

Key Plan:

No.	Date	Issued/Revision	By:
8	July 14/2024	Changes per client	R.M.
7	June 20/2024	Changes per client	R.M.
6	June 10/2024	Changes per client	R.M.
5	June 5/2024	Changes per client	R.M.
4	May 30/2024	Changes per client	R.M.
3	May 25/2024	Rev elev's	R.M.
2	May 17/2024	Minor changes	R.M.
1	May 15/2024	Prelim review	R.M.



SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905 842 2848
 smda.ca

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REGISTRATION INFORMATION:
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:
 RICK MATELJAN BCIN 39448 *R. Matelj*
 SMDA DESIGN LTD, BCIN 128915

Project:
Forestwood Homes
 331 Allan St
 Oakville, ON

Sheet Title:
Roof Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale:	Date:	Project No:
1/4"=1'-0"	May 2024	

Drawing No:
A002.3

Engineer:



NOTE REGARDING SIDING AND WINDOW MATERIALS AND INSTALLATION:

Exterior above-grade walls or wall assemblies must be designed and constructed according to rainscreen principles that include both Primary and Secondary Planes of Protection (water barriers), provision for drying of the assembly, and an air space no less than 10mm deep behind the cladding with positive drainage to the exterior to protect the interior of the building from precipitation that penetrates the Primary Plane of Protection.

i) Windows must be designed and constructed according to rainscreen principles, inserted into a wall where they are fully supported at the perimeter, where all the components are specified and used in conformity with the structural and installation parameters of the relevant Canadian Standards Association (CSA) and Canadian Government Specifications Board (COSS) documents, or other standards referenced in the applicable building code.

ii) Solid masonry or concrete walls are permitted where drying of the masonry or concrete is not adversely affected by any other exterior building material.

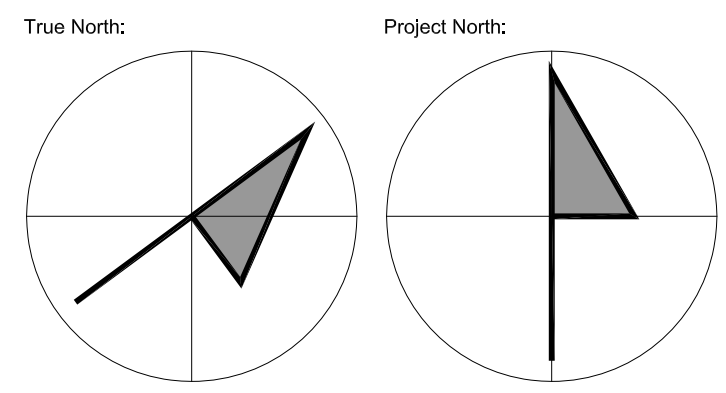
iii) Precast Concrete walls must be designed and constructed as drained systems utilizing two stage drained joints.

iv) Glass and metal Curtain Wall systems must incorporate both Primary and Secondary Planes of Protection (water barriers) with provision for positive drainage to the exterior in a rainscreen design.

v) Window Wall systems may be used on projects classified under Part 9 of the Ontario Building Code that incorporate both Primary and Secondary Planes of Protection (water barriers) and ventilated air spaces with provision for positive drainage to the exterior in a rainscreen design.

vi) Window Wall systems used on projects other than those classified under Part 9 of the Ontario Building Code must comply with the conditions as provided by the most recently issued Window Wall Endorsement issued by the Pro-Demity Insurance Company.

vii) Pre-Engineered buildings or siding systems incorporating both Primary and Secondary Planes of Protection (water barriers) and provision for drainage to the exterior in a rainscreen design are permitted.



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REFER TO HVAC DESIGN FOR REQUIRED INSULATION AND WINDOW PERFORMANCE DATA



SPATIAL SEPARATIONS CALCULATION PER O.B.C. 9.10.15:

NORTH ELEVATION:

GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4

EXPOSING BUILDING FACE: 1269 SF
 LIMITING DISTANCE: 2.11m
 ALLOWABLE OPENINGS: 8.2% (INTERPOLATED)(104 SF)
 PROPOSED OPENINGS: 8.2% 104 SF

CONSTRUCTION OF EXPOSING BUILDING FACE PER O.B.C. 9.10.15.5 (LIMITING DISTANCE = 2.10M)

CONSTRUCTION: COMBUSTIBLE (COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED)
 CLADDING: COMBUSTIBLE (COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED)
 FRR: N/A

SM DA design + architecture

SMDA Design + Architecture

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QUALIFICATION INFORMATION:

RICK MATELIAN BCIN 39448 *R. Matelian*

SMDA DESIGN LTD, BCIN 128915

Project:

Forestwood Homes

331 Allan St
 Oakville, ON

Sheet Title:

**Front Elevation
 North Elevation**

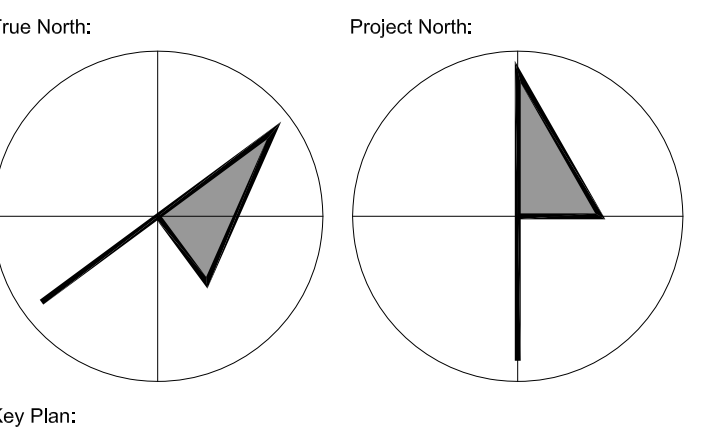
Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale: 1/4"=1'-0"
 Date: May 2024
 Project No:

Drawing No:

A003.0

Engineer:



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SPATIAL SEPARATIONS CALCULATION PER O.B.C. 9.10.15.1:
 SOUTH ELEVATION:
 GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4
 EXPOSING BUILDING FACE: 1269 SF
 LIMITING DISTANCE: 2.1m
 ALLOWABLE OPENINGS: 8.2% (INTERPOLATED) (104 SF)
 PROPOSED OPENINGS: 8.2% (103.2 SF)
 CONSTRUCTION OF EXPOSING BUILDING FACE PER O.B.C. 9.10.15.5 (LIMITING DISTANCE = 2.10M)
 CLADDING: COMBUSTIBLE (COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED)
 FRR: N/A

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 331 Allan St
 Oakville, ON

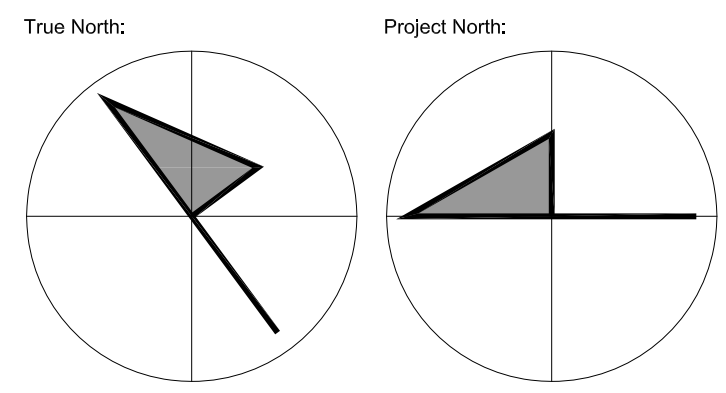
Sheet Title:
**East Elevation
 South Elevation**

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale: 1/4"=1'-0"
 Date: May 2024
 Project No:

Drawing No:
A003.1

Engineer:



Key Plan:

THIS SITE PLAN BASED ON:

PLAN OF SURVEY AND TOPOGRAPHY OF LOT 50 REGISTERED PLAN 113 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor 2 0 2 4

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REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY
None

NOTABLES
Note the location of the Fences around the Subject Property.
Note the location of the Curb along the Northwesternly limit of the Subject Property.

LEGEND

■	Survey Monument Found	N	North
SIB	Standard Iron Bar	S	South
IB	Iron Bar	E	East
(950)	F.G. Cunningham Inc., O.L.S.	W	West
(OU)	Origin Unknown		
P1	Registered Plan 113		
P2	Plan of Survey by Yates & Yates Ltd., O.L.S. dated April 29, 1991		
P3	Plan of Survey by McConnell-Jackson, O.L.S., dated April 13, 1967		
P4	Plan of Survey by J. H. Gelbloom Surveying Ltd., O.L.S. dated April 18, 2023		
P5	Plan of Survey by J. H. Gelbloom Surveying Ltd., O.L.S. dated November 26, 2007		
FF	Finished Floor Elevation		
EG	Established Grade Elevation		
BF	Board Fence		
CLF	Chain Link Fence		
RF	Rail Fence		
DEC.	Deciduous Tree		
CON.	Coniferous Tree		
UP	Utility Pole		
MH	Maintenance Hole		
BOS	Bottom of Slope		
TOS	Top of Slope		
WT	Witness		

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BENCHMARK
Elevations are Referred to the town of Oakville Benchmark No. 183, having an Elevation of 81.701.

NOTE
This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.
All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for 62476599 Ontario Inc. and the undersigned accepts no responsibility for use by other parties.

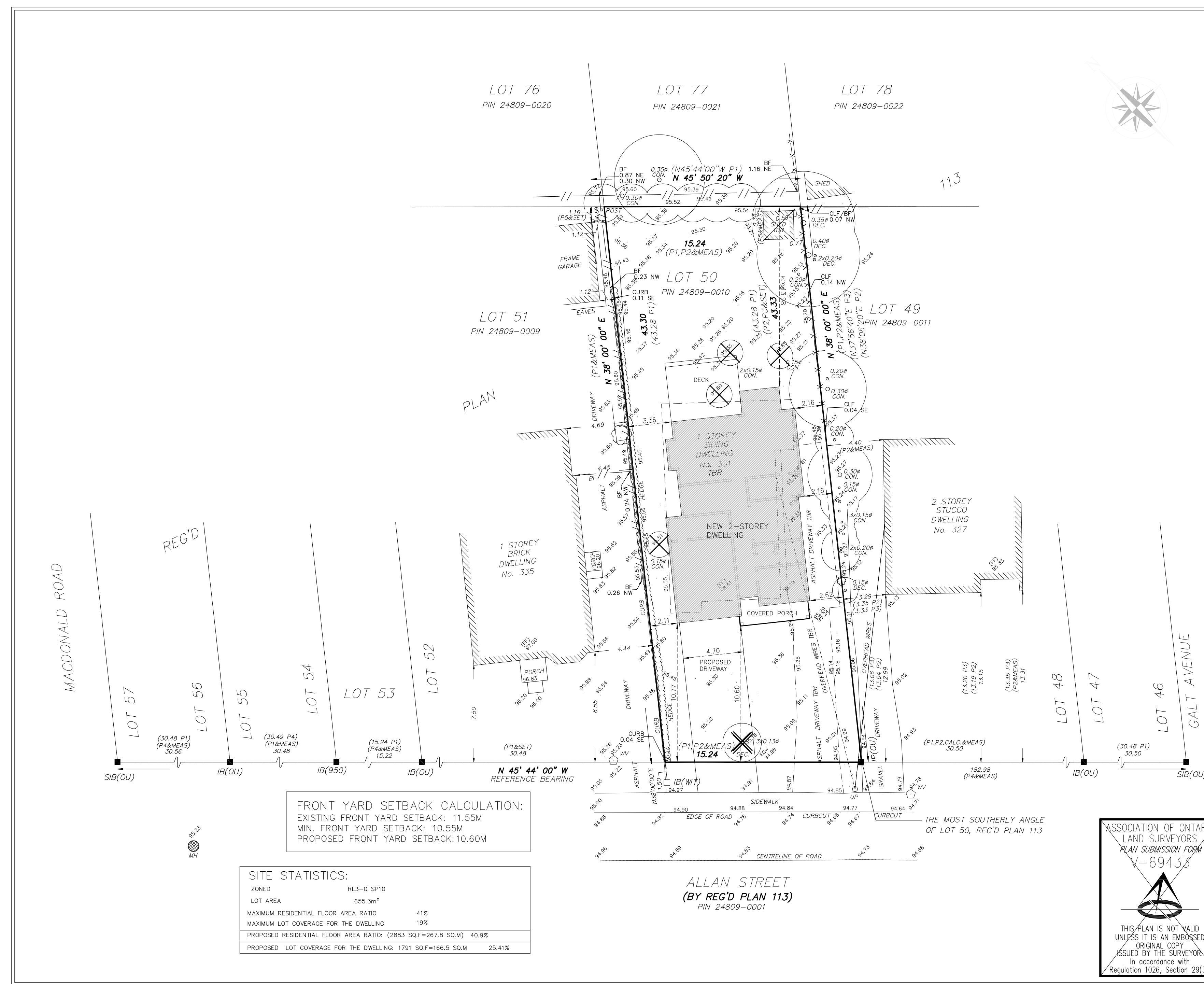
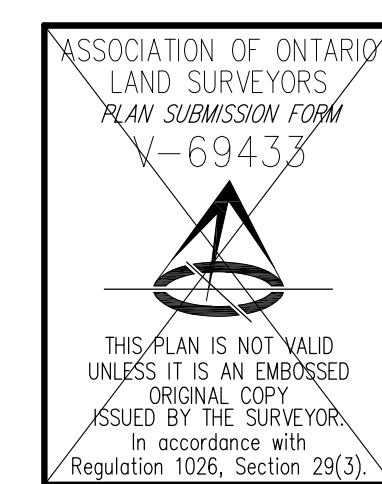
NOTE
Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

BEARING NOTE
Bearings are Astronomic, and are Referred to the Northeastly limit of Allan Street as shown on Reg'd Plan 113, having a Bearing of N 45° 44' 00" W.

SURVEYOR'S CERTIFICATE
I certify that:
1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act, and the Regulations made under them.
2. The survey was completed on the 22nd day of May, 2024.

May 22, 2024
Date

Ashraf Rizk, O.L.S.
Party Chief/Drawn By: Checked By: Project No.
AR MC 24-070



FRONT YARD SETBACK CALCULATION:
EXISTING FRONT YARD SETBACK: 11.55M
MIN. FRONT YARD SETBACK: 10.55M
PROPOSED FRONT YARD SETBACK: 10.60M

SITE STATISTICS:

ZONED	RL3-0 SP10
LOT AREA	655.3m ²
MAXIMUM RESIDENTIAL FLOOR AREA RATIO	41%
MAXIMUM LOT COVERAGE FOR THE DWELLING	19%
PROPOSED RESIDENTIAL FLOOR AREA RATIO: (2883 SQ.F=267.8 SQ.M)	40.9%
PROPOSED LOT COVERAGE FOR THE DWELLING: 1791 SQ.F=166.5 SQ.M	25.41%

ALLAN STREET
(BY REG'D PLAN 113)
PIN 24809-0001

SMDA Design + Architecture
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Oakville ON L6L 2Y2
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QUALIFICATION INFORMATION:
RICK MATELIAN BCIN 39448
SMDA DESIGN LTD, BCIN 128915

Project:
Forestwood Homes
331 Allan St
Oakville, ON

Sheet Title:
Site Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1:200	May 2024	

Drawing No:
S001.0

Engineer: