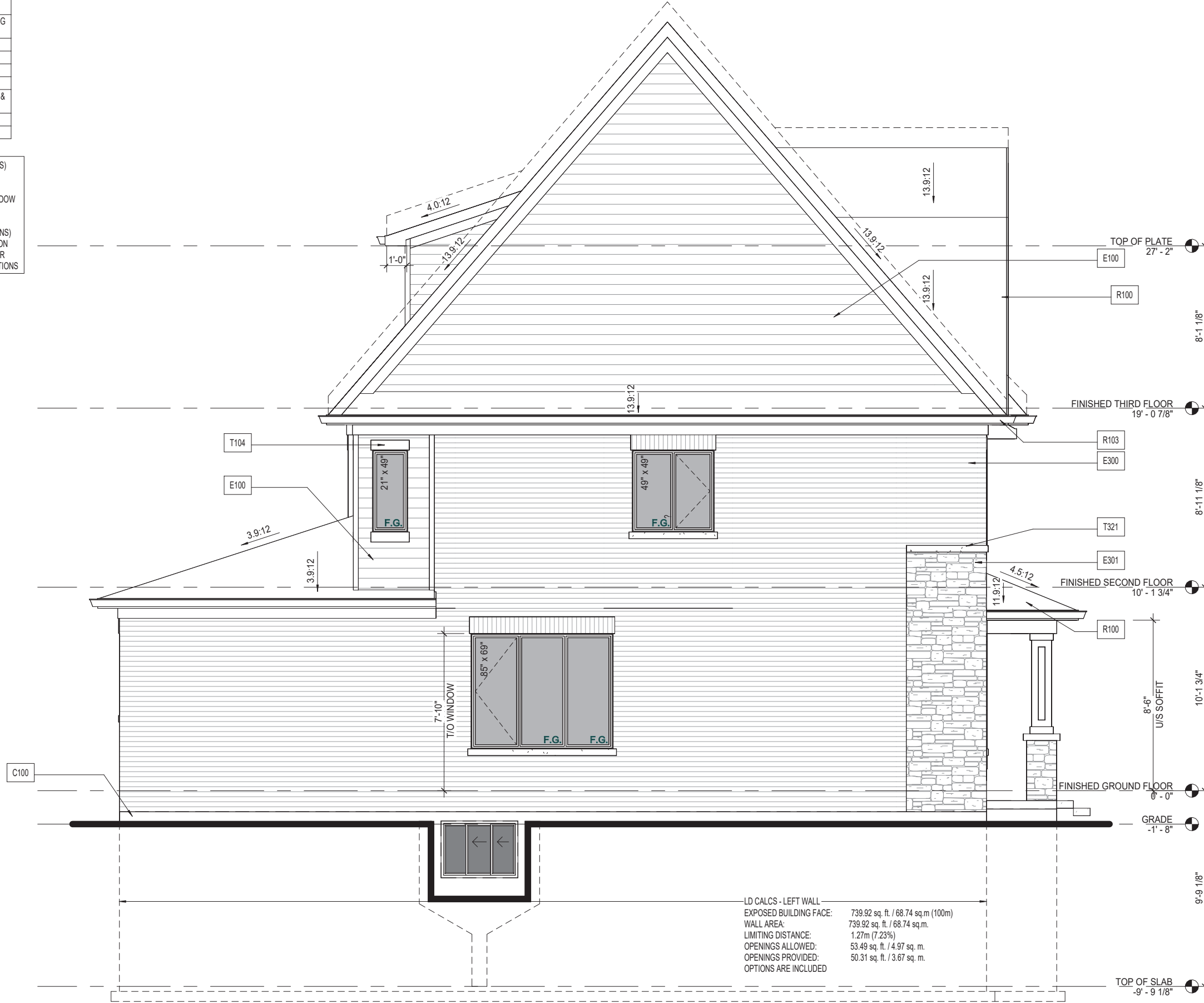
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Material Legend

C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
E100	FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
E301	STONE VENEER (TYP.)
R100	ASPHALT SHINGLES (TYP.)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T104	FIBER-CEMENT HEADER TRIM BOARD
T321	PRECAST CONCRETE SILL W/ 1/2" PROJECTION

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - LEFT WALL

EXPOSED BUILDING FACE:	739.92 sq. ft. / 68.74 sq.m (100m)
WALL AREA:	739.92 sq. ft. / 68.74 sq.m.
LIMITING DISTANCE:	1.27m (7.23%)
OPENINGS ALLOWED:	53.49 sq. ft. / 4.97 sq. m.
OPENINGS PROVIDED:	50.31 sq. ft. / 3.67 sq. m.
OPTIONS ARE INCLUDED	

A - LEFT ELEVATION

TCSD5043T

Project No. 23026
 Scale 3/16" = 1'-0"
 Drawn By MO/TW
 Checked By PM/KB/NS

A - LEFT ELEVATION

Project Title
CAVAN - TCSD50' MODULE

Location
ONTARIO

Client
CAVAN

Issue / Revision Chart

Issue / Revision	Date	By
5 FINAL SD ISSUED FOR CLIENT APPROVAL	2024.05.31	DS
4 REVISED PER CLIENT COMMENTS	2024.04.26	RR/DS
3 SD FOR CLIENT REVIEW (ELEV. B)	2024.04.19	NS
2 SD FOR CLIENT REVIEW (ELEV. A)	2024.04.12	NS
1 SD ISSUED FOR INTERNAL REVIEW	2024.04.05	TW

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 E. info@q4architects.com

PROFESSIONAL STAMP

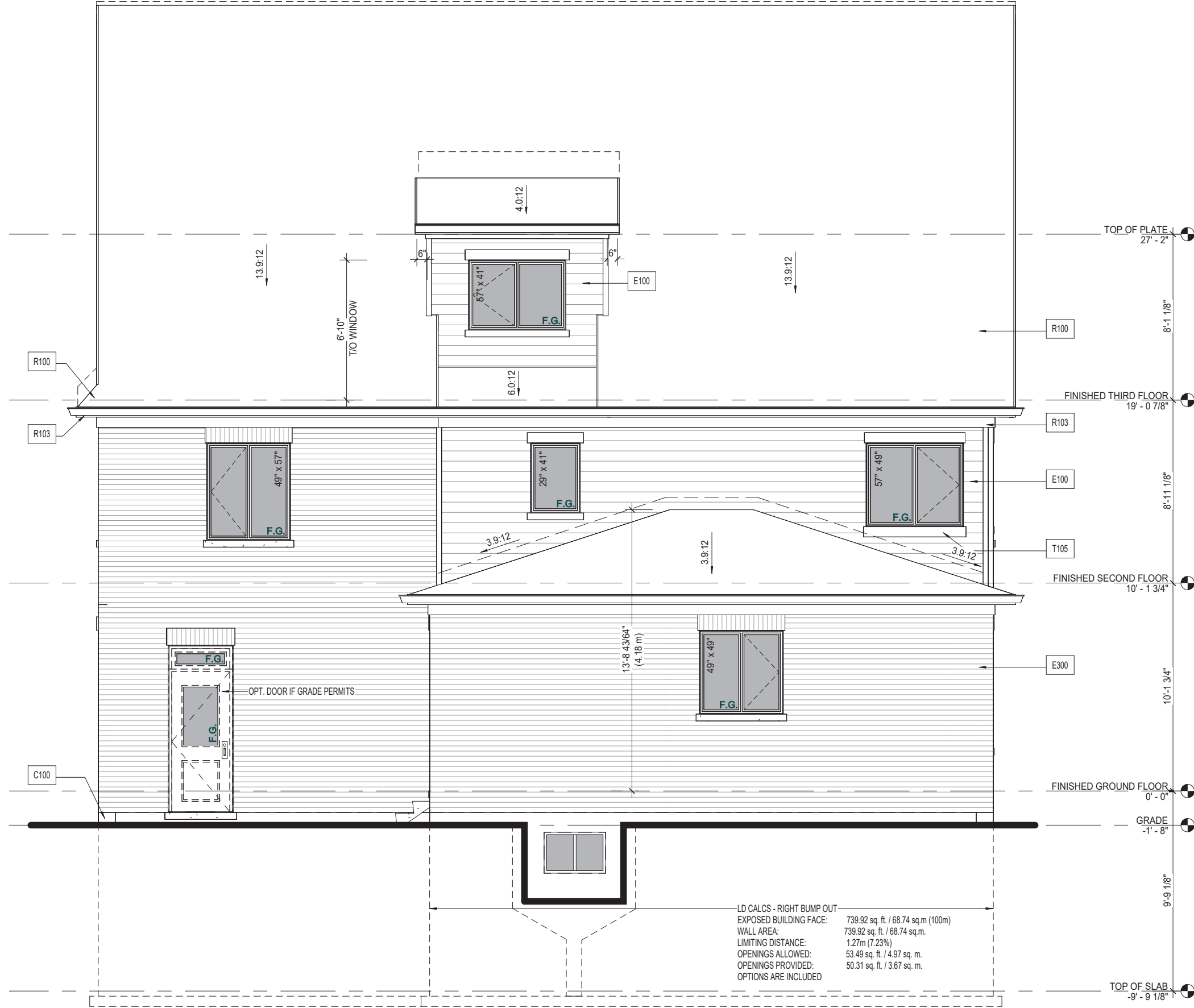
Q4A ARCHITECTS

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 The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

Material Legend	
C100	POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.)
E100	FIBER-CEMENT LAP SIDING
E300	FACE BRICK (TYP.)
R100	ASPHALT SHINGLES (TYP)
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T105	FIBER-CEMENT SILL TRIM BOARD

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - RIGHT BUMP OUT

EXPOSED BUILDING FACE:	739.92 sq. ft. / 68.74 sq.m (100m)
WALL AREA:	739.92 sq. ft. / 68.74 sq.m.
LIMITING DISTANCE:	1.27m (7.23%)
OPENINGS ALLOWED:	53.49 sq. ft. / 4.97 sq. m.
OPENINGS PROVIDED:	50.31 sq. ft. / 3.67 sq. m.

OPTIONS ARE INCLUDED

A - REAR ELEVATION

A - REAR ELEVATION

Sheet Title

Issued / Revision Chart

Q4 ARCHITECTS INC.

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 M2P 2B7

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Project Title
CAIVAN - TCSD50' MODULE

Location
ONTARIO
 Client
CAIVAN

Issue / Revision	Date	By
5	2024.05.31	DS
4	2024.04.26	RR/DS
3	2024.04.19	NS
2	2024.04.12	NS
1	2024.04.05	TW

PROFESSIONAL
 STAMP

TCSD5043T

Project No. **23026**
 Scale **3/16" = 1'-0"**

Drawn By **MO/TW**
 Checked By **PM/KB/NS**

A-4.3

APPENDIX D



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-029

A by-law to amend the Town of Oakville Zoning By-law 2014-014, as amended, to permit the development of a medium and low density residential subdivision, for the lands described as 1300, 1316, 1326, 1342 and 1350 Bronte Road (Bronte River, LP, File No. Z.1531.03)

COUNCIL ENACTS AS FOLLOWS:

1. Map 19(11) of By-law 2014-014, as amended, is further amended by rezoning the lands depicted on Schedule 'A' to this By-law.
2. Section 15, Special Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 15.429, 15.430 and 15.431 as follows:

429	1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S)	Parent Zone: RL6
Map 19(11)		(2024-029)
15.429.1 Zone Provisions		
The following regulations apply:		
a)	<i>Minimum lot area</i>	200 m ²
b)	<i>Minimum flankage yard</i>	2.5 m
c)	<i>Minimum rear yard</i>	4.5 m
d)	Notwithstanding subsection 15.429.1 c), the minimum <i>rear yard</i> may be reduced to 1.2 m for a one <i>storey</i> addition for a maximum of 55% of the <i>dwelling</i> width measured at the rear of the main <i>building</i> . The one <i>storey</i> addition shall have a maximum vertical distance of 4.5 m measured between the finished floor level of the <i>first storey</i> and the highest point of the roof of the one <i>storey</i> addition.	
e)	<i>Maximum height</i>	13.0 m
f)	<i>Maximum number of storeys</i>	3

PLAN 20M -

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTON AT _____ O'CLOCK ON THE _____ DAY OF _____, 2024 AND ENTERED IN THE PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER(S) _____

AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. _____

REPRESENTATIVE FOR LAND REGISTRAR

PLAN OF SUBDIVISION OF PART OF LOT 31 CONCESSION 2, SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1000

R-PE SURVEYING LTD., O.L.S.
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- NOTES**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - PB DENOTES PLASTIC BAR
 - CP DENOTES CONCRETE PIN
 - P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - SCP DENOTES SPECIFIED CONTROL POINT
- ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS UNLESS NOTED OTHERWISE

INTEGRATION NOTE

BEARINGS ARE GRID, UTM, NAD83(CSRs)(2010.0), DERIVED FROM ORP (A) AND (B). OBSERVED REFERENCE POINTS ARE DERIVED FROM REAL TIME NETWORK STATION 20120110009 (NORTHING 4801635.53, EASTING 597944.44).

COORDINATES ARE UTM ZONE 17, NAD83 (CSRS-CBNV6.2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF O.R.G. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT	NORTHING	EASTING
ORP (A)	4807697.30	600753.38
ORP (B)	4807726.19	601298.26

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____ 2024.

DATE _____ 2024

R. DENBROEDER
ONTARIO LAND SURVEYOR
THIS PLAN OF SURVEY RELATES TO AOLS
PLAN SUBMISSION FORM NUMBER _____

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

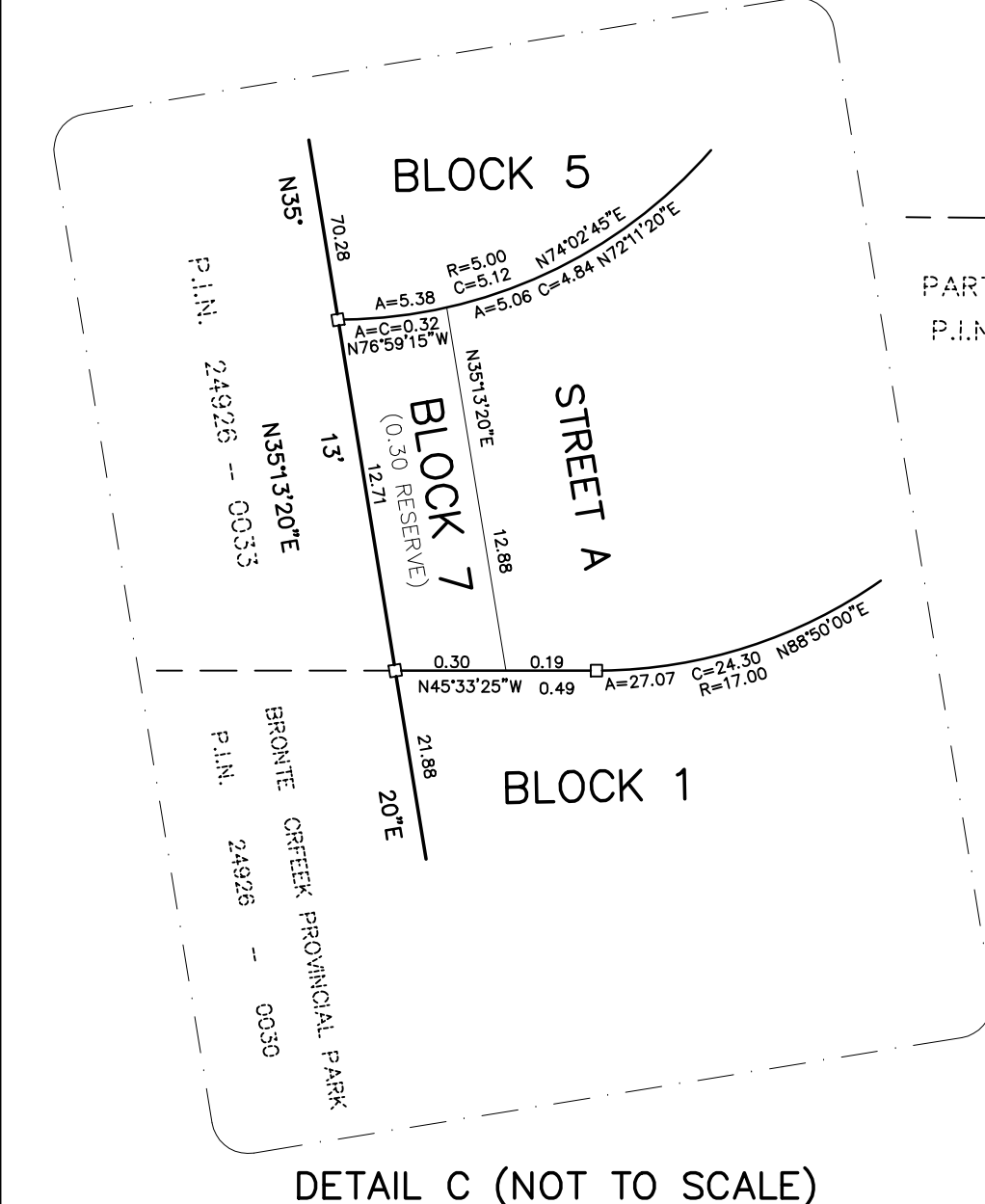
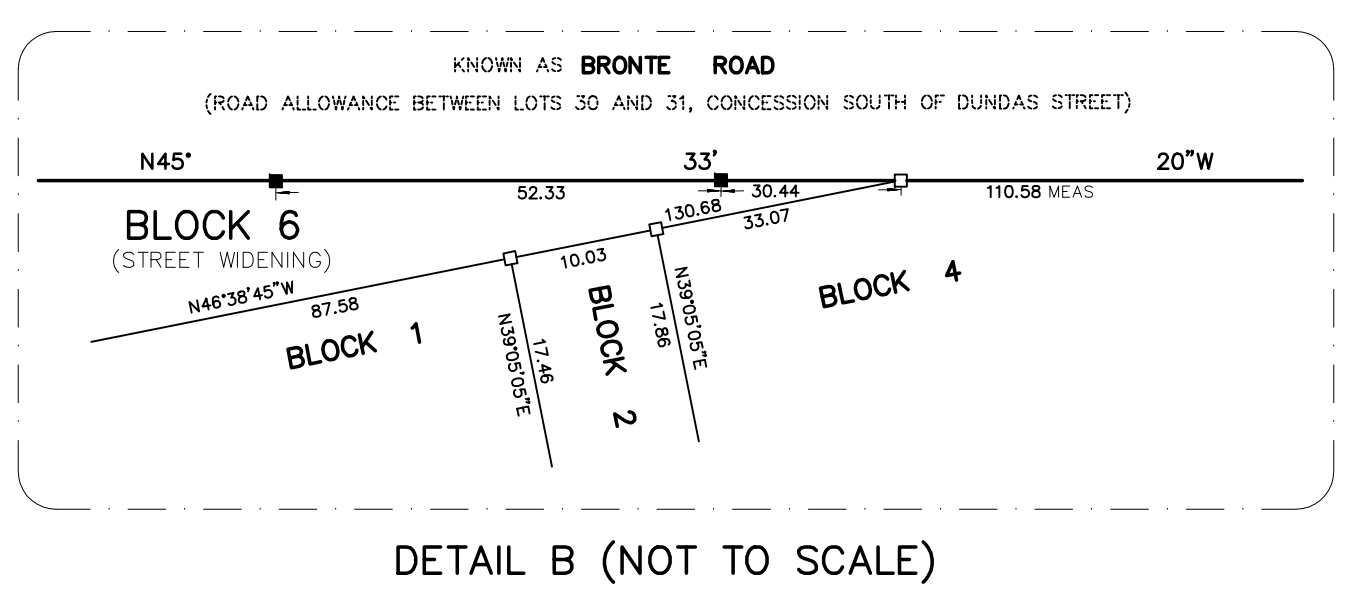
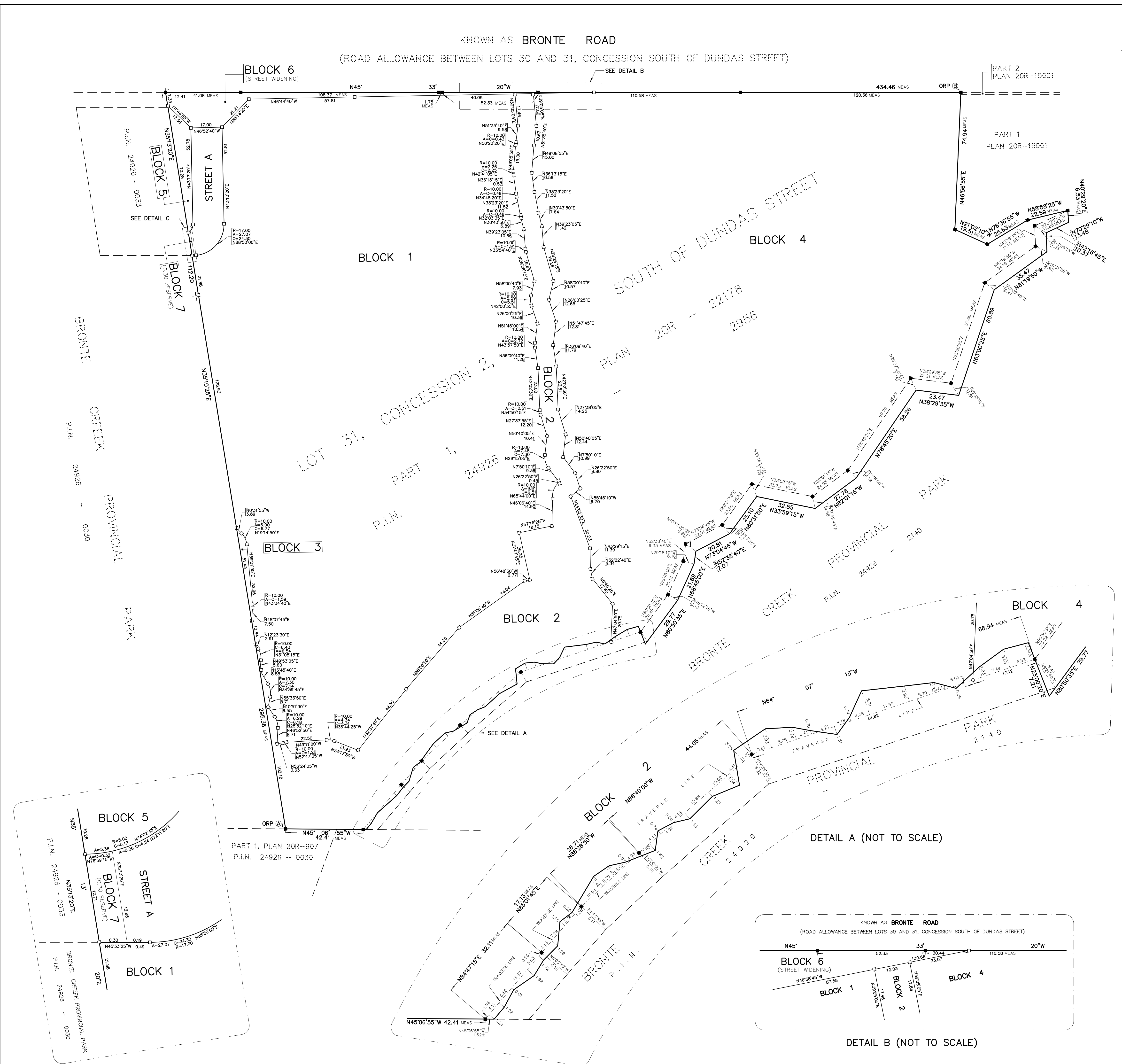
- BLOCKS 1,2,3,4,5 AND BLOCK 6, STREET WIDENING, BLOCK 7, 0.30 RESERVE, STREET NAMED STREET A HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREET IS HEREBY DEDICATED AS PUBLIC HIGHWAYS TO THE CORPORATION OF THE TOWN OF OAKVILLE.
- THE STREET WIDENING, NAMELY, BLOCK 6 IS HEREBY DEDICATED AS A PUBLIC HIGHWAY TO THE REGIONAL MUNICIPALITY OF HALTON.

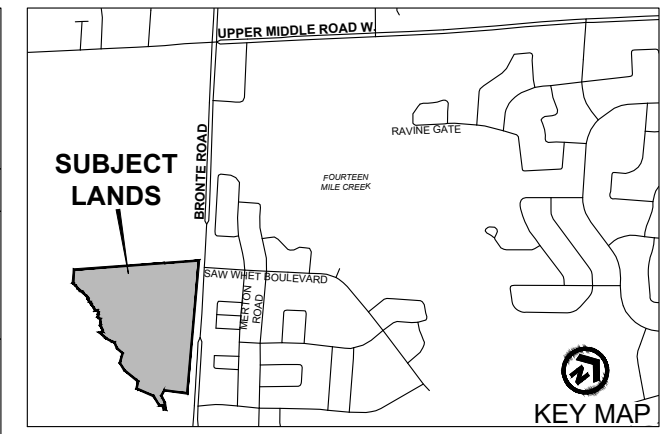
DATE _____, 2024

AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY TO BIND THE CORPORATION

rpe R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel: (416) 635-5000 Fax: (416) 635-5001
Tel: (905) 264-0851 Fax: (905) 264-2099
Website: www.r-pe.ca
DRAWN: C.D.S./T.C. CHECKED: _____
JOB No. 23-314 CAD FILE No. 23314S01b

TOTAL AREA OF SUBDIVISION = 12.119 Ha.





MINOR VARIANCE SKETCH
 1300 - 1350 BRONTE ROAD
 TOWN OF OAKVILLE,
 REGIONAL MUNICIPALITY OF HALTON

- SUBJECT LANDS
- # APPLICABLE MINOR VARIANCES

VARIANCES REQUESTED

1. **Section 15.429.1.d)**, By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 65% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required.
2. **Section 15.429.1.d)**, By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 63% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required.
3. **Section 15.429.1.d)**, By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 72% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required;
4. **Section 15.429.1.k)**, By-law 2014-014. To permit a maximum encroachment into a minimum yard for uncovered platforms on the second storey having a floor height equal to or greater than 3.0 metres, measured from grade, up to 1.2 m from the rear lot line, whereas a maximum encroachment into a minimum yard for uncovered platforms having a floor height equal less than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is required.



SCALE 1:2,000
 August 23, 2024

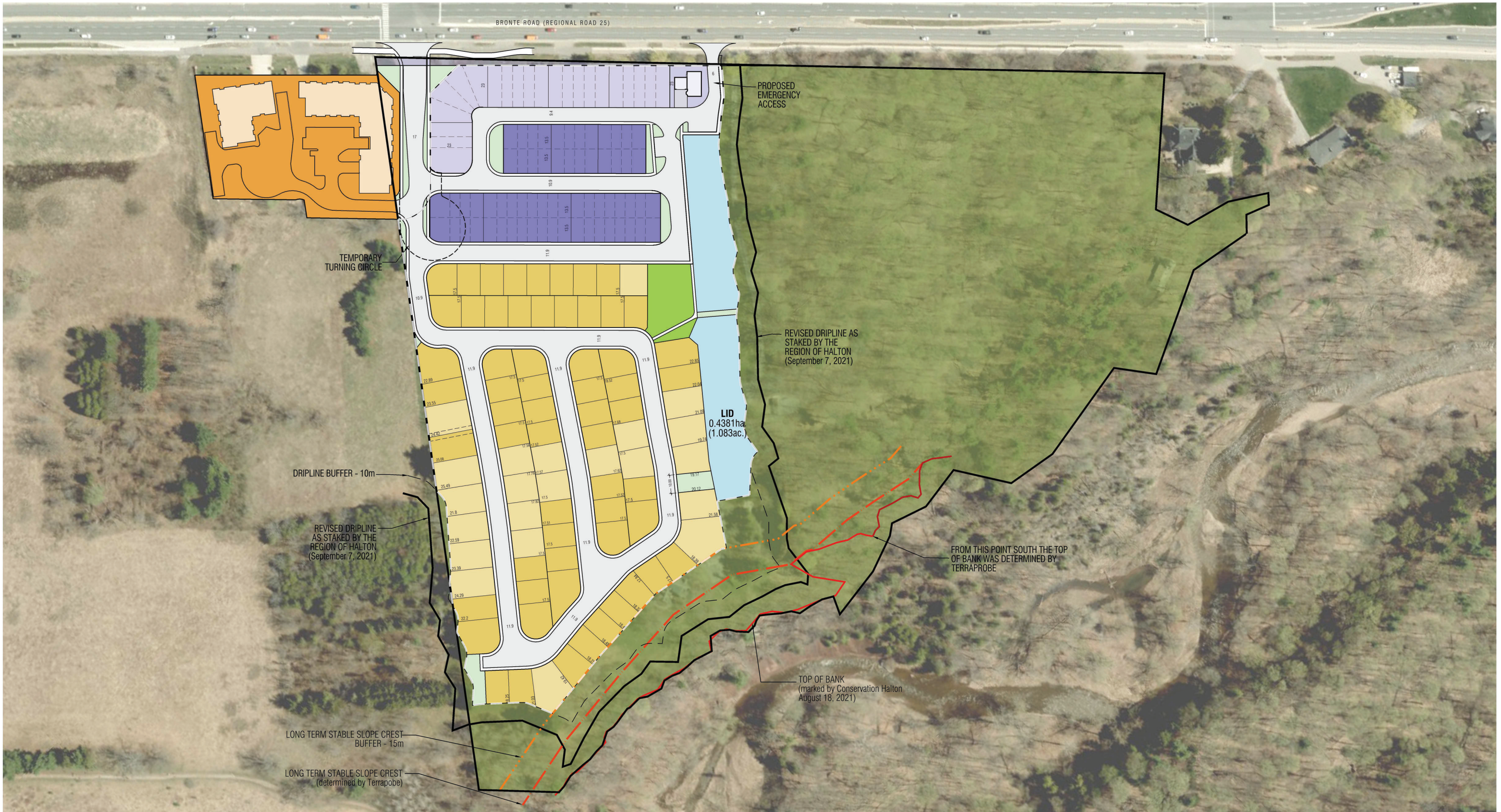




CONFIDENTIAL WITHOUT PREJUDICE

- All Units In Metric Unless Otherwise Noted.
- Base Information Obtained From Various Sources And Is Approximate.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Aerial Photo: Google





CONFIDENTIAL WITHOUT PREJUDICE

- All Units In Metric Unless Otherwise Noted.
- Base Information Obtained From Various Sources And Is Approximate.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Aerial Photo: Google Earth



BRONTE RIVER | Oakville, ON
CONCEPTUAL DEVELOPMENT PLAN

 JULY 22, 2024
 PROJECT 1637
 SCALE 1:2000

SK-101

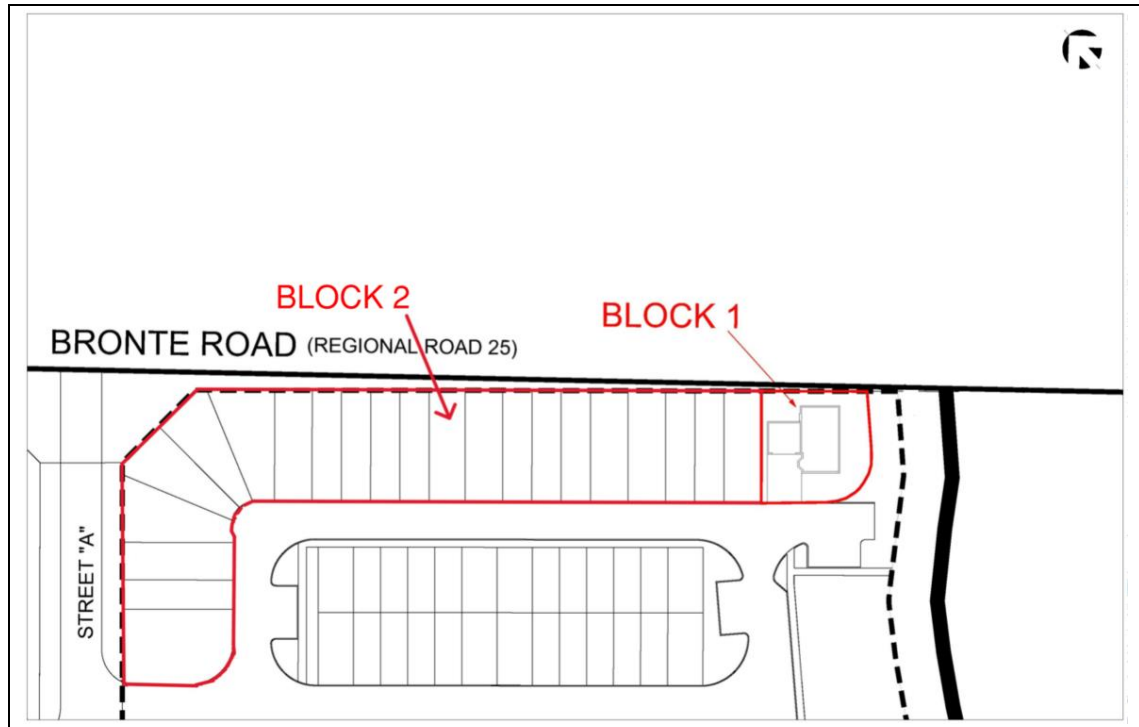
g)	Maximum <i>residential floor area ratio</i>	shall not apply
h)	Maximum encroachment into a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 <i>storeys</i>	0.6 m
i)	Maximum encroachment into a <i>minimum front or flankage yard</i> for <i>porches</i> with or without a foundation	Up to 1.0 m from the <i>front or flankage lot line</i>
j)	Maximum encroachment into a <i>minimum front or flankage yard</i> for a <i>portes-cochere</i>	Up to 1.0 m from the <i>front or flankage lot line</i>
k)	Maximum encroachment into a <i>minimum rear yard</i> for <i>uncovered platforms</i> having a floor <i>height</i> less than or equal to 3.0 metres, measured from <i>grade</i> .	Up to 1.2 m from the <i>rear lot line</i>
l)	Maximum encroachment into a <i>minimum yard</i> for <i>uncovered platforms</i> having a floor height equal to or greater than 0.6 metres measured from <i>grade</i> on lots abutting the Natural Area (N) or Stormwater Management Facility (SMF) Zones	Up to 0.6 m from the <i>lot line</i> abutting the Natural Area (N) or Stormwater Management Facility (SMF) Zones
15.429.2 Parking Provisions		
a)	The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length	
b)	The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall be 5.5 metres in length, and: <ul style="list-style-type: none"> i) Where one parking space is provided in a private garage, 2.9 metres in width; and, ii) Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width 	
c)	Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i>	
d)	The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length	
e)	Section 5.2.3 d) shall not apply	
15.429.3 Special Site Provisions		

a)	<i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i>	
b)	<i>Private garages</i> shall exclude a <i>portes-cochere</i>	
c)	Minimum setback from the arc or curved <i>lot line</i> which connects the <i>front</i> and <i>flankage lot lines</i> for a <i>corner lot</i> .	0.7 m
d)	Air conditioners are permitted in the <i>rear yard</i> and no maximum <i>height</i> shall apply.	

430	1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S)	Parent Zone: RM1
Map 19(11)		(2024-029)
15.430.1 Additional Permitted Use for Block 1		
The following additional use is permitted on lands identified as Block 1 on Figure 15.430.1:		
a)	One (1) <i>detached dwelling</i>	
15.430.2 Zone Provisions for Block 1 Lands		
The following regulations apply:		
a)	<i>Minimum front yard</i>	2.5 m
b)	<i>Minimum interior side yard</i>	0.6 m on one side and 1.2 m on the other
c)	<i>Minimum rear yard</i>	5.3 m
15.430.3 Zone Provisions for Block 2 Lands		
The following regulations apply to lands identified as Block 1 on Figure 15.430.1:		
a)	<i>Minimum lot area</i>	110 m ² per <i>dwelling</i>
b)	<i>Minimum lot frontage</i>	6.0 m per <i>dwelling</i>
c)	<i>Minimum front yard</i>	2.5 m
d)	<i>Minimum rear yard</i>	2.5 m
e)	<i>Maximum height</i>	16.0 m

f)	Air conditioners are permitted in the <i>front, flankage</i> or <i>rear yard</i> and no maximum <i>height</i> shall apply.	
g)	Maximum encroachment into a <i>minimum front</i> or <i>flankage yard</i> for <i>porches</i> with or without a foundation.	Up to 1.0 m from the <i>front</i> or <i>flankage lot line</i>
h)	Maximum encroachment into a minimum <i>rear yard</i> for a <i>portes-cochere</i>	Up to 1.0 m from the <i>rear lot line</i>
i)	<i>Balconies</i> shall be permitted in a <i>front, flankage</i> or <i>rear yard</i> .	
j)	Maximum projection for <i>balconies</i> located in a <i>front, flankage</i> or <i>rear yard</i> .	Up to 1.0 m from the <i>front, flankage</i> or <i>rear lot line</i> and are not subject to maximum total projection beyond the <i>main wall</i>
k)	Maximum encroachment onto a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 <i>storeys</i>	0.6 m
l)	Maximum encroachment into a <i>minimum yard</i> for landscaping features (i.e., ornamental and garden walls, retaining walls, planters, etc.)	Up to 0.3 m from the applicable <i>lot line</i>
m)	Minimum setback from the arc or curved <i>lot line</i> which connects the <i>flankage</i> and <i>rear lot lines</i> for a <i>corner lot</i> .	0.7 m
15.430.4 Parking Provisions		
a)	The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length.	
b)	The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall have a length of 5.5 metres, and: <ul style="list-style-type: none"> i) Where one <i>parking space</i> is provided in a <i>private garage</i>, 2.9 metres in width; and, ii) Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width 	
c)	The minimum width of a <i>driveway</i> shall be 2.7 metres.	

d)	Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i> .
e)	The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length.
f)	Section 5.2.3 d) shall not apply.
15.430.5 Special Site Provisions	
a)	<i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i> .
b)	<i>Established grade</i> to be taken at the centre point of the <i>front lot line</i> of each <i>townhouse dwelling</i>
c)	<i>Private garages</i> shall exclude a <i>portes-cochere</i>
d)	For the purpose of calculating the required <i>yards</i> , <i>lot area</i> and <i>frontage</i> on a street, a publicly owned 0.3 metre reserve adjoining the <i>lot</i> shall be deemed to be part of the <i>lot</i>
e)	The <i>front lot line</i> shall be the <i>lot line</i> abutting Bronte Road or “Street ‘A’” (future Saw Whet Road).
f)	To qualify for minimum <i>landscaping coverage</i> an individual area of <i>landscaping</i> provided on a <i>lot</i> shall contain an area with a minimum dimension of 1.5 metres by 1.5 metres and may include additional area of lesser dimensions provided the additional area is contiguous to the 1.5 metres by 1.5 metre area.
15.430.6 Special Site Figure	
Figure 15.430.1	



431	1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S)	Parent Zone: RM2
Map 19(11)		(2024-029)
15.431.1 Zone Provisions		
The following regulations apply:		
a)	<i>Minimum lot area</i>	75 m ² per dwelling
b)	<i>Minimum lot frontage</i>	5.6 m per dwelling
c)	<i>Minimum front yard</i>	3.0 m
d)	<i>Minimum flankage yard</i>	2.0 m
e)	<i>Maximum height</i>	14.0 m
f)	Maximum encroachment into a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 storeys.	0.6 m
g)	Maximum encroachment into a <i>minimum front yard</i> for porches with or without a foundation.	1.5 m

h)	Maximum encroachment into a <i>minimum flankage yard</i> for <i>porches</i> with or without a foundation.	1.0 m
i)	Maximum encroachment into a <i>minimum front yard</i> for <i>portes-cochere</i> .	1.5 m
j)	Maximum encroachment into a <i>minimum flankage yard</i> for <i>portes-cochere</i> .	1.0 m
k)	<i>Balconies</i> shall be permitted in a <i>front, flankage or rear yard</i> .	
l)	Maximum projection for <i>balconies</i> located in a <i>front or flankage yard</i>	Up to 1.0 m from the <i>front or flankage lot line</i> and are not subject to maximum total projection beyond the <i>main wall</i>
m)	Air conditioners are permitted within the <i>front, flankage, or rear yard</i> and no maximum height shall apply.	
15.431.2 Parking Provisions		
a)	Section 5.2.1.3 shall not apply.	
b)	The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length.	
c)	The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall have a length of 5.5 metres, and: <ul style="list-style-type: none"> i. Where one <i>parking space</i> is provided in a <i>private garage</i>, 2.9 metres in width; and, ii. Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width 	
d)	Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i> .	
e)	The minimum width of a <i>driveway</i> shall be 2.7 metres.	
f)	The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length.	
g)	Section 5.2.3 d) shall not apply.	
15.431.3 Special Site Provisions		
a)	<i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i> .	

b)	<i>Established grade</i> to be taken at the centre point of the <i>front lot line</i> of each <i>townhouse dwelling</i> .
c)	<i>Private garages</i> shall exclude a <i>portes-cochere</i> .
d)	To qualify for minimum <i>landscaping coverage</i> and individual area of <i>landscaping</i> provided on a <i>lot</i> shall contain an area with a minimum dimension of 1.5 metres by 1.5 metres and may include additional area of lesser dimensions provided the additional area is contiguous to the 1.5 metres by 1.5 metre area.

3. Section 16, Holding Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 16.3.58 as follows:

H58	1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S)	Parent Zone: N, SMF, O2, RL6, RM1 and RM2
Map 19(11)		(2024-029)
16.3.58.1 Only Permitted Uses Prior to Removal of the “H”		
For such time as the “H” symbol is in place, these lands shall only be <i>used</i> for the following:		
a)	Legal <i>uses, buildings</i> and <i>structures</i> existing on the <i>lot</i> .	
16.3.58.2 Conditions for Removal of the “H”		
The “H” symbol shall, upon application by the landowner, be removed by <i>Town Council</i> passing a By-law under Section 36 of the <u>Planning Act</u> . The following condition(s) shall first be completed to the satisfaction of the <i>Town of Oakville</i> :		
a)	That the Owner completes and receives approval of an Environmental Impact Assessment to the satisfaction of the Town of Oakville, Region of Halton, and Conservation Halton.	
b)	That a new public right of way be constructed in accordance with Town of Oakville standards to provide access to the subject lands and the lands to the north.	

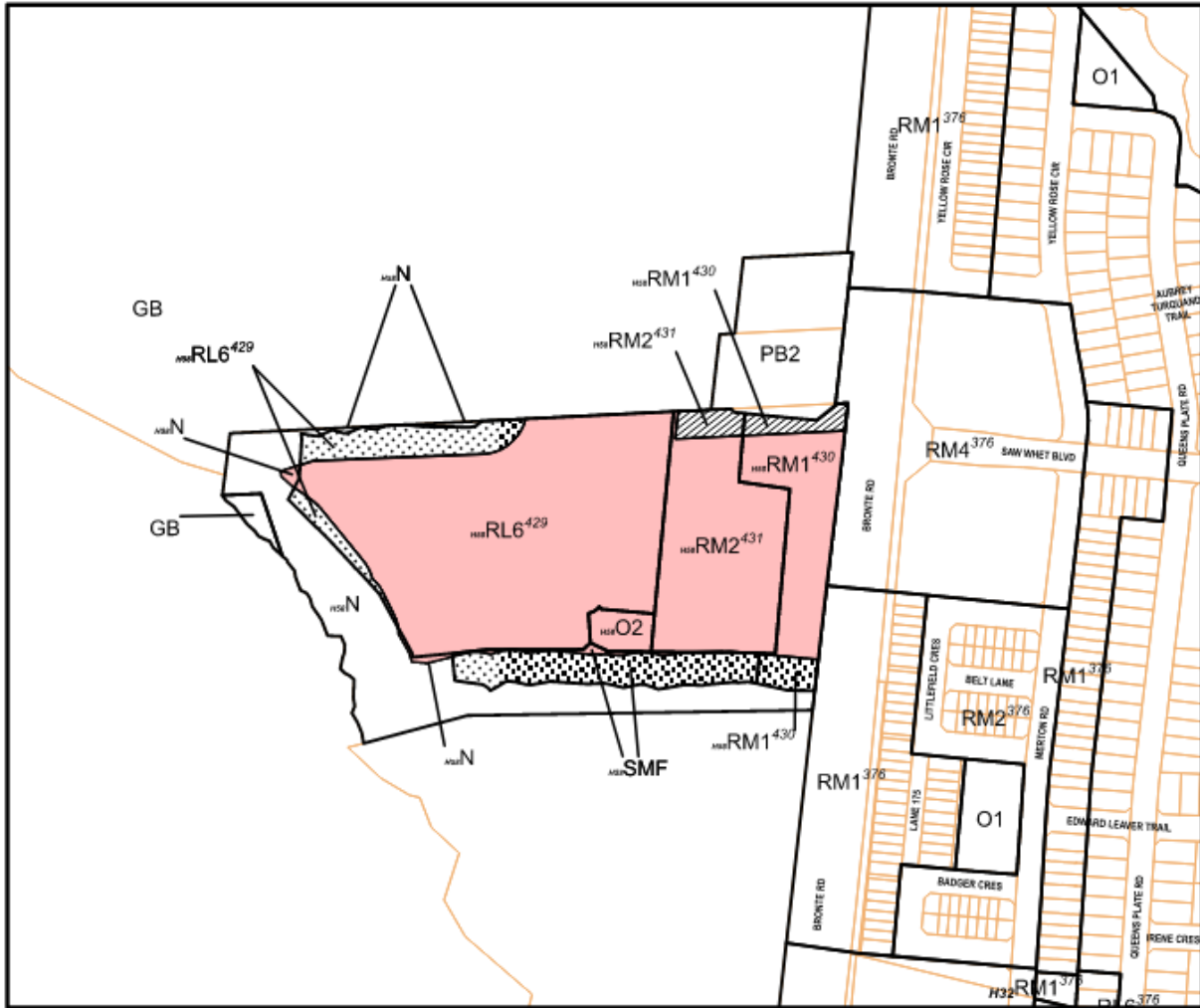
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this XXth day of _____, 2024


MAYOR

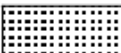
CLERK


SCHEDULE "A"
To By-law 2024-029




AMENDMENT TO BY-LAW 2014-014

- 

Rezoned from Future Development (FD) to Natural Area (H58-N); Residential Low (H58-RL6 sp:429); Residential Medium (H58-RM2 sp:431); Stormwater Management Facility (H58-SMF) and, Private Open Space (H58-O2).
- 

Rezoned from Natural Area (N) to Residential Low (H58-RL6 sp:429); Residential Medium (H58-RM1 sp:430); and, Stormwater Management Facility (H58-SMF).
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Rezoned from Parkway Belt Complementary Use (PB2) to Residential Medium (H58-RM2 sp:431); and, Residential Medium (H58-RM1 sp:430).
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Rezoned from Natural Area (N) to Natural Area (H58-N).

EXCERPT FROM MAP
19 (11)



SCALE: 1:4,000

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