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THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MUST CONFIRM & CORRELATE ALL DETAILS WITHIN THE FULL DRAWING PACKAGE BEING RESPONSIBLE FOR SAME THROUGHOUT CONSTRUCTION, REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING THE RELEVANT WORK. ALL DRAWINGS, DETAILS & SPECIFICATIONS REPRESENTED IN THE ISSUED DRAWINGS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN ISSUED BY THE DESIGNER AND NOTED ACCORDINGLY IN THE "ISSUE/REVISIONS" BOX HEREON.

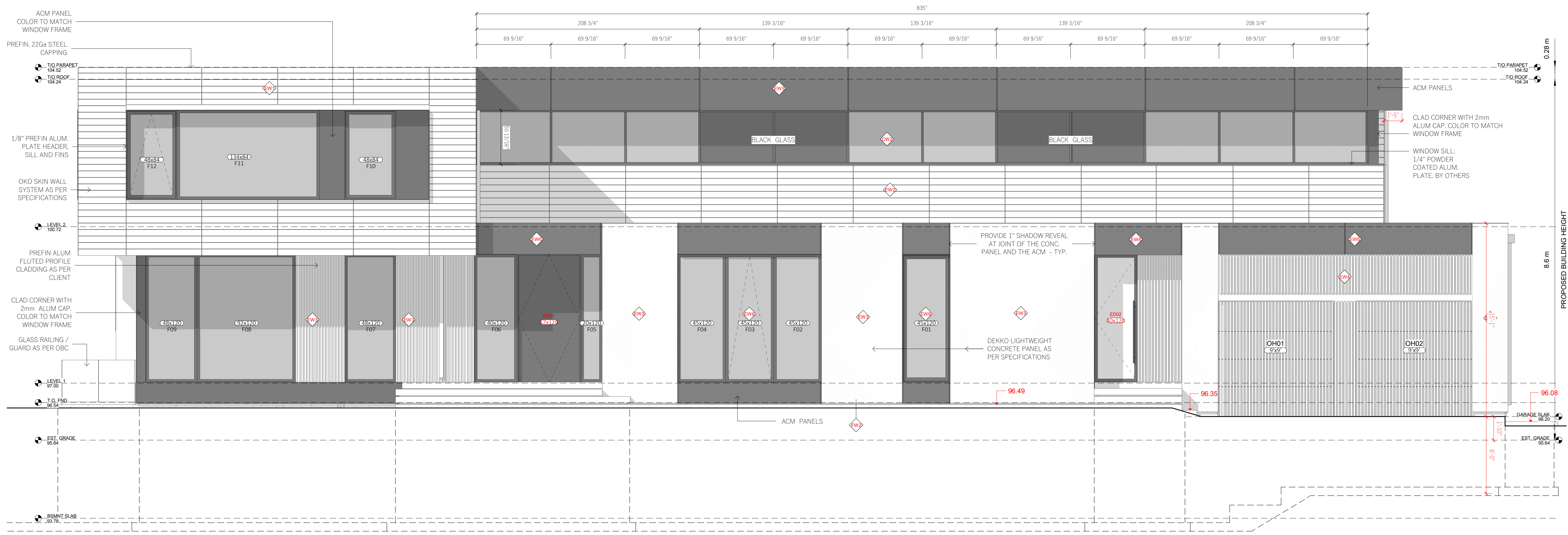
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (OBC) TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE ONTARIO BUILDING CODE (OBC)

LUIS MENDEZ 41896
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE ONTARIO BUILDING CODE (OBC)

LM BUILDING DESIGN INC 126230
FIRM NAME BCIN



1 FRONT ELEVATION
1/4" = 1'-0"

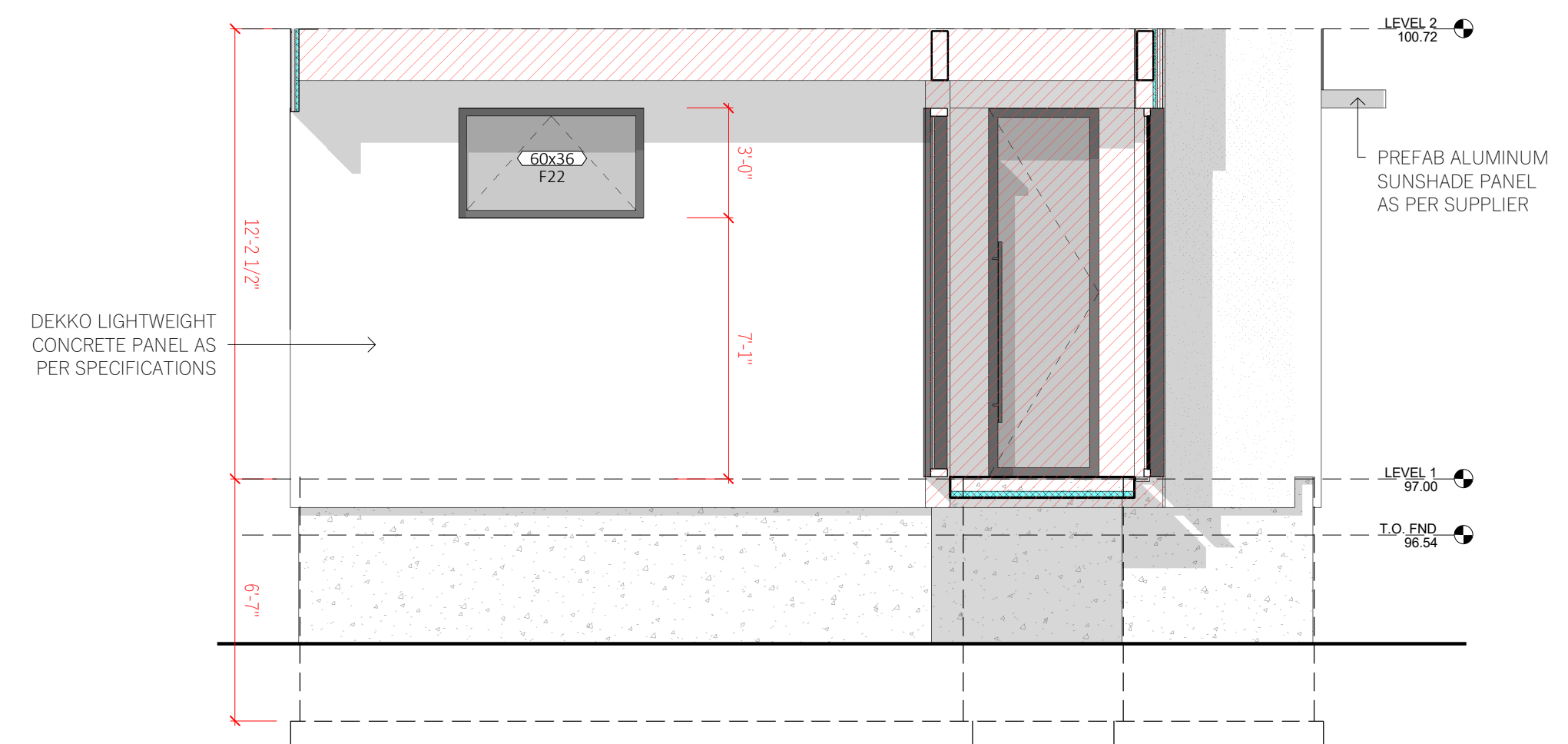
WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	AREA	REMARKS
E01	44"	84"	25.7 SF	FIXED WINDOW
E02	44"	84"	25.8 SF	FIXED WINDOW
E03	34"	84"	19.9 SF	
E04	34"	84"	19.8 SF	
E05	68"	84"	39.6 SF	
E06	68"	84"	39.8 SF	FIXED WINDOW
F01	45"	120"	37.2 SF	
F02	45"	120"	37.4 SF	FIXED WINDOW
F03	45"	120"	37.5 SF	
F04	45"	120"	37.4 SF	FIXED WINDOW
F05	20"	120"	16.6 SF	
F06	40"	120"	33.2 SF	SIDELIGHT
F07	48"	120"	39.9 SF	
F08	92"	120"	76.5 SF	
F09	48"	120"	39.9 SF	FIXED WINDOW
F10	48"	84"	27.8 SF	
F11	134"	84"	77.5 SF	
F12	48"	84"	27.7 SF	
F22	60"	36"	14.8 SF	
R01	59"	108"	44.0 SF	FIXED WINDOW
R02	48"	120"	39.9 SF	
R03	93"	120"	77.7 SF	
R04	48"	84"	28.0 SF	
R05	142"	84"	82.9 SF	FIXED WINDOW
R06	60"	84"	34.9 SF	

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	AREA	REMARKS
SK01	31"	31"	6.9 SF	
SK02	24"	36"	6.0 SF	
SK03	24"	36"	6.0 SF	
W01	66"	48"	22.0 SF	
W02	66"	48"	22.0 SF	
W03	60"	72"	29.9 SF	
W04	45"	120"	37.2 SF	GLASS SLIDING DOOR
W05	44"	120"	36.6 SF	
W06	48"	40"	13.3 SF	FIXED WINDOW
W07	48"	79"	26.3 SF	
W08	41"	20"	5.7 SF	
W09	41"	20"	5.7 SF	TRANSOM WINDOW
W10	96"	84"	55.9 SF	
W11	48"	84"	27.9 SF	
Grand total: 40			1297.8 SF	

DOOR SCHEDULE					
Mark	Width	Height	Qty.	Remarks	
ED07	7' - 6"	10' - 0"	1	GLASS SLIDING DOOR	
ED02	3' - 4 1/2"	10' - 0"	1	ENTRY DOOR	
ED03	3' - 0"	8' - 0"	1	GARAGE ENTRY DOOR	
ED04	3' - 0"	8' - 0"	1	GARAGE MANDOOK	
GD01	2' - 4"	7' - 0"	4	GLASS SHOWER DOOR	
GD02	3' - 0"	10' - 0"	1	GLASS DOOR	
ID01	3' - 0"	8' - 0"	4	INTERIOR DOOR	
ID02	2' - 8"	8' - 0"	14	INTERIOR DOOR	
ID03	2' - 6"	8' - 0"	2	INTERIOR DOOR	
ID04	2' - 8"	7' - 0"	1	HIDDEN DOOR	
OH01	9' - 0"	9' - 0"	1	GARAGE OVERHEAD DOOR	
OH02	9' - 0"	9' - 0"	1	GARAGE OVERHEAD DOOR	
PD01	3' - 0"	8' - 0"	3	POCKET DOOR	
PD02	2' - 8"	8' - 0"	2	POCKET DOOR	
SD02	26' - 10 1/2"	8' - 10 3/4"	1	GLASS SLIDING DOOR	
SD04	17' - 0 1/4"	10' - 0"	1	GLASS SLIDING DOOR	
SD05	4' - 9"	10' - 0"	1	GLASS SLIDING DOOR	
SD08	3' - 0"	8' - 0"	1	POCKET DOOR	
SD09	2' - 6"	8' - 0"	1	INTERIOR DOOR	
SD10	2' - 4"	7' - 0"	1	GLASS SHOWER DOOR	
SD11	2' - 8"	8' - 0"	1	INTERIOR DOOR	
SD12	2' - 6"	8' - 0"	1	INTERIOR DOOR	
SD13	17' - 0 1/4"	10' - 0"	1	GLASS SLIDING DOOR	
SD14	2' - 8"	8' - 0"	1	INTERIOR DOOR	
SD15	2' - 6"	8' - 0"	1	INTERIOR DOOR	
SD16	2' - 8"	8' - 0"	1	POCKET DOOR	
SD17	2' - 4"	7' - 0"	1		

CLIMATIC DATA (OAKVILLE, ON)	
Ground Snow Load (Sg):	2.5 kPa
Rain Snow Load (Sr):	0.4 kPa
Snow Load Factor:	0.55
Specified Roof Load:	1.8 kPa + snow piling
Hourly Wind Pressure (1/50):	0.36 kPa
Degree Days Below 18C:	4380

NOTE:
NEW CONSTRUCTION DIMENSIONS ARE FROM:
• FACE OF FDN WALLS
• EXTERIOR FACE OF WOOD STUDS
• INTERIOR FACE OF WOOD STUDS
• TO CENTERLINE OF ROUGH OPENINGS
• UNDERSIDE OF FLR JOISTS & TRUSSES



3 PARTIAL ELEVATION 1
1/4" = 1'-0"

CLIENT:
Anoop & Rutnaish Prihar

PROJECT:
OAK HOUSE

LOCATION:
349 Gloucester, Oakville, ON

DWG:
FRONT & PARTIAL ELEVATIONS

No.	DATE:	STATUS:
8	20/10/2023	DRWGS FOR STRUCT
9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFE REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	07/31/2024	PERMIT RESUBMISSION

PROJECT NORTH: Drawn by: **LM**
Date: **30/07/2024**
Scale: **1/4" = 1'-0"**
Project No: **1824**
TRUE NORTH: DWG No:





LM BUILDING DESIGN
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West Vancouver, BC
604.907.2686
info@luismendez.ca

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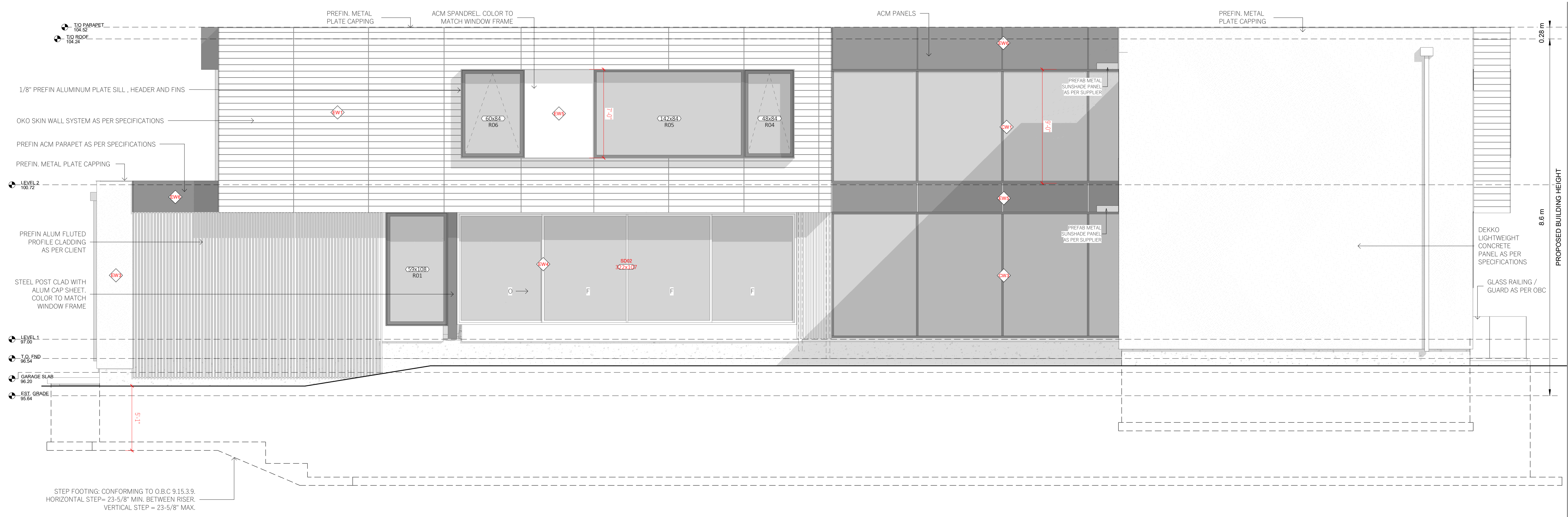
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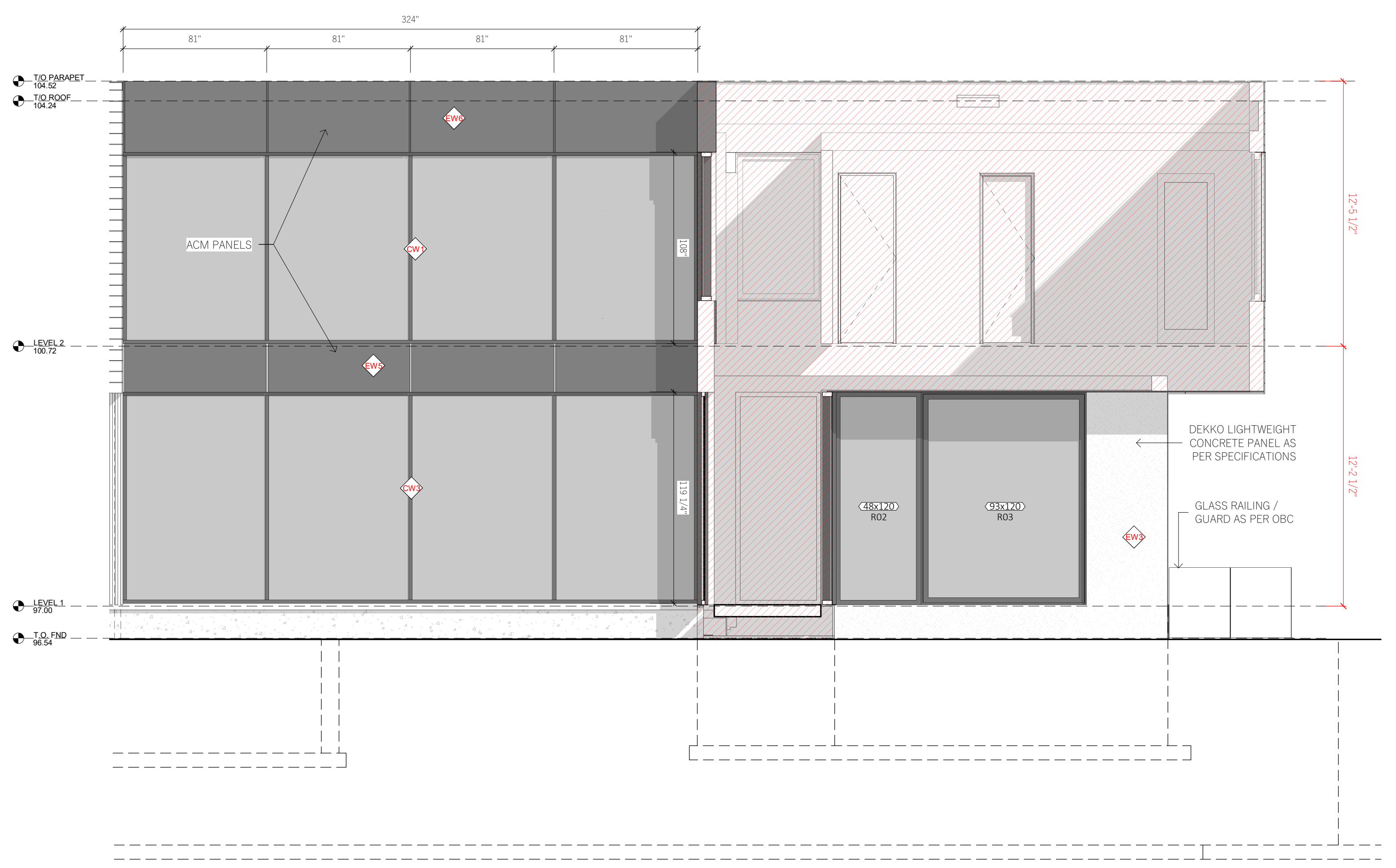


1 REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	AREA	REMARKS
E01	44"	84"	25.7 SF	FIXED WINDOW
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E06	68"	84"	39.8 SF	FIXED WINDOW
F01	45"	120"	37.2 SF	
F02	45"	120"	37.4 SF	FIXED WINDOW
F03	45"	120"	37.5 SF	
F04	45"	120"	37.4 SF	FIXED WINDOW
F05	20"	120"	16.6 SF	
F06	40"	120"	33.2 SF	SIDELIGHT
F07	48"	120"	39.9 SF	
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W10	96"	84"	55.9 SF	
W11	48"	84"	27.9 SF	
Grand total:			40	1297.8 SF

DOOR SCHEDULE					
Mark	Width	Height	Qty.	Remarks	
E07	7'-6"	10'-0"	1	GLASS SLIDING DOOR	
ED02	3'-4 1/2"	10'-0"	1	ENTRY DOOR	
ED03	3'-0"	8'-0"	1	GARAGE ENTRY DOOR	
ED04	3'-0"	8'-0"	1	GARAGE MANDOOR	
GD01	2'-4"	7'-0"	4	GLASS SHOWER DOOR	
GD02	3'-0"	10'-0"	1	GLASS DOOR	
ID01	3'-0"	8'-0"	4	INTERIOR DOOR	
ID02	2'-8"	8'-0"	14	INTERIOR DOOR	
ID03	2'-6"	8'-0"	2	INTERIOR DOOR	
ID04	2'-8"	7'-0"	1	HIDDEN DOOR	
OH01	9'-0"	9'-0"	1	GARAGE OVERHEAD DOOR	
OH02	9'-0"	9'-0"	1	GARAGE OVERHEAD DOOR	
PD01	3'-0"	8'-0"	3	POCKET DOOR	
PD02	2'-8"	8'-0"	2	POCKET DOOR	
SD02	26'-10 1/2"	8'-10 3/4"	1	GLASS SLIDING DOOR	
SD04	17'-0 1/4"	10'-0"	1	GLASS SLIDING DOOR	
SD05	4'-9"	10'-0"	1	GLASS SLIDING DOOR	
SD08	3'-0"	8'-0"	1	POCKET DOOR	
SD09	2'-6"	8'-0"	1	INTERIOR DOOR	
SD10	2'-4"	7'-0"	1	GLASS SHOWER DOOR	
SD11	2'-8"	8'-0"	1	INTERIOR DOOR	
SD12	2'-6"	8'-0"	1	INTERIOR DOOR	
SD13	17'-0 1/4"	10'-0"	1	GLASS SLIDING DOOR	
SD14	2'-8"	8'-0"	1	INTERIOR DOOR	
SD15	2'-6"	8'-0"	1	INTERIOR DOOR	
SD16	2'-8"	8'-0"	1	POCKET DOOR	
SD17	2'-4"	7'-0"	1		



2 REAR PARTIAL ELEVATION
1/4" = 1'-0"

CLIENT: **Anoop & Rutnaish Prihar**

PROJECT: **OAK HOUSE**

LOCATION: **349 Gloucester, Oakville, ON**

DWG: **REAR & PART ELEVATION**

No: DATE: STATUS:
8 20/10/2023 DRWGS FOR STRUCT
9 14/09/2023 PRE-PERMIT
10 23/11/2023 FOR PERMIT
11 01/12/2023 FFE REVIEW
12 06/12/2023 ISSUED FOR PERMIT
13 05/30/2024 DOOR & WINDOW REVISIONS
14 07/31/2024 PERMIT RESUBMISSION

PROJECT NORTH: Drawn by: **LM**
Date: **30/07/2024**
Scale: **1/4" = 1'-0"**
Project No: **1824**

TRUE NORTH: DWG No:



A10

SITE GRADING PLAN OF LOT 83 REGISTERED PLAN 1009 TOWN OF OAKVILLE

REGIONAL MUNICIPALITY OF HALTON
SCALE 1:150
GRAPHIC SCALE - METRES

REGISTERED PLAN 1009

EXCAVATION NOTES:

- APPROXIMATE GROUNDWATER ELEVATION IS TO BE CONFIRMED PRIOR TO CONSTRUCTION. IF GROUNDWATER INTERFERES WITH HOUSE CONSTRUCTION/DESIGN, CONTRACTOR TO NOTIFY THE ENGINEER.
- BUILDER TO VERIFY HOUSE CONNECTION INVERTS PRIOR TO EXCAVATION FOR FOOTING.

IMPERVIOUS SURFACE NOTE:

ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS.

MUNICIPAL RIGHT-OF-WAY NOTES

- ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF THE TOWN OF OAKVILLE PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.
- ALL STREET TREES ARE TO BE ADEQUATELY PROTECTED WITH PLYWOOD HOARDING.
- DRIVEWAY SURFACE AND BASE ASPHALT TO BE REMOVED. BOULEVARD TO BE RESTORED TO SATISFACTION OF TRANSPORTATION AND ENGINEERING DEPARTMENT.

PROPOSED SANITARY/WATER NOTE

THE PROPOSED SANITARY AND WATER CONNECTIONS WITHIN THE TREE PROTECTION ZONE (TPZ) TO BE DONE BY HAND WITH THE PROJECT ARBORIST ON SITE.

DEMOLISHING NOTE

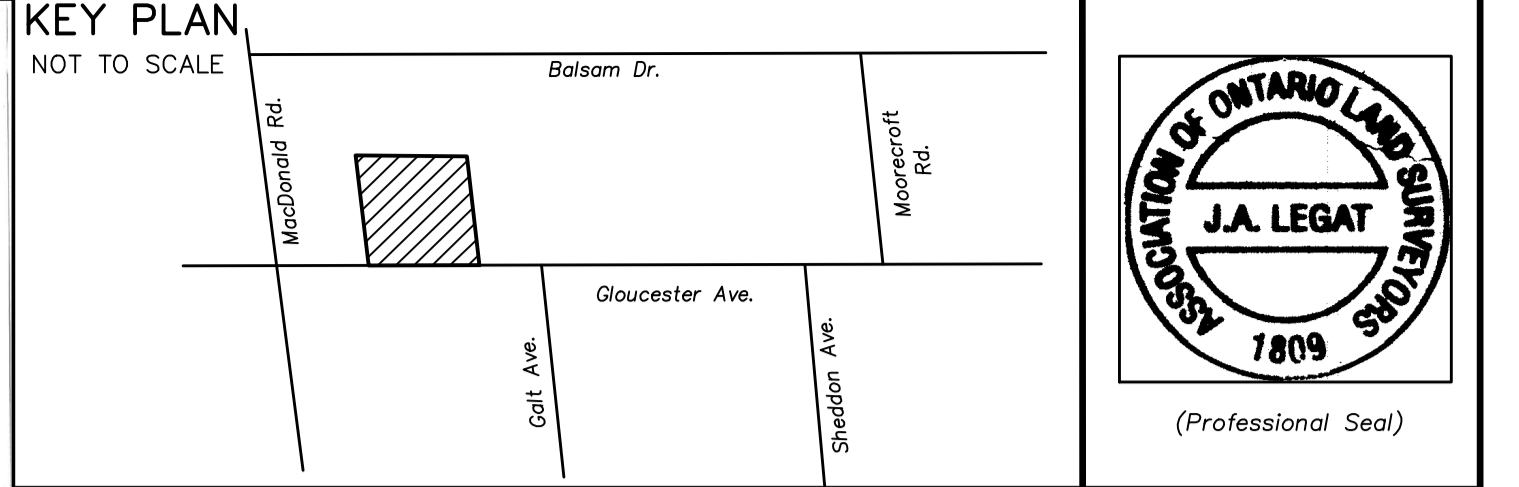
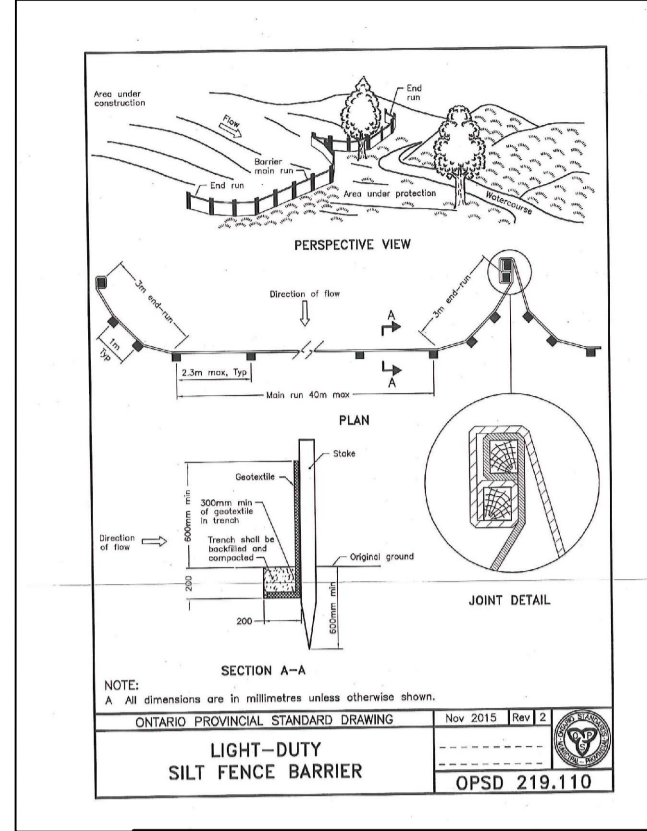
THE EXISTING DWELING, DETACHED GARAGE, PERGOLA AND WOOD DECK ARE TO BE REMOVED PRIOR TO EXCAVATION.

EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY GRADING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SOMEBODY ELSE'S WORK
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DAMAGED OR CORRODED DEVICES SHALL BE REPAIRED WITHIN 48 HRS.
- WHERE A SITE REMAINS EXPOSED AND WHERE THE EXCELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXCELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 1MM. THE CAPTURED SEDIMENT SHALL BE STORED IN A CONTAINER PROPERLY FOR WASTE. THE CLEAN EXCELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING - MASSIVE OR CHRONIC, INTERFERENCE ISSUES ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM ENTRY OF SEDIMENT THAT MAY MOVE FROM THE SITE. FOR STORM SEWERS ALL EXISTING OPEN CUT CHANNELS, ROAD CATCHMENTS PIPE INLET TO BE SECURED WITHIN SLOTTED CONTROL MEASURES. FOR DRAINAGE DITCHES THE INSTALLATION OF ROCK CHECK DAMS, SLOTTED CONTROL MEASURES, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SLOTTED CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEM 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) OR DRAINING FROM THE SITE, THE OWNER OR OWNER'S AGENT SHALL IMMEDIATELY NOTIFY THE WCEO AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNER'S AGENT SHALL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

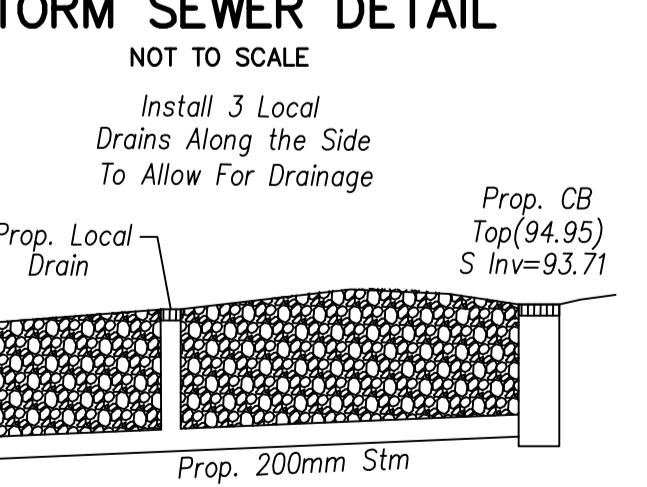
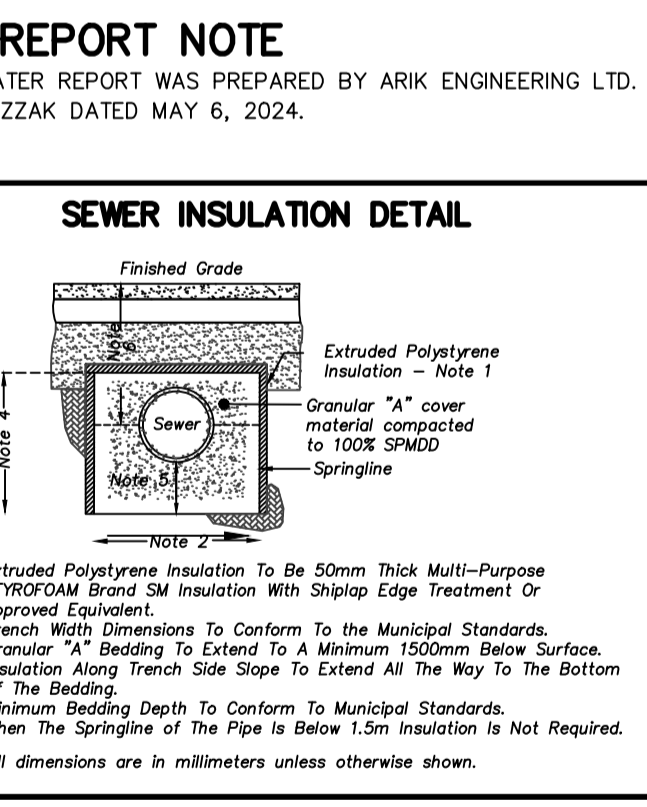
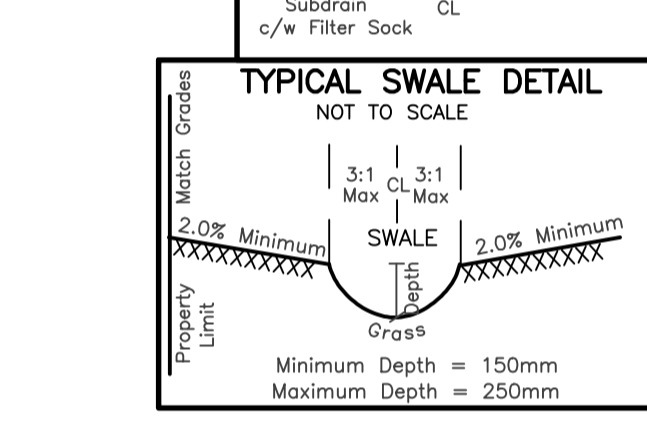
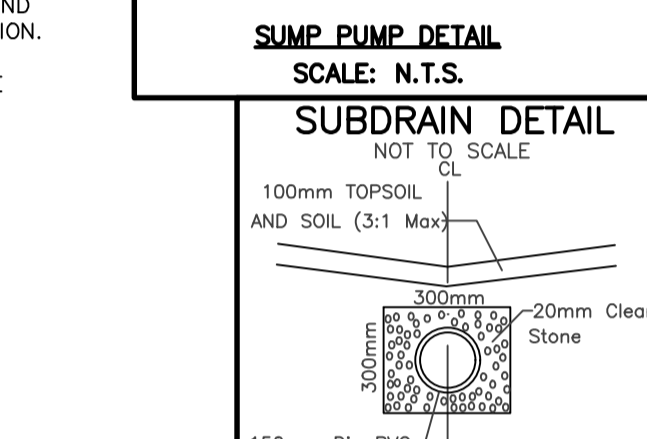
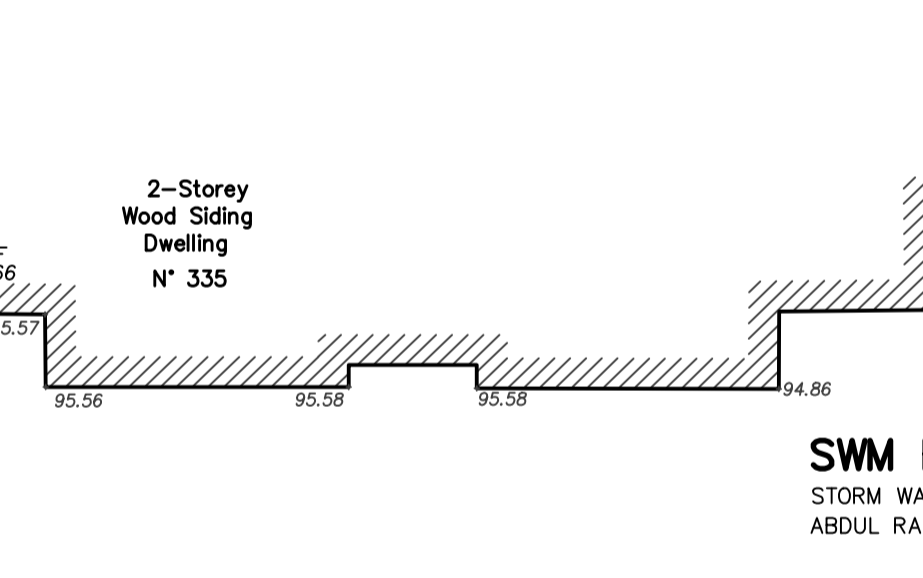
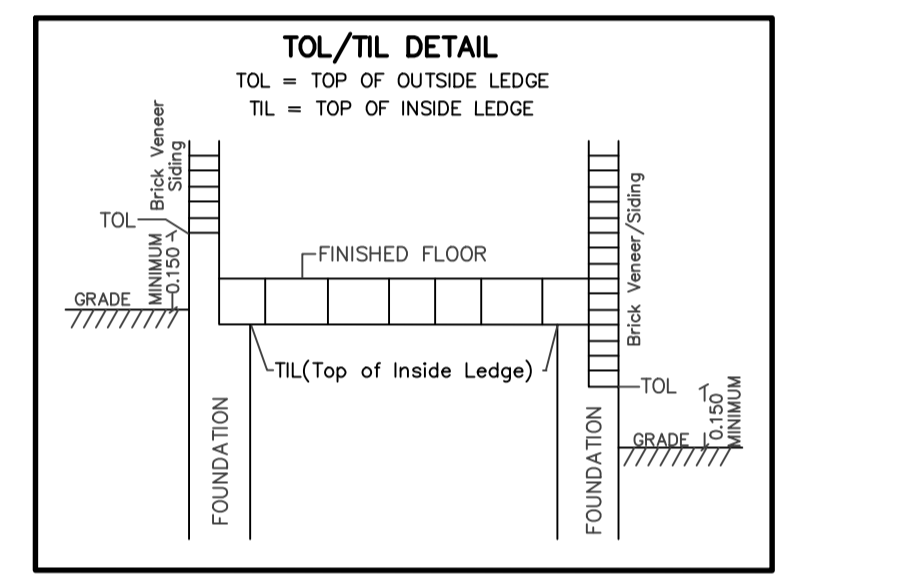
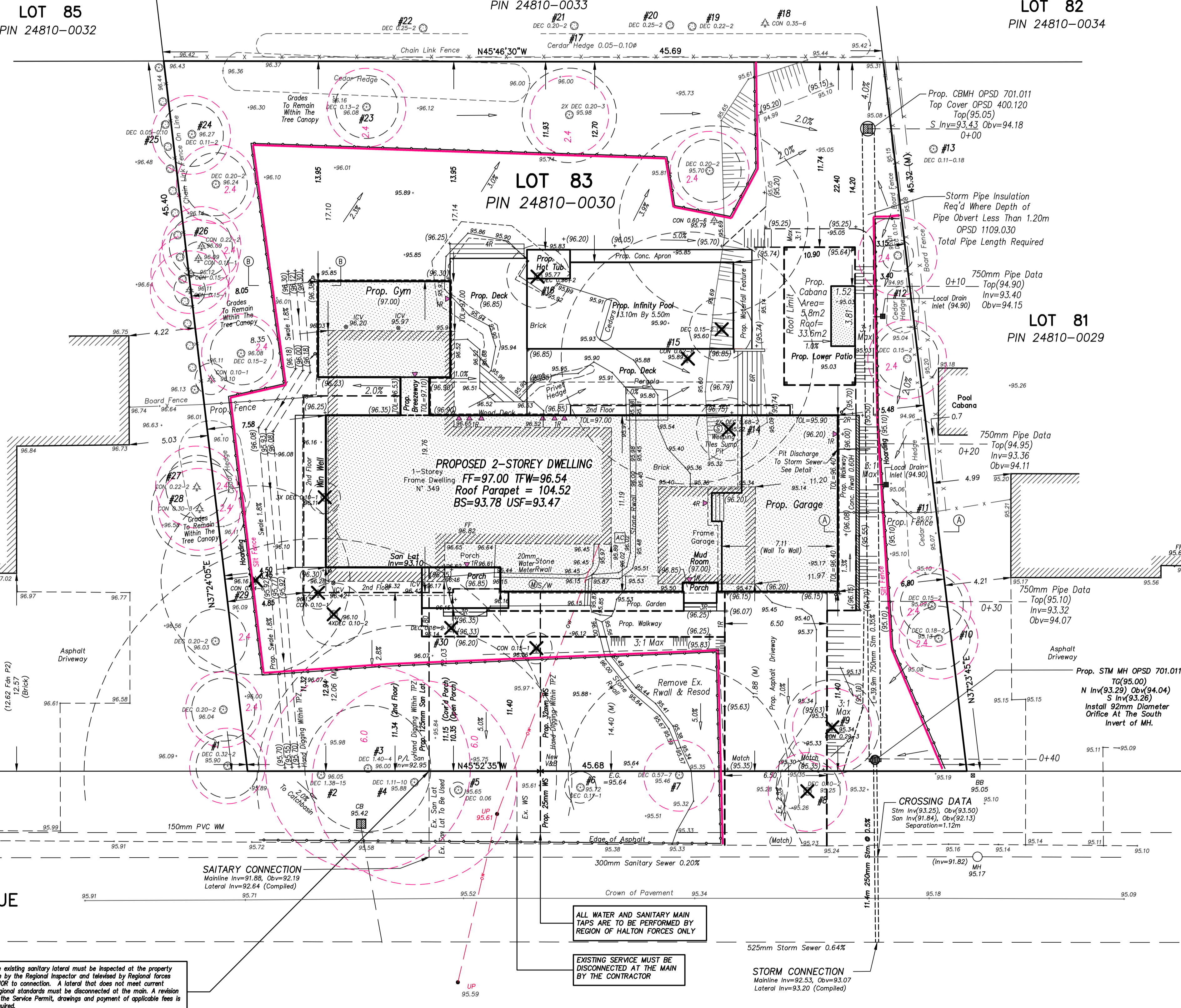
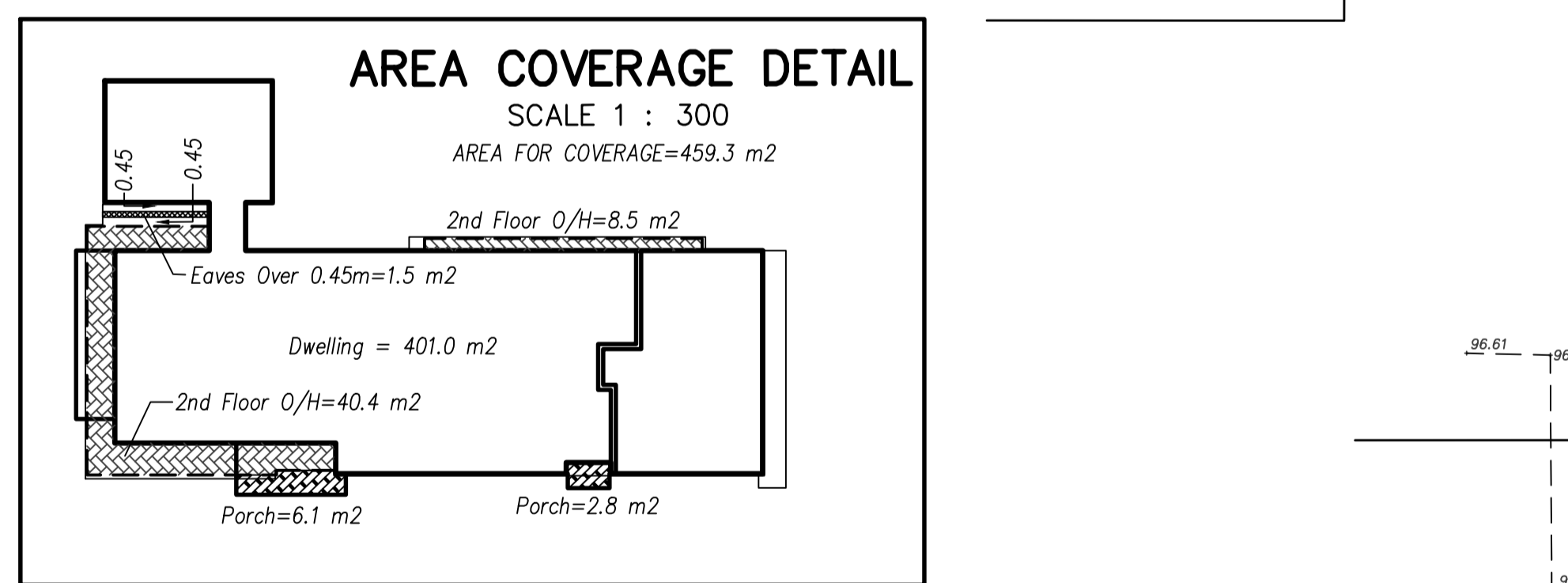
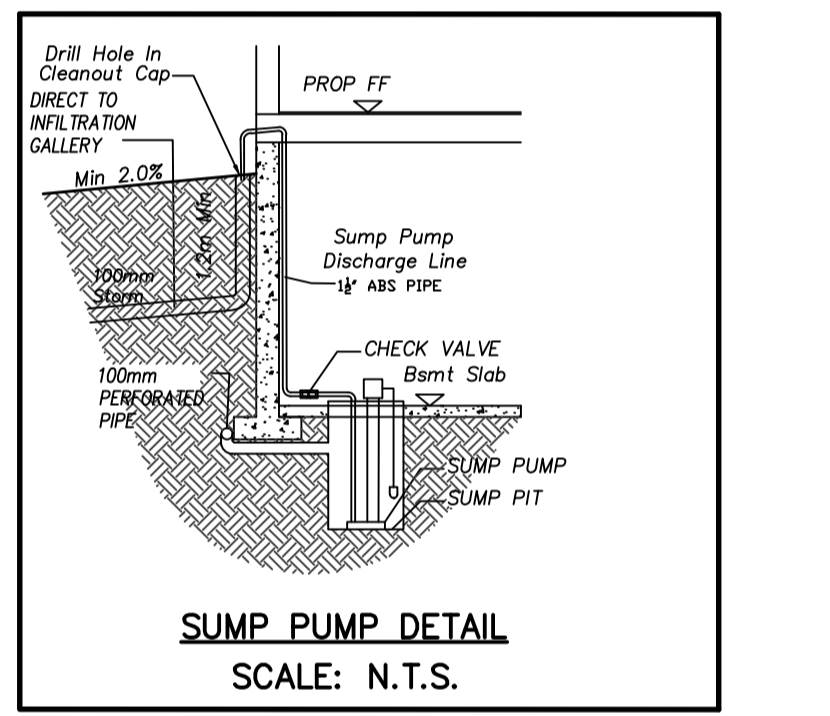
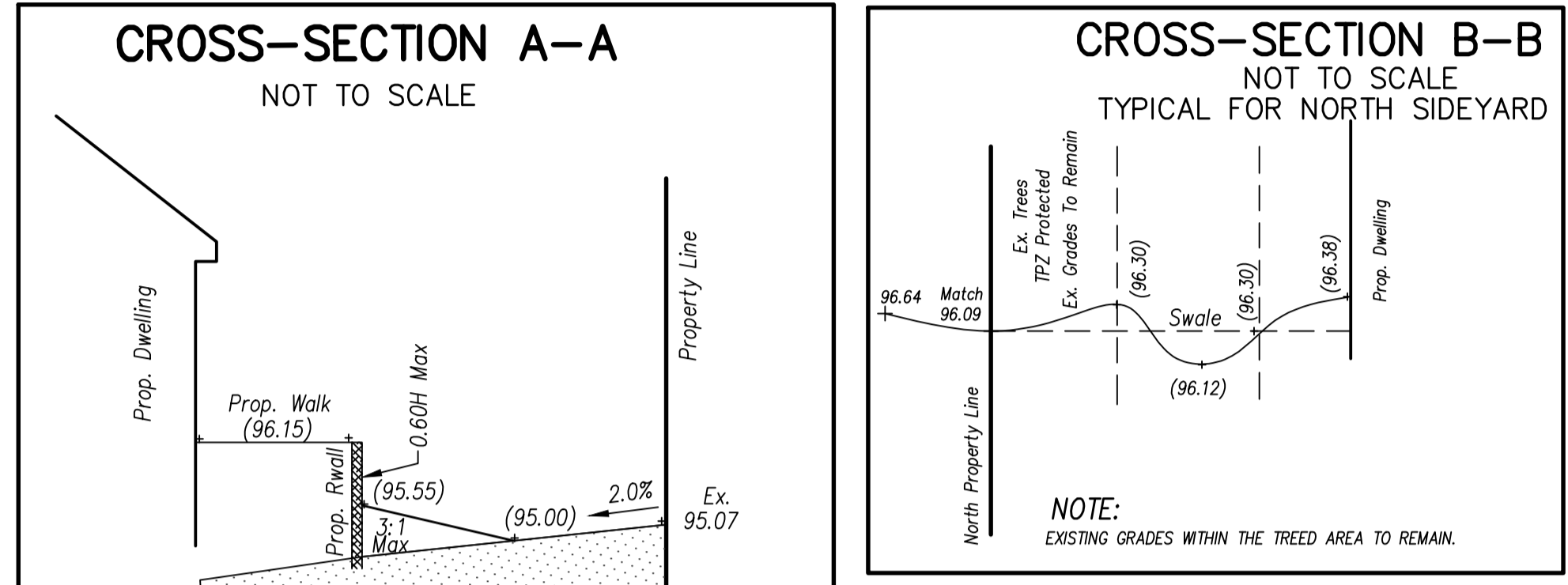
TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIALS AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE PROTECTED. WHERE LINES OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY, TO OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLS, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.



STANDARD DEVELOPMENT NOTES

- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
 - AT THE ENTRANCES TO A SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
 - THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.
- (B) GENERAL NOTES**
- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
 - THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
 - THE STOCKPIILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELLING ON PROPOSED DRIVEWAY.
 - ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
 - ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALLS, DRIVEWAYS OR PATIO AREAS.
 - MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
 - PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
 - ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
 - CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
 - ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE RENSTATED WITH TOPSOIL AND SOO TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
 - THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
 - ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS.
 - BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
 - OUTSIDE FINISHED FLOOR SHALL BE A MINIMUM OF 150mm BELOW BRICKSTONE VENEER ELEVATION.
 - PRIOR TO ANY SOILING, THE BUILDER IS TO ENSURE THAT THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN TESTED AND TOPSOIL IS SOILED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND N+1 NURSERY SOO AND A MINIMUM DEPTH OF 150mm OF TOPSOIL TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY AND A 100mm SURGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
 - NOT SOILING ON ANY LOT PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
 - DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
 - LANE AND SVALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%.
 - WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET. WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
 - THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
 - ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
 - WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7m WITH A MINIMUM HORIZONTAL SPACING OF 1.5m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS.
 - SEEDMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
 - ALL DAMAGED AND DISTURBED AREAS TO BE RENSTATED WITH TOPSOIL AND SOO.
- (C) UTILITIES CONNECTION**
- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. (B) EXISTING CONNECTION MAIN TO PROPERTY LINE TO BE USED SUBJECT TO REGION OF HALTON APPROVAL. (C) NEW LATERAL 125mm SDR-28, PVC TO BE CONSTRUCTED PROPERTY LINE TO DWELLING.
 - STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE. (B) PROPOSED REAR CATCH BASIN WITH TWO-THREE LOCAL DRAIN ALONG THE MAIN LINE IS TO BE INSTALLED AND CONNECTED TO THE MUNICIPAL STORM SEWER.
 - WATER: (A) EXISTING 20mm SERVICE CONNECTION MAIN TO P/L TO BE DISCONNECTED AT MAIN. (B) NEW 32mm WATER SERVICE, SOFT COPPER, TYPE "K" TO BE CONSTRUCTED DWELLING TO PROPERTY LINE. (C) NEW 25mm WATER SERVICE, SOFT COPPER, TYPE "K" TO BE CONSTRUCTED PROPERTY LINE TO MAIN. (D) 20mm WATER SERVICE TO BE INSTALLED WHERE SERVICE EXISTING BUILDING.



SITE STATISTICS - ZONE RL1-0

- LOT AREA = 2,057 m²
- LOT FRONTAGE = 45.67m (30.50m Minimum)
- AREAS FOR COVERAGE = 459.3 m² (SEE DETAIL FOR AREA COVERAGE)
- LOT COVERAGE = 22.3% (25.0% Maximum)
- ESTABLISHED GRADE = 95.64m
- BUILDING HEIGHTS:
 - ROOF RIDGE = 8.88m (9.00m Maximum)
 - FRONT = 11.40m (Dwelling) (Between 10.89m And 16.38m)
 - FRONT = 11.5m (Covered Porch), 11.34 (2nd Floor)
 - FRONT = 10.30m (Open Porch)
 - REAR = 11.50m (Dwelling) (10.50m Minimum)
 - SIDES: 4.85m And 5.48m (Dwelling) (4.20m Min. Each Side)
 - SIDES: 4.66m (Window Well)
- FLOOR AREA = 594.95 m²
- FA/LOT RATIO = 28.8% (25% Maximum)
- DWELLING DEPTH = 19.76m

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL, CONSTRUCTION CONFORMING TO HALTON REGIONAL STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM MUNICIPALITY.

SIGNED: _____ DATED: _____

The approval of the water system on private property is the responsibility of the Local Municipality. If approved, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

ARBORIST'S REPORT NOTE

NUMBERING SHOWN HEREON WAS DERIVED FROM THE ARBORIST'S REPORT PREPARED BY ARBORCORP. GLUCIES CUNNINGHAM ON-0378AT DATED NOVEMBER 7, 2023.

REPLACEMENT TREE NOTE

- ☉ DENOTES MINIMUM 30mm CALIPER DECIDUOUS TREE
- ☁ DENOTES MINIMUM 150cm IN HEIGHT CONIFEROUS TREE

TREE PROTECTION ZONE

Diameter of Trunk (DBH) in centimetres Distances From Trunk Measured in Metres

<10cm	1.5 m
10-30 cm	2.4 m
31-50 cm	3.0 m
51-70 cm	3.5 m
61-70 cm	4.2 m
71-80 cm	4.8 m
81-90 cm	5.4 m
91-100+ cm	6.0 m

(1) For trees over 100mm, add 10m to the TPZ for every one centimetre of DBH.
(2) Roots on selected from the trunk to 2-3 times the distance of the dip line (see Detail 31-1 Schedule 4 for further information).
(3) Diameter of breast (DBH) measurement of tree trunk taken at 1.37m above ground.
(4) Tree Protection Zone distances are to be measured from the outside edge of the tree zone towards the dip line and may differ by an existing power service, overhead the existing power service extends intact throughout the construction work.

HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
HOARDING MUST BE SURFACE INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION. IT SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF DEVELOPMENT AND DESIGN.
DO NOT ALLOW MACHINERY TO COLLECT AND PICK UP DEBRIS OR OTHER HOARDING.
1-BAY SUPPORTS FOR SOLO HOARDING WILL ONLY BE ALLOWED WITH THE APPROVAL FROM DEVELOPMENT AND DESIGN.

DATE: AUGUST 25, 2022

REVISIONS

INITIAL B.P.

DATE: AUGUST 25, 2022

SCALE 1:150

PLAN 63-22-2

BOUNDARY NOTE

ALL BOUNDARY SHOWN HEREON WAS DERIVED FROM PLAN BY CUNNINGHAM MCCONNELL LIMITED FILE # 63-22-2.

GRADING CERTIFICATION NOTE

AS PER OBC 814.6(1) I CERTIFY THAT THE BUILDING WAS LOCATED AND THAT SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

DISTANCE NOTE

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99974246.

METRIC NOTE

ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 3.048.

TOPOGRAPHIC LEGEND

- AA DENOTES ANCHOR WELLS
- BB DENOTES BELL BOX
- CC DENOTES CEMENT
- CON-0.20 DENOTES CONCRETE FLOOR 0.20 DIA
- DCS-0.20 DENOTES DECIDUOUS TREE 0.20 DIA
- FI DENOTES FIRE HYDRANT
- GA DENOTES GAS MAIN
- UV DENOTES U/G VENT MAIN
- U/G DENOTES U/G HYDRO CABLE
- LS DENOTES LIGHT STANDARD (LAMP)
- MS DENOTES MASTHEAD
- OW DENOTES OVERHEAD WIRE(S)
- UP DENOTES UTILITY POLE
- STIM DENOTES STORM SEWER
- W DENOTES WATER MAIN
- UPLS DENOTES UTILITY POLE (LIGHT STANDARD)
- W DENOTES WATER MAIN

UNDERGROUND SERVICES NOTE

ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE REGULATIONS AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON AUGUST 25, 2022.
DATE: AUGUST 25, 2022

CUNNINGHAM MCCONNELL LIMITED

1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2Y4
PHONE (905) 845-3467
FAX (905) 845-3519
info@cml.ca

205 MAIN STREET OAKVILLE, ONTARIO L9T 1N7
PHONE (905) 878-7810
FAX (905) 878-6872
m100n.off@m100n.ca

LOT PAPER SIZE = 1219mm By 869mm
PLAN 63-22-2

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THE PRIHAR RESIDENCE

2024/08/01 ISSUED FOR COMMITTEE OF ADJUSTMENT RDM
2024/07/17 PER OWNER'S COMMENTS JAL
2024/06/22 PER TOWN'S COMMENTS JUNE 6, 2024 JAL
2024/05/03 PER TOWN'S COMMENTS APRIL 19, 2024 JAL
2023/12/12 ISSUED FOR GRADING APPROVAL JAL
2022/08/25 ISSUED FOR DESIGN JAL

DATE: AUGUST 25, 2022

SCALE 1:150

PLAN 63-22-2



THESE DRAWINGS ARE NOT TO BE SCALED. ALL DRAWINGS, THE DESIGN, AND THE DETAILS THEREON REMAIN THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE ALTERED, RE-USED OR REPRODUCED WITHOUT THE DESIGNER'S EXPRESS WRITTEN CONSENT.

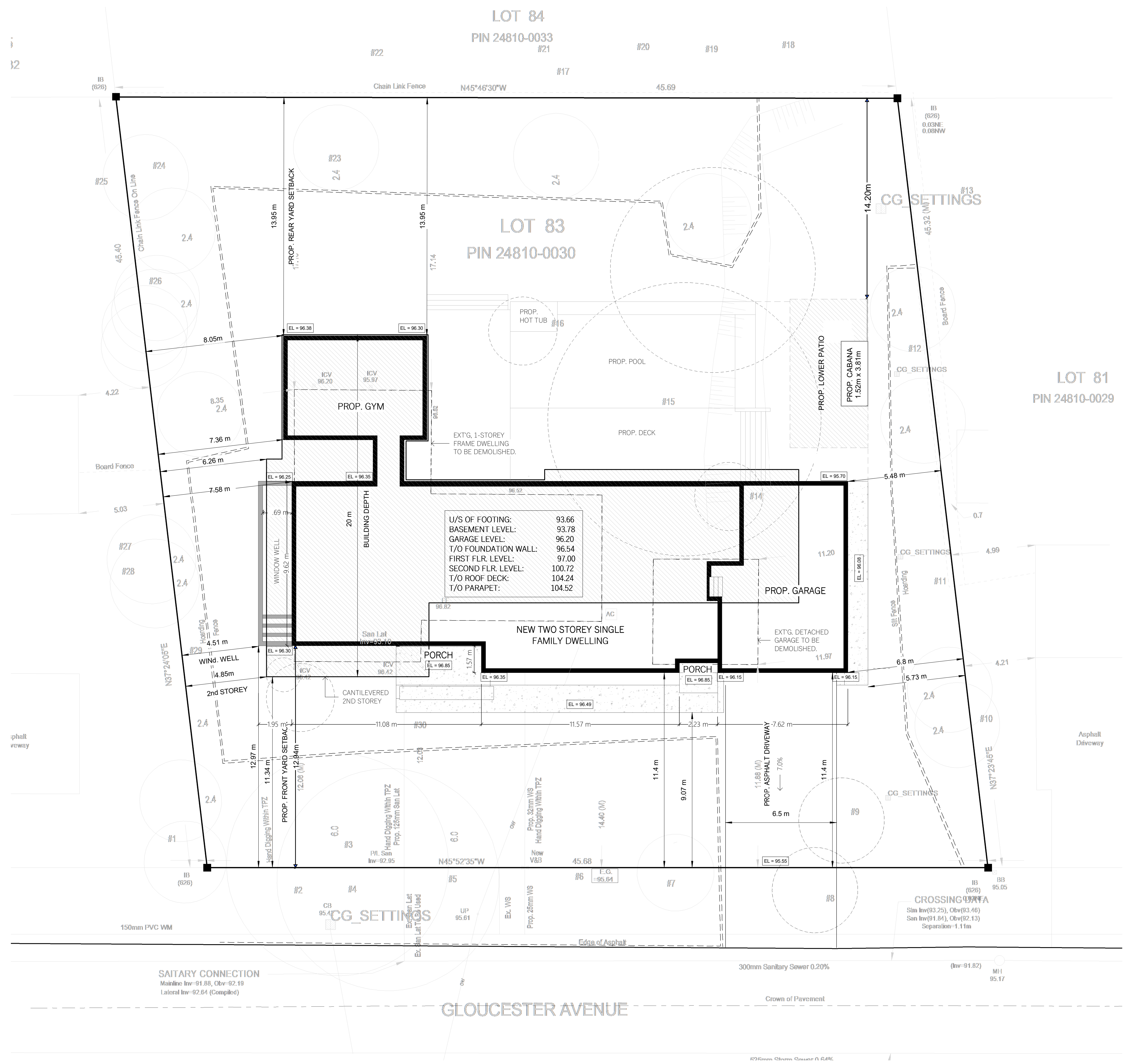
THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MUST CONFIRM & CORRELATE ALL DETAILS WITHIN THE FULL DRAWING PACKAGE BEING RESPONSIBLE FOR SAME THROUGHOUT CONSTRUCTION, REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING THE RELEVANT WORK. ALL DRAWINGS, DETAILS & SPECIFICATIONS REPRESENTED IN THE DRAWINGS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN ISSUED BY THE DESIGNER AND NOTED ACCORDINGLY IN THE "ISSUE/REVISIONS" BOX HEREON.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (OBC) TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1 OF THE ONTARIO BUILDING CODE (OBC)
LUIS MENDEZ 41896
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.1 OF THE ONTARIO BUILDING CODE (OBC)
LM BUILDING DESIGN INC 126230
FIRM NAME BCIN



VICINITY MAP



U/S OF FOOTING:

BASEMENT LEVEL:	93.66
GARAGE LEVEL:	93.78
T/O FOUNDATION WALL:	96.20
FIRST FLR. LEVEL:	96.54
SECOND FLR. LEVEL:	97.00
T/O ROOF DECK:	100.72
T/O PARAPET:	104.24
	104.52

RESIDENTIAL FLOOR AREA

DESCRIPTION	AREA SF
LEVEL 1	3332
LEVEL 2	3072
TOTAL RFA	6404
BASEMENT	3480

ESTABLISHED GRADE 95.64 m

*see page A1.1 for RFA plans

OAKVILLE, ZONING BY-LAW

SINGLE DETACHED - RL1-0	REQUIRED (m)	PROPOSED (m)
MIN. FRONT YARD	10.88*	11.34
MIN. REAR YARD	10.5	13.95
MIN. FLANKAGE YARD	4.2	N/A
MIN. INTERIOR SIDE YARD	4.2	4.85
MAXIMUM HEIGHT	9	8.6
MAXIMUM BLDG DEPTH	20	20
MIN. WINDOW WELL SETBACK	4.2	4.5
MAXIMUM FLOOR RATIO	29%(597 SM / 6426.4 SF)	28.9%(595 SM / 6404 SF)
MAX. LOT COVERAGE %	25%(515 SM / 5540.0 SF)	22.3%(459.3 SM / 4943.86 SF)

Note: The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre.

CLIENT:

Anoop & Rutnaish Prihar

PROJECT:

OAK HOUSE

LOCATION:

349 Gloucester, Oakville, ON

DWG:

SITE PLAN

No: DATE: STATUS:

8	20/10/2023	DRWGS FOR STRUCT
9	14/09/2023	PRE-PERMIT
10	23/11/2023	FOR PERMIT
11	01/12/2023	FFR REVIEW
12	06/12/2023	ISSUED FOR PERMIT
13	05/30/2024	DOOR & WINDOW REVISIONS
14	07/31/2024	PERMIT RESUBMISSION

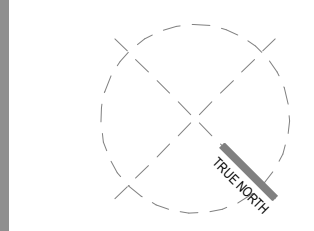
PROJECT NORTH: Drawn by: LM

Date: 30/07/2024

Scale: As indicated

Project No: 1824

TRUE NORTH: DWG No:



A1