

Addendum 1 to Comments

October 2, 2024
Committee of Adjustment

BY VIDEO-CONFERENCE AND LIVE-STREAMING ON TOWN WEBSITE **OAVKILLE.CA**

1) CAV A/063/2024 (deferred from April 17/24)

85 Bronte Road

PLAN M8 LOTS 1A, 3 TO 5, 9 AND 10 PT LOTS 1, 7, 8 AND 11 RP 20R3921

PARTS 1 TO 8

Proposed

Under Section 45(1) of the *Planning Act*

Zoning By-law 2014-014 requirements - MU2

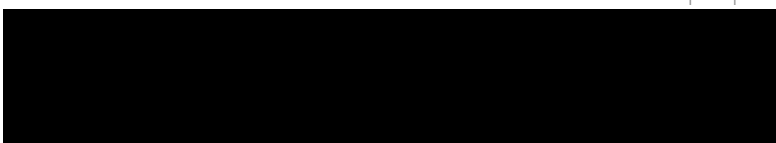
- 1. To permit a minimum of 27 non-residential parking spaces
whereas a minimum of 50 non-residential parking spaces are
required in this instance.***

Comments from:

Emails of Opposition- 3

Email of Opposition #1

[EXTERNAL] Subject: File #CAV A/063/2024



Reply Reply All Forward

Fri 9/27/2024 5:13 PM

You forwarded this message on 10/1/2024 9:02 AM.

To:

Committee of Adjustment Town of Oakville

As President of the Board of Directors, I am writing on behalf of the residents at HCC - 185 Stoneboat Quay, in reference to File No. CAV A/063/2024 and the associated Notice of Public Hearing for a variance request by applicant - Bronte Lakeside Limited. The request by the Applicant is to permit a minimum

of 27 non-residential parking spaces, whereas a minimum of 50 non-residential parking spaces are required (as per Zoning By-law 2014-014).

Both elected officials and staff of the Town of Oakville should be very cognizant of parking as a key issue within the Bronte community for both residents and businesses. Over the past few years, we have dealt with predatory towing practices, complaints to business owners that it isn't convenient to shop in the area if there is nowhere to park, and the ongoing traffic/parking issues during busy summer months due to the large number of visitors to the Bronte Harbour area with inadequate parking options.

As residents in the Bronte West neighbourhood near the intersection of Lakeshore Rd. West and Bronte Rd., we can confidently state that parking is compromised when development does not take into consideration existing issues and consider the future needs as a result of increased population within the area.

We know from experience in our own complex, that street level businesses require significant parking for both staff and patrons. Filings of new developments in the area consistently make variance requests to reduce the number of allocated parking spots to cut costs. Rationale by developers includes assumptions that residents and patrons will not require as much space to park due to fewer cars per residential unit, use of public transit and other modes of transportation. We know from experience that residents in a one bedroom unit generally have two cars and that public transit and other modes of transportation are not being used by the majority of visitors to the area. In our building, visitors' lots and retail spaces require constant monitoring due to unauthorized parking.

On behalf of our residents, I strongly implore the Town to enforce the Zoning By-law 2014 - 014 as it currently stands. The by-law was put in place for a reason and the developer was aware of the building requirements before submitting their development plans.

We appreciate you taking our concerns into consideration.

Dan Carruthers

President HCC

Email of Opposition #2

Lakeside Limited Notice of Public Hearing



Sat 9/28/2024 4:55 PM

Attention Jennifer Ulcar

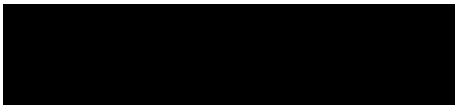
With regards to the variance request by the developer to reduce the non-residential spaces from 50 to 27 spaces, we are in total disagreement.

As it is commonly known there is not enough public parking in Bronte Village to support all of the retail and commercial businesses and as well the tourist designation of the village. By reducing these parking spaces will only make this situation worse.

What I am not understanding is that this developer is also building retail space and it would only make sense to me that it would be a great selling feature to attract retailers knowing there is ample parking available for their customers.





We do not support this variance request.

Anthony and Margaret Cericola



Email of Opposition #3

[EXTERNAL] Variance Request - 85 Bronte Road Parking

ly  Reply All  Forward  

Tue 10/1/2024 9:23 AM

As President of HCC – 204 and on behalf of the other commercial owners, in reference to File No. CAV A/063/2024 and the Notice of Public Hearing for a variance request, I am writing to oppose such request to significantly reduce the non-residential parking at 85 Bronte Road from the 50 spaces required to meet the existing By-law to 27 spaces (a 46% reduction).

Bronte currently has a severe shortage of commercial parking which adversely impacts the existing businesses. The approval of this variance would greatly increase the current parking issues and further negatively impact businesses.

Currently, parking in Bronte is insufficient which results in people parking wherever they can find parking. Frequently, this includes the dedicated parking owned by HCC 204 and needed by businesses for employees and customers. The Town does nothing to help enforce such illegal parking and business owners have limited recourse. The existing parking issues are hurting businesses. Do not make the problem worse by allowing a variance to the Town's published and well-known Zoning By-law.

I strongly implore the Town to enforce the Zoning By-law 2014 - 014 as it currently stands. I would further implore you to NOT simply compromise on this issue by "meeting-in-the-middle" given the absurd request to reduce the parking stipulated in the By-law by almost 50%! The By-law was presumably well thought out by the Town and implemented for good reasons. Furthermore, the developer was fully aware of the requirement before submitting their development plans.

Chris Jarratt

Northern Genesis Acquisition Corp.