

LOT 15

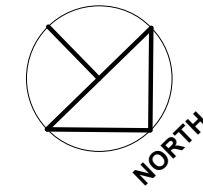
P.I.N. 24802-0033 (LT)

LOT 14

P.I.N. 24802-0030 (LT)

LOT 13

P.I.N. 24802-0027 (LT)



1 SITE PLAN  
A-000 3/32" = 1'-0"

Description		
1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
PRIVATE RESIDENCE

216 Forestwood Drive,  
Oakville, ON



95 St. Clair Avenue West, Suite 306, Toronto,  
ON, CANADA, M4V 1N7

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DRAWING LIST	
SHEET NUMBER	SHEET NAME
A-000	SITE PLAN & DRAWING LIST
A-001	SURVEY PLAN
A-002	3D RENDERINGS
A-003	AREA PLANS
A-101	BASEMENT FLOOR PLAN
A-102	GROUND FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-104	ROOF PLAN
A-200	FRONT ELEVATION
A-201	REAR ELEVATION
A-202	SIDE NORTH WEST ELEVATION
A-203	SIDE SOUTH EAST ELEVATION
A-400	CABANA PLANS
A-401	CABANA ELEVATIONS
ID-1	INTERIOR RENDERING



Professional Seals

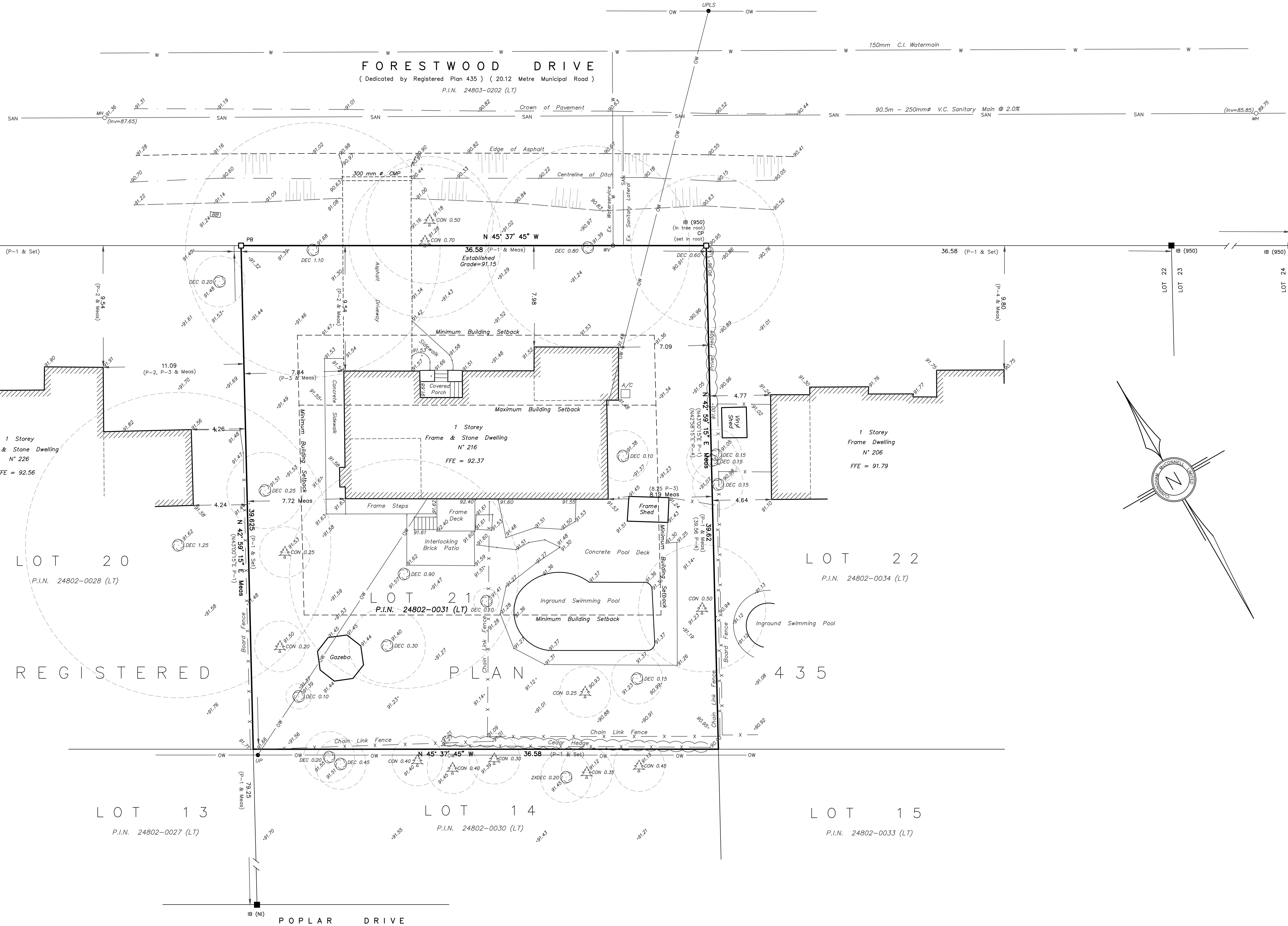
Date: 2024-07-19 12:29:01 PM Project No.: 20600

Sheet Title: SITE PLAN & DRAWING LIST

Dwg. File Name: \\MAKOW\Company Data\Makow\Drawings\Active\216 Forestwood\A-000\216 Forestwood Drive 5 - Reduced.dwg  
Scale: 3/32" = 1'-0" Drawn: I.I. Checked: S.M.  
Do not scale contents of this drawing  
Sheet Number

A-000





**PART 2 OF 2 – SURVEY REPORT**

- DESCRIPTION:**  
LOT 21, REGISTERED PLAN 435, DESIGNATED AS P.I.N. 24802-0031(LT), MUNICIPALLY KNOWN AS 216 FORESTWOOD DRIVE, OAKVILLE.
- MONUMENTATION:**  
IN ACCORDANCE WITH THE ONTARIO REGULATION N° 525/91 UNDER THE SURVEYORS ACT.
- COMPARISONS:**  
FIELD MEASUREMENTS AGREED WELL WITH THOSE DEPICTED ON PREVIOUS PLANS. COMPARISONS ON FACE OF THE PLAN.
- FENCES:**  
AS INDICATED ON FACE OF THE PLAN.
- NOTABLE FEATURES:**  
ASIDE FROM FENCING, WE FOUND NO OBVIOUS VISIBLE CIRCUMSTANCES WHICH MAY CONSTITUTE AN ENCROACHMENT.
- EASEMENTS/RIGHTS-OF-WAY:**  
1. NO EASEMENTS REGISTERED ON TITLE.
- ZONING:**  
TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK HAVING AN ELEVATION OF 118.729 METRES. (CYGD-1928 1978 Re-adjustment).

**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1 OF 2 – PLAN OF  
**LOT 21**  
**REGISTERED PLAN 435**  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

3 0 3 6 9  
GRAPHIC SCALE – METRES SCALE 1 : 150

**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
PLAN SUBMISSION FORM  
V - 7 4 4 7 4

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

**KEY PLAN**  
NOT TO SCALE

**LEGEND:**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- ▣ DENOTES STANDARD IRON BAR
- ▤ DENOTES SHORT STANDARD IRON BAR
- ▥ DENOTES IRON BAR
- ▦ DENOTES IRON PIPE
- ▧ DENOTES PLASTIC BAR
- ▨ DENOTES CONCRETE PIN
- ▩ DENOTES PROPERTY IDENTIFICATION NUMBER
- (N) DENOTES NO IDENTIFICATION
- (950) DENOTES CUNNINGHAM MCCONNELL LTD., O.L.S.
- P-1 DENOTES REGISTERED PLAN 435
- P-2 DENOTES PLAN BY H.D. SEWELL O.L.S., DATED JULY 20, 1967
- P-3 DENOTES PLAN BY H.D. SEWELL O.L.S., DATED JUNE 10, 1953
- P-4 DENOTES PLAN BY FRED G. CUNNINGHAM INC., O.L.S., DATED JAN. 21, 1991
- B.C. DENOTES BEGINNING OF CURVE

**BEARING NOTE**  
BEARINGS SHOWN HEREON ARE UTM GRID, DERIVED FROM GPS RTK (TOPNET NETWORK) OBSERVATIONS. FOR BEARING COMPARISONS, A ROTATION OF 0°05'41" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS SHOWN ON REGISTERED PLAN 435.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**CLIENT'S NOTE**  
THIS REPORT WAS PREPARED FOR INVESTBUILD AND ITS SOLICITORS, MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 27th DAY OF FEBRUARY, 2024.

DATE: MAR. 12, 2024

*Robert D. McConnell*  
ROBERT D. MCCONNELL  
ONTARIO LAND SURVEYOR

**CUNNINGHAM MCCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2X4  
PHONE (905) 845-3497  
FAX (905) 845-3519  
E-mail: info@ok@cmssurveyors.ca

305 MAIN STREET MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6672

CLIENT: INVESTBUILD  
O.L.S. FILE N° 108-21UTM  
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PLAN N° 108-21-2

Description

1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
PRIVATE RESIDENCE

216 Forestwood Drive,  
Oakville, ON



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Professional Seals

Date 2024-07-19 11:59:34 AM Project No. 20600

Sheet Title

REAR ELEVATION

Dwg. File Name

\\MAKOW\CAD\Company Data\Makow\Drawings\Active\216 Forestwood A\Floor\216 Forestwood Drive 5 - Reduced

Scale 1/4" = 1'-0"

Original 36" x 24"

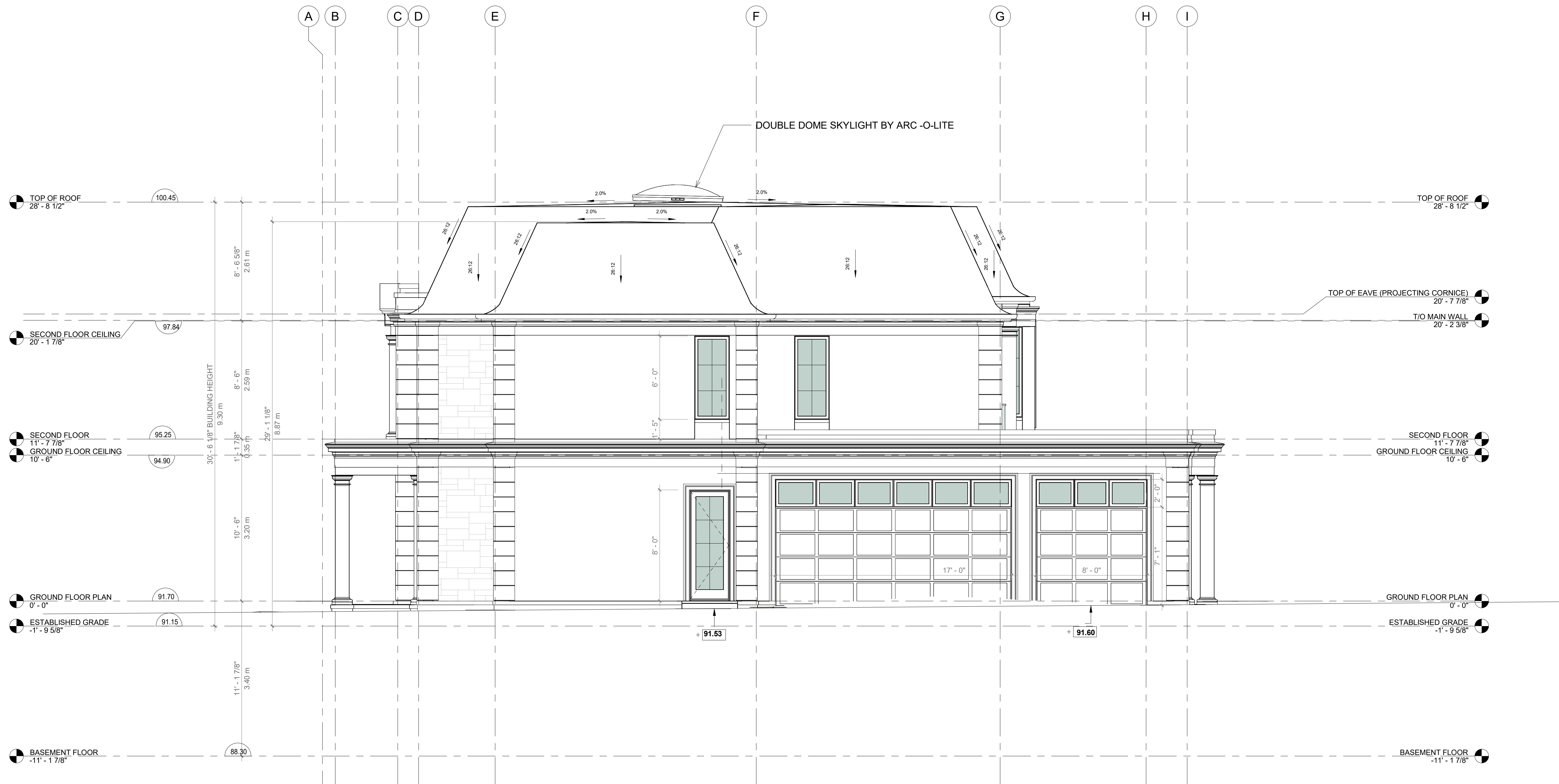
Do not scale contents of this drawing

Author Checker

Sheet Number

A-201





Description

1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
**PRIVATE RESIDENCE**

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Oakville, ON



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Professional Seals

Date	2024-07-19 11:59:36 AM	Project No.	
Sheet Title		20600	

**SIDE NORTH WEST ELEVATION**

Dwg. File Name  
\\MAKOW\C\Company Data\Makow\Drawings\Active\216 ForestwoodA.dwg

Scale	1/4" = 1'-0"	Drawn	Checked
Original	36" x 24"	Author	Checker

Do not scale contents of this drawing  
Sheet Number

**A-202**





Description

1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
PRIVATE RESIDENCE

216 Forestwood Drive,  
Oakville, ON



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Professional Seals

Date	2024-07-19 11:59:37 AM	Project No.	20600
Sheet Title	SIDE SOUTH EAST ELEVATION		

SIDE SOUTH EAST ELEVATION

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Scale	1/4" = 1'-0"	Drawn	Checked
Original	38" x 24"	11.	S.M.
Do not scale contents of this drawing			
Sheet Number	A-203		



Description		
1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
 PRIVATE RESIDENCE  
 216 Forestwood Drive,  
 Oakville, ON



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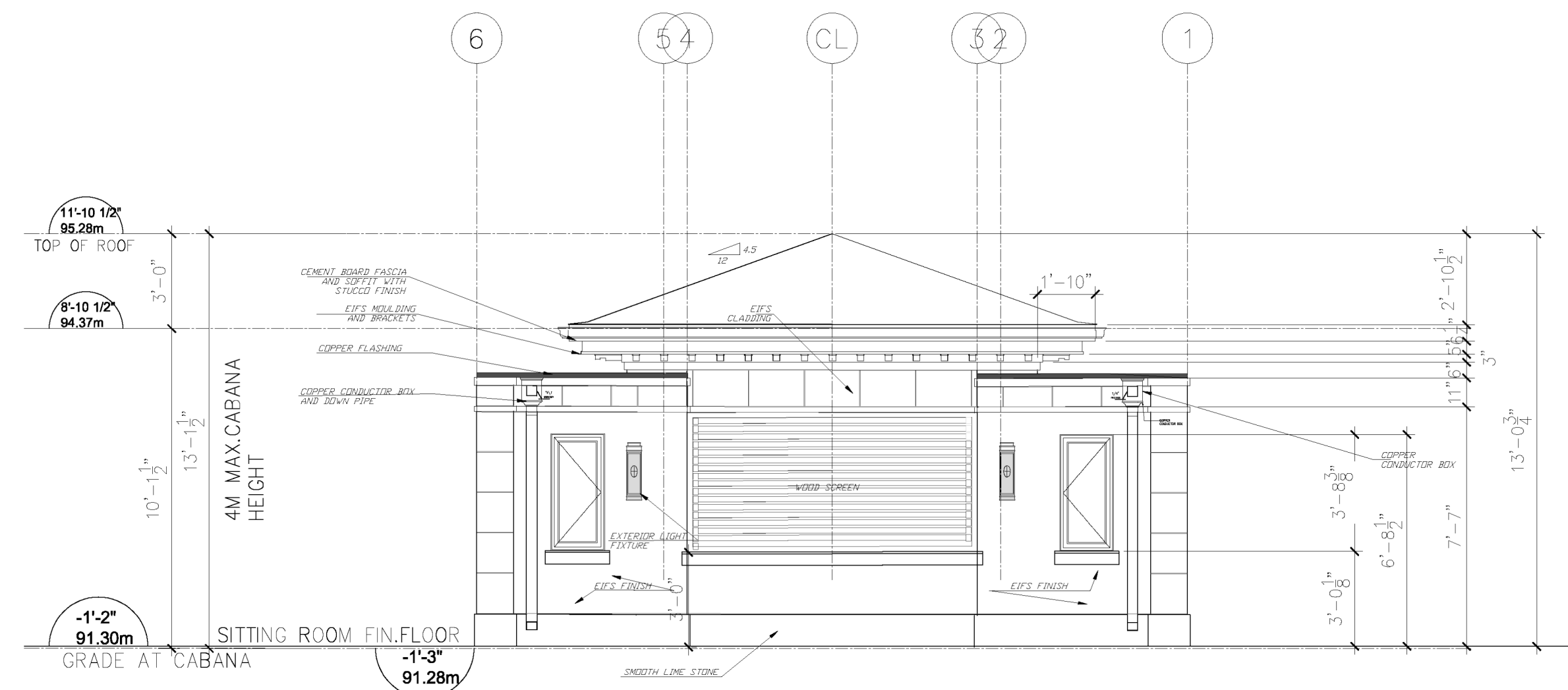
Professional Seals

Date: 2024-07-19 11:59:33 AM Project No.: 20600  
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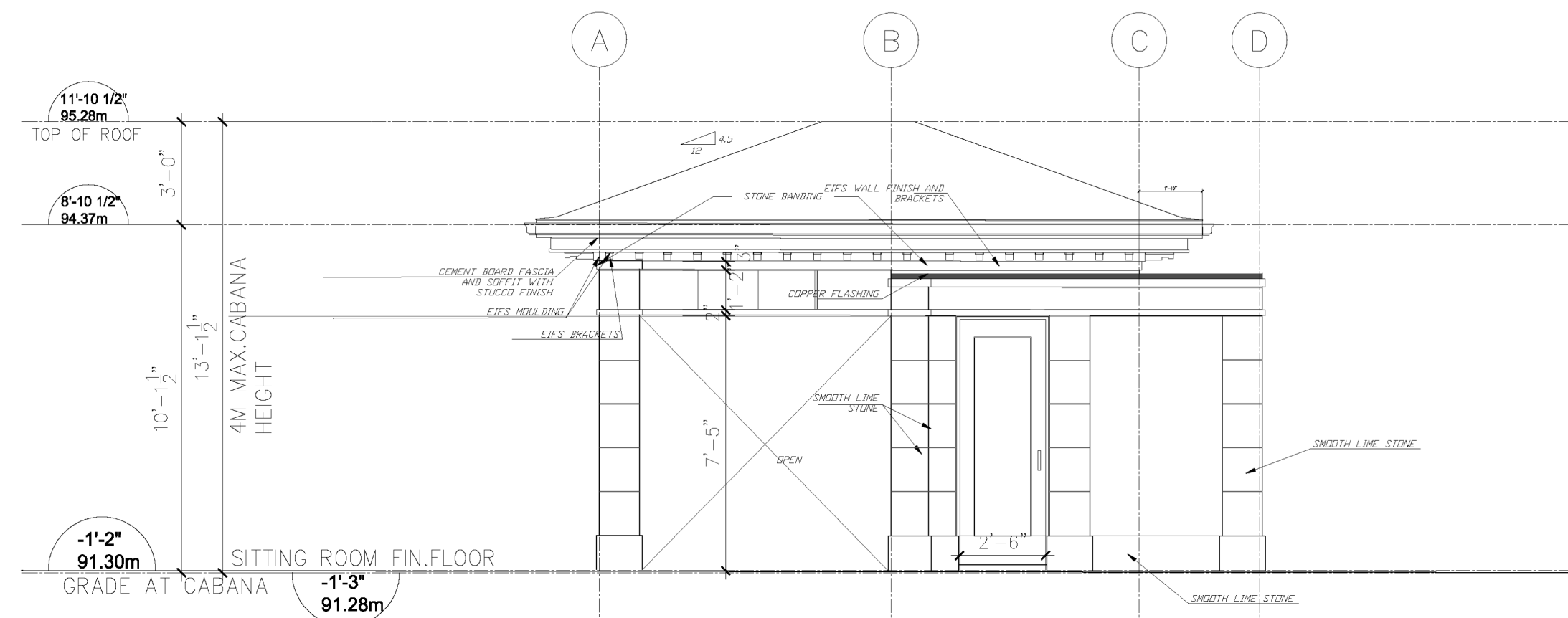
FRONT ELEVATION

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 Sheet Number: 11

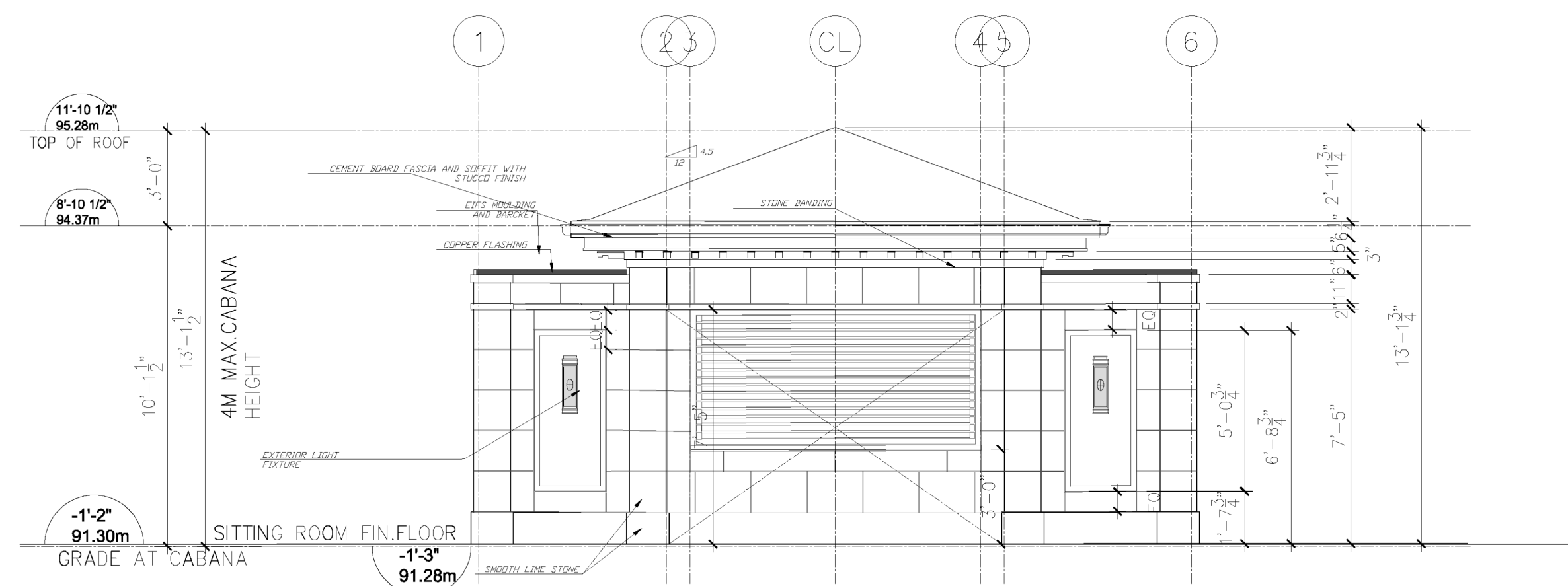
A-200



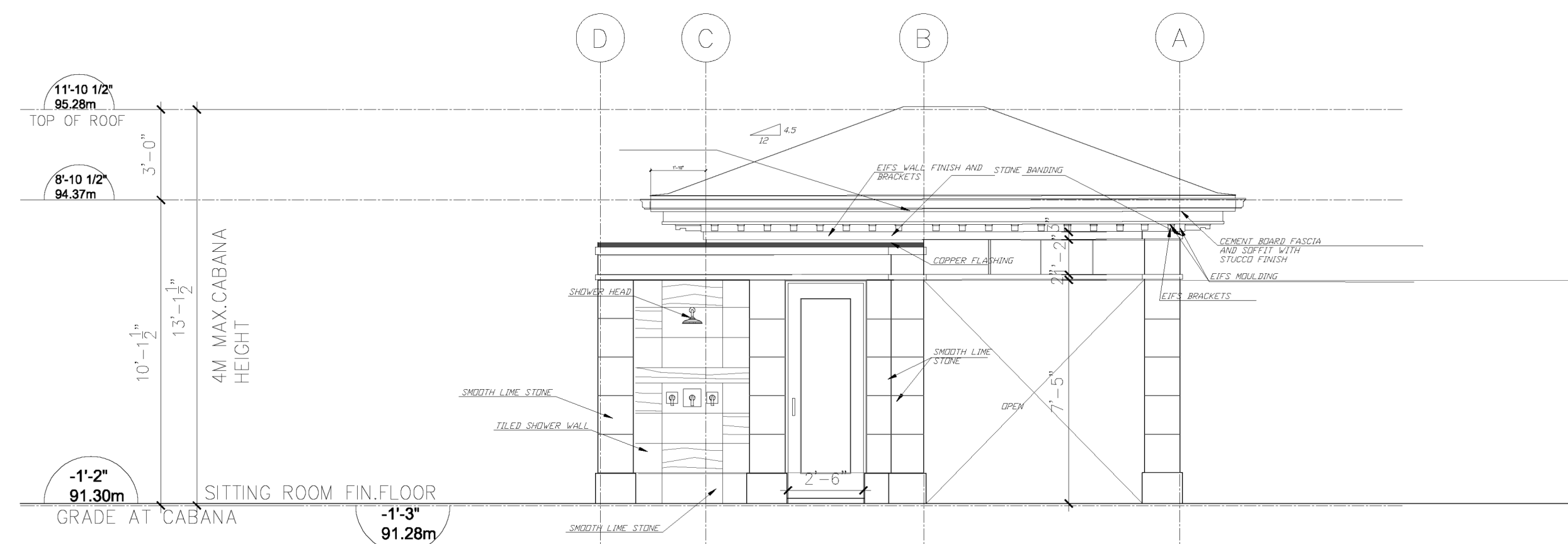
CABANA REAR ELEVATION 1/4" = 1'-0"



CABANA SIDE SOUTH WEST ELEVATION 1/4" = 1'-0"



CABANA FRONT ELEVATION 1/4" = 1'-0"



CABANA SIDE NORTH EAST ELEVATION 1/4" = 1'-0"

Description

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2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
PRIVATE RESIDENCE

216 Forestwood Drive,  
Oakville, ON



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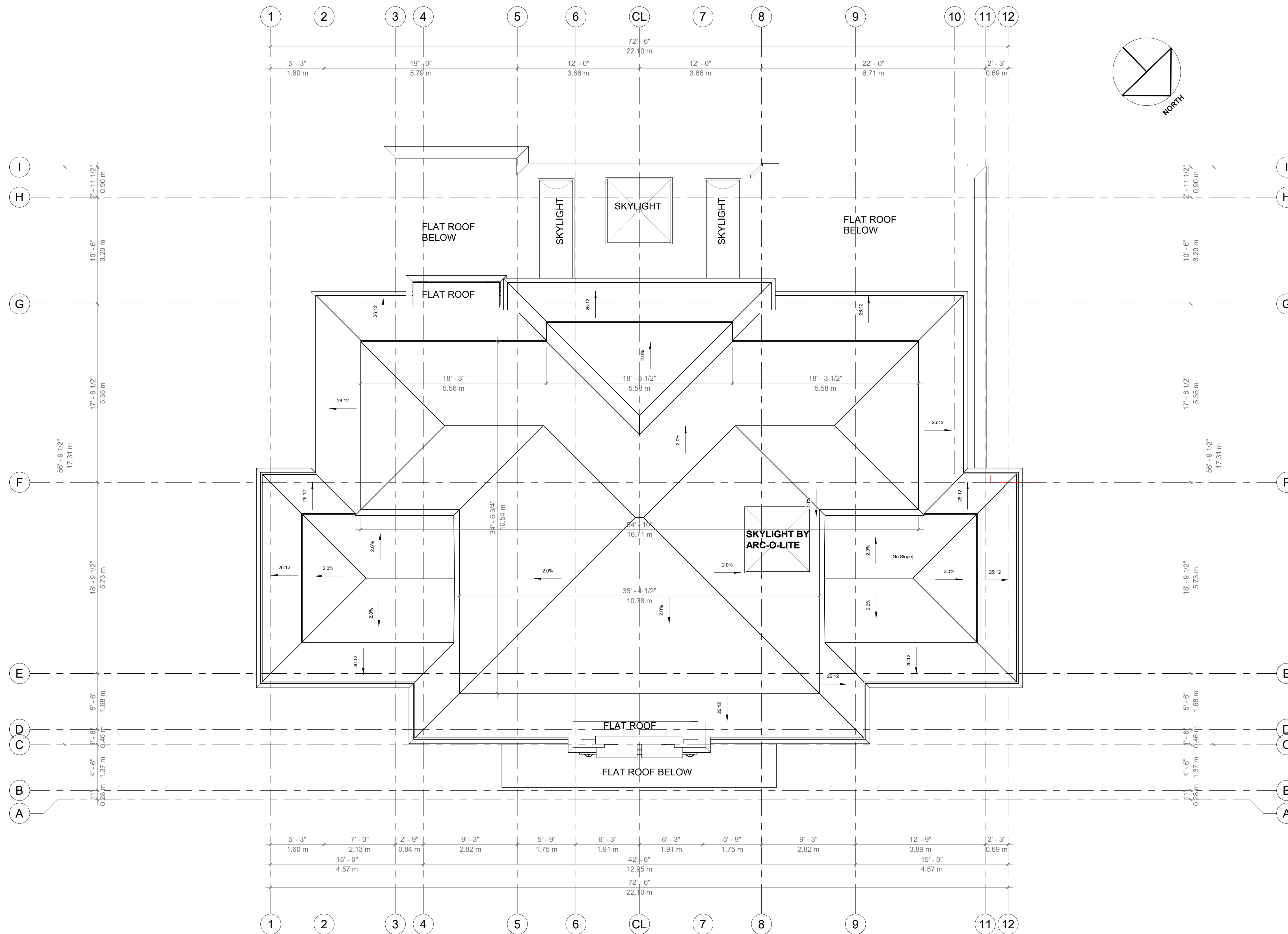
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Sheet Title	20600		

CABANA ELEVATIONS

Dwg. File Name	\\MAKOW\Company Data\Makow\Drawings\Active\216 Forestwood A.Arch\216 Forestwood Drive 5 - Reduced.dwg		
Scale	1/4" = 1'-0"	Drawn	Checked
Original	36" x 24"	Author	Checker
Sheet Number			

A-401





Description

1	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-03-26
2	ISSUED FOR PRICING	2024-05-17
3	REISSUED FOR COMMITTEE OF ADJUSTMENT	2024-07-19

Project  
PRIVATE RESIDENCE

216 Forestwood Drive,  
Oakville, ON



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Date: 2024-07-19 11:59:32 AM Project No.: 20600  
Sheet Title: 20600

ROOF PLAN

Dwg. File Name: \\MAKOW\Company Data\Makow\Drawings\Active\216 Forestwood\A\Floor\216 Forestwood Drive 5 - Reduced.rvt  
Scale: 3/16" = 1'-0" Drawn: Author Checked: Checker  
Original is 35" x 24" Do not scale contents of this drawing  
Sheet Number

A-104



July 02, 2024

Committee of Adjustment  
Town of Oakville  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
via email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

Re: 216 Forestwood Drive, Minor Variance Application

According to our analysis, the variances requested area:

**6.4.6 c)**

Whereas, the maximum height shall be 9.0 meters. The height of the proposed house is 9.30 meters.

**6.4.1. d)**

Whereas, for a detached dwelling on a lot with an area between 1,301m<sup>2</sup> or greater the maximum Residential Floor Area Ratio shall be 29.0% (419.7m<sup>2</sup>), the Floor area ratio of the proposed house is 32.70% (473.18m<sup>2</sup>)

**4.3 and Table 4.3 Row 7**

Whereas window wells with a maximum width of 1.8 meters are allowed to project up to 0.6m into a minimum yard, the proposed window well on the South side of the house is 5.78m wide and projects 2.4m into the minimum side yard.

**4.3 and Table 4.3 Row 18**

Whereas uncovered stairs below grade are not allowed to project into a minimum yard, and only may project 1.5m beyond the main wall, the proposed stairs on the South side of the house is 4.0m beyond the main wall and projects 2.4 m into the minimum side yard.

Please feel free to contact me at 647-291-5335 or via email at [jim@makowarchitects.com](mailto:jim@makowarchitects.com) if you have any questions about the above.

Thank you,



Jim Pfeffer, OAA



**MAKOW ASSOCIATES**  
ARCHITECT INC.

95 St Clair Avenue West  
Suite 306  
Toronto, Ontario  
Canada M4V 1N7  
t 416.944.3510 x 206  
c 647.291.5335  
e [jim@makowarchitects.com](mailto:jim@makowarchitects.com)  
w [makowarchitects.com](http://makowarchitects.com)

July 24, 2024

Committee of Adjustment  
Town of Oakville  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

via email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

Re: 261 Forestwood Drive, Minor Variance Application

Good Day –

A proposal for this lot was approved by the Committee of Adjustment in July of 2022, approving an RGFA of 31.49%, Lot Coverage of 26.08%, a height of 9.3m and a accessory building (garage) height of 4.98m. Subsequently, as new architects for the owners, we presented a wholly revised plan to the Committee in May of this year. That proposal, which was refused by the committee, was for an RGFA of 33.7%, a height of 9.59m, two rear balconies, and for the projection of a below grade window well , walk out and stairs into a side yard.

We have prepared a revised proposal which addresses all of the concerns raised by staff and members of the committee at the prior hearing. This includes removing the request for balconies.

The remaining variances for the proposed home, some reduced, are minor in nature, desirable for the appropriate development of this lot, and in keeping with the intent of the zoning by-law and the official Plan.

### **Side Yard Projections, Encroachments**

Three of the variances are for the projection into the rear yard of entirely below ground elements – a window well, and a walk out stairwell. Being below the level of the ground, these have no impact on the streetscape or neighbouring properties, and they still have a 1.8m setback from an otherwise soft landscaped side yard, a more than adequate amount for drainage, privacy and access. Staff noted in their report:

*The intent of regulating window well encroachment, stair encroachment, and stair projection are to allow for adequate drainage and passage through a yard so that they do not impede access and to allow for adequate open space and landscaping. The window well and access stairs are located in the interior side yard, and a minimum interior side yard setback of 1.84m will be maintained. In this case, the window well and stairs lead below grade, allowing for adequate open space and landscaping to be maintained on site. Furthermore, Staff are of the opinion that the window well and stairs along the south elevation will not impede access. It is noted that drainage will continue to be reviewed as part of the building permit submission of detailed engineering plans.*



A neighbour had expressed concerns that the window well would contain a separate seating area. This is not the case, and, as can be seen in the plans, the window and walk out well are not suited to contain a seating area.

## **Height**

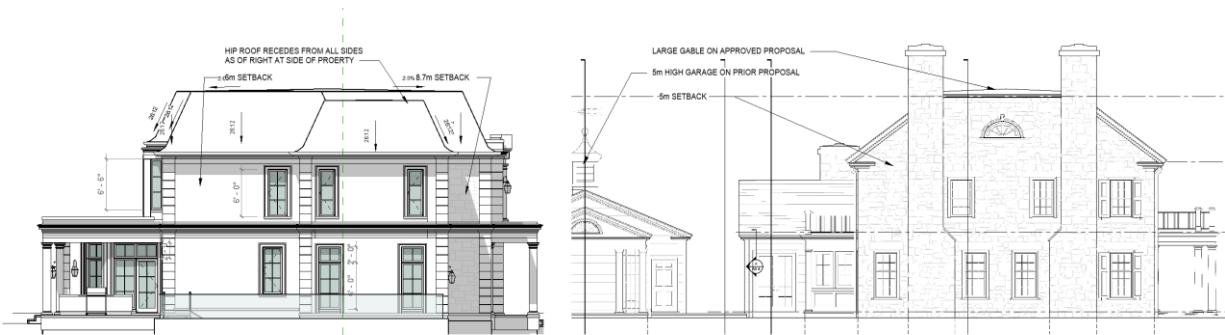
The prior approval for a height of 9.3m was for a gable roof with a continuous ridge across the main part of the house, and a significant side gable.

This revised proposal only asks for the 9.3m height in the central part of the house, and the sides of the façade step down to the permitted 9.0m height. The proposed roof is a hip roof, sloped from all sides, and is as a whole much less massive and is less imposing than the roof that the committee approved prior. The reason for requesting the height variance is our belief as architects that the roof is an important part of the composition of the façade, and that the requested height has a pleasing proportion to the dwelling.

We reduced the height from the prior application by reducing the height of the entire house, lowering the eave line.

The height is mitigated as well by the generous side yard setbacks. In particular, whereas the proposal previously approved had a substantial westerly gable along the entire side façade, this proposal increases the side yard setback to over 6.0m after a <6m section of wall at the minimum 4.2m side yard setback.

Committee member Hardcastle also expressed concern about the ‘three storey presentation of the house’ specifically calling attention to the dormers, which we have removed. The removal of these dormers, combined with the stepping of the roof, eliminates any three storey reading of the home.



Present Proposal  
(South-East Side)

Previously Approved Proposal  
(South-East Side)

The proposal has a hip roof sloping away from all sides and has a as-of-right roof height at the side closest to the neighbouring property, and greater setbacks where the roof is higher. The proposal previously approved has large, wide gable at the 9.3m height along the entire side, as well as having a garage on the other property line with a 5.0m height variance.

## Floor Space Index

The prior request was for an FSI of 33.7%, which has been reduced to 32.07%.

We are now seeking an FSI lower than that approved on this street, almost directly across the street at 233 Forest Wood, and lower than that approved at 258 Elton Park, also nearby.

Of 233 Forestwood, city planning said that *“The proposed dwelling maintains a similar massing and scale to the existing dwelling and what exists in the neighbourhood... the dwelling provides greater than required side yard setbacks, and does not project into the established rear yards of abutting properties”*. This proposal has greater side yard setbacks than required except for the first 5.94m of the east side which is at the required setback, and respects the existing rear yard lines of neighbouring homes – certainly more so than the approved proposal for this lot with the 5.0m high garage on the west property line. And our proposed massing and scale is less than the approved design for this lot – and similar to that of many homes in the area.

This home, unlike many homes, does not have a double height space or large void areas, which can increase the volume of a home without increasing the floor area.

The strategies adopted in the massing of this home:

- Projections and recesses in the wall planes of the façade
- Variation in roof form, cascading down towards the side of the home.
- Horizontal Detailing to de-emphasise the massing
- Prominent, horizontal porch of human scale to reduces the verticality of the dwelling and brings focus to the main entrance
- Façade articulation and varied materials, including the horizontal midband, minimize the appearance of height.

are those strategies recommend in the Design Guidelines for Stable Residential Communities for achieving compatible new infill homes.

I trust that reading the above you will agree that the requested variances are minor and compatible with the intent of the official plan and zoning by-law, and that the proposed new home is desirable and appropriate for this property.

Anyone reading the above who has questions can reach me at [jim@makowarchitects.com](mailto:jim@makowarchitects.com), or on my cell phone, 647-291-5335.



James Pfeffer, OAA for  
Makow Associates Architect, Inc