

# TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOUSING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE REMOVAL OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER VEGETATION SHALL BE PROTECTED AS A SINGLE UNIT IN THE FOLLOWING MANNER, WITH THE HOUSING AROUND THE ENTIRE CLUMP(S) AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND SOIL.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. FEEDER ROOTS SHALL BE DUMPED OR TOLSED WHERE PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO CONSTRUCTION WORK. THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED AGRICULTURAL PRACTICE.
3. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO CONSTRUCTION WORK, THEY WILL BE PROTECTED BY THE FOLLOWING MEASURES:
  - a. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO REMOVE EXPOSED FEEDER ROOTS AND TO GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
  - b. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS TO THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
  - c. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.
4. STANDARD DEVELOPMENT NOTES:

## (A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOLLERWARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRAINWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. ALL DRAINWAYS SHALL BE PROTECTED BY THE APPLICANT THROUGH THE DRAINAGE AND CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRAINWAYS WITHIN THE MUNICIPAL BOLLERWARD SHALL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

## (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE ARE EXISTING REBERGERS ON THE SITE AND AROUND THE SUBJECT LOTS. THE STOPPING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING ROADWAY.
3. ALL ROOF DOWNSPOUTS FROM EXISTING TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
4. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
5. PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
6. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
7. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
8. ALL DISBURSED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOIL TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
9. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR LOCKING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
11. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
12. BOLLERWARD IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOUNDING, ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
13. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
14. PRIOR TO ANY SOODING, THE BOLLERWARD IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
15. NO SOODING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BOLLERWARD.
16. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
17. LAWN AND SMALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
18. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPANIED BY USE OF A REMAINING WALL, REMAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
19. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHOWN BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
20. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
21. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
22. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

## EROSION AND SILTATION NOTES

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION IS COMPLETE AND THE SITE IS RESTORED TO ORIGINAL OR BETTER CONDITION.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BOLLERWARD/DEVELOPER.
3. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT.
4. DAILY DURING EXTENDED DURATION RAINFALL EVENTS.
5. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
6. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPULLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPULLED WATER SHALL BE TREATED TO CAPTURE BE DISPOSED OF PROPERLY PER MOCC GUIDELINES. THE CLEAN EXPULLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING, NUISANCE OR OTHERWISE.
7. EXISTING STRONG SPRINGS AND SPRINGS DRIPPS ADJACENT TO THE WORKS SHALL BE PROTECTED WITH SILTATION CONTROL MEASURES FOR DRAINAGE DITCHES, THE INSTALLATION OF ROCK CHECK DAMS, SILTATION DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
8. IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR AROUND THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOCC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

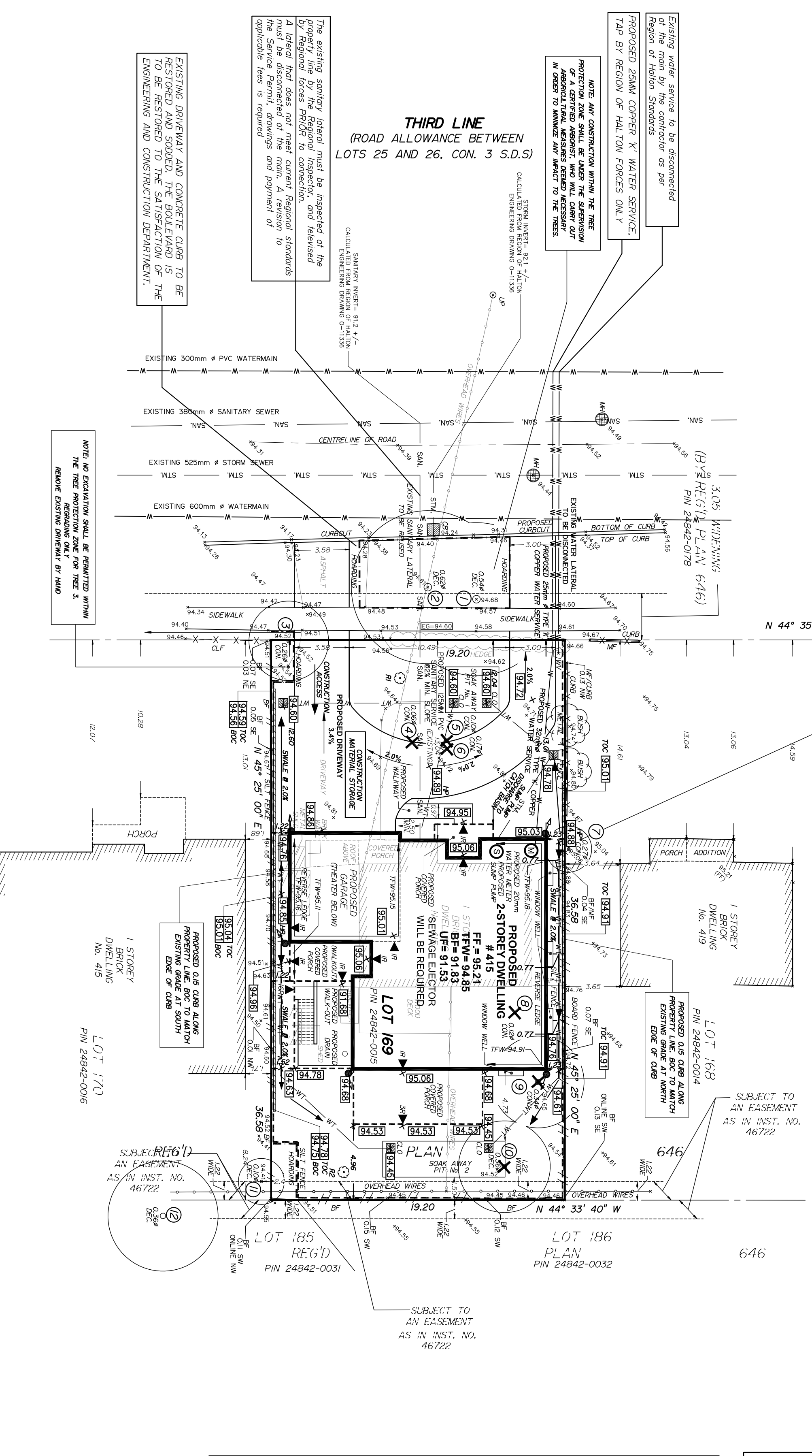
NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE (METRES)
<10 CM	1.8 M
11-20 CM	2.4 M
21-30 CM	3.0 M
31-40 CM	3.6 M
41-50 CM	4.2 M
51-60 CM	4.8 M
61-70 CM	5.4 M
71-80 CM	6.0 M
81-90 CM	6.6 M
91-100 CM	7.2 M

1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND.
2. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE TRUNK OF THE TREE TO THE TREE BASE EXISTING PAVED SURFACE. PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION.

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY  
NO OREVN TRENCHING

### THIRD LINE (ROAD ALLOWANCE BETWEEN LOTS 25 AND 26, CON. 3 S.D.S.)



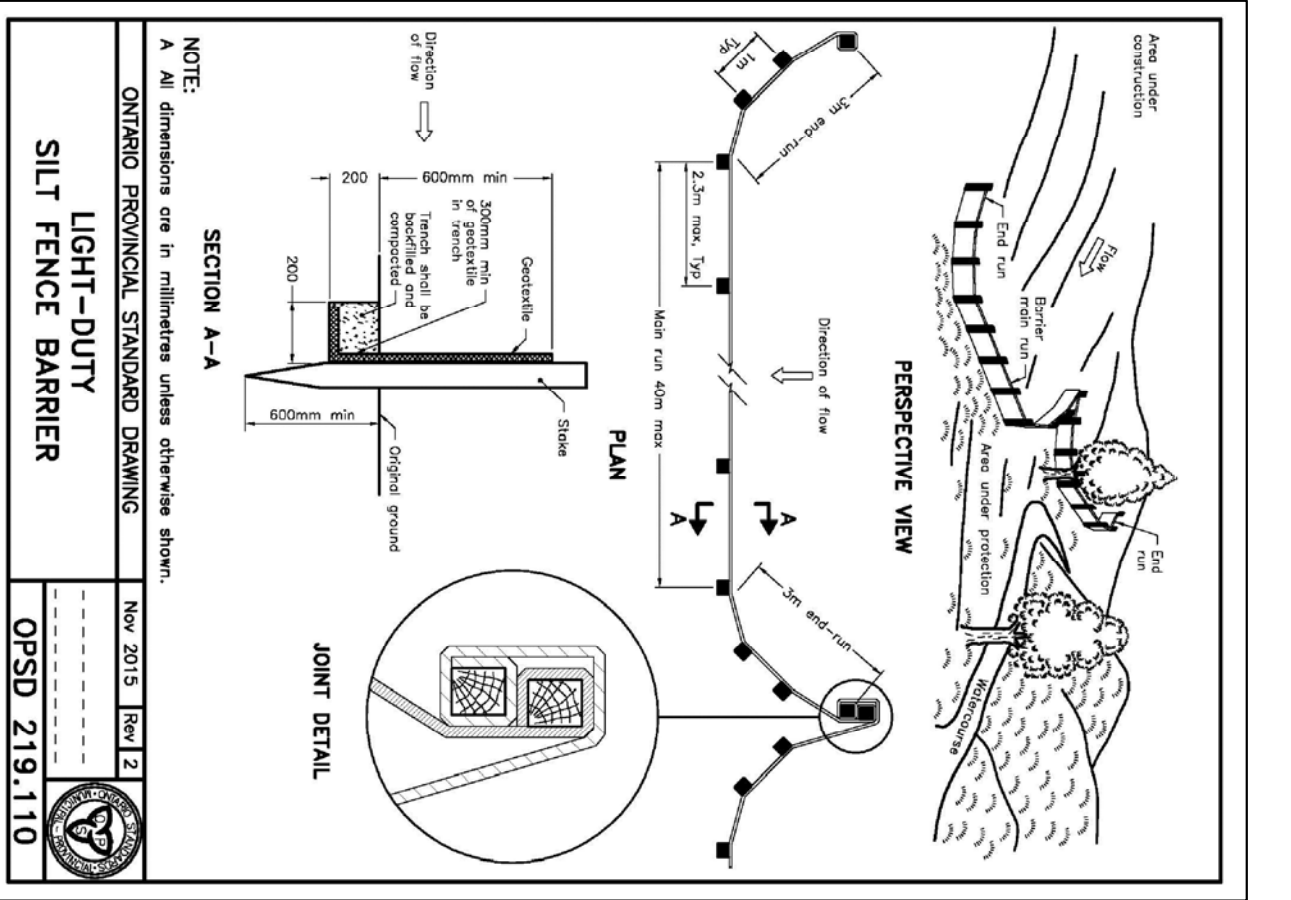
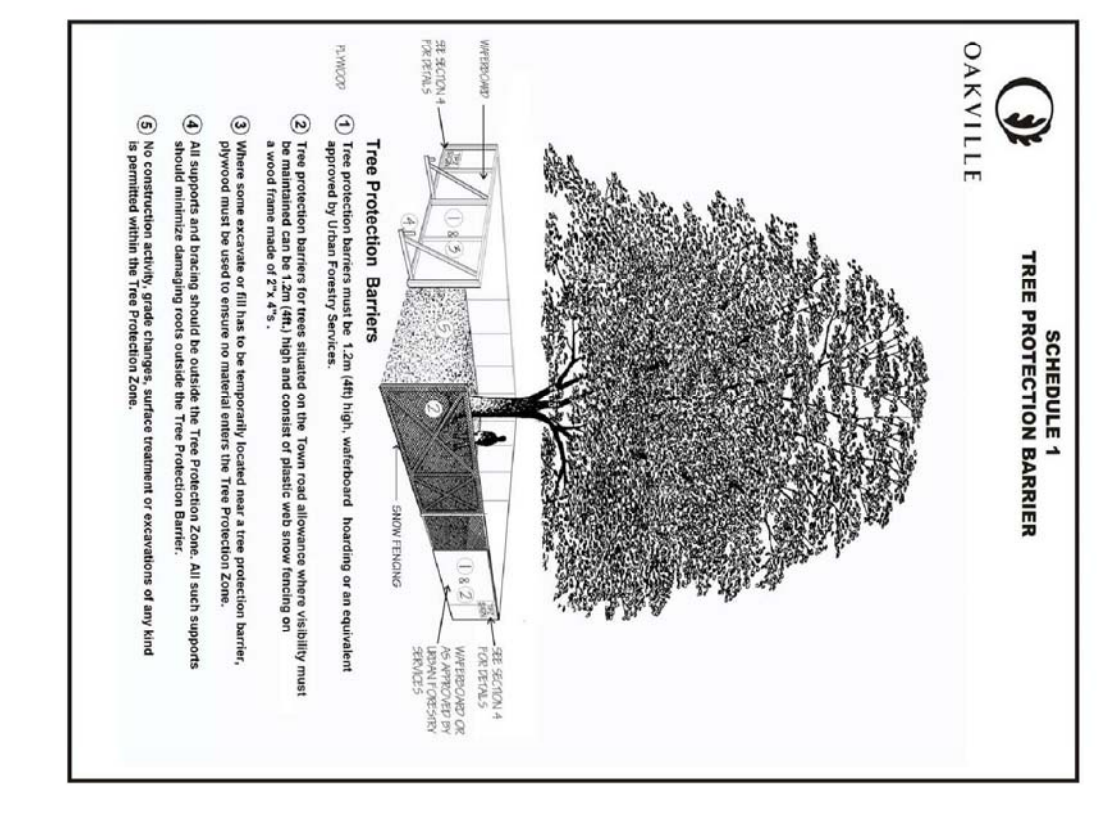
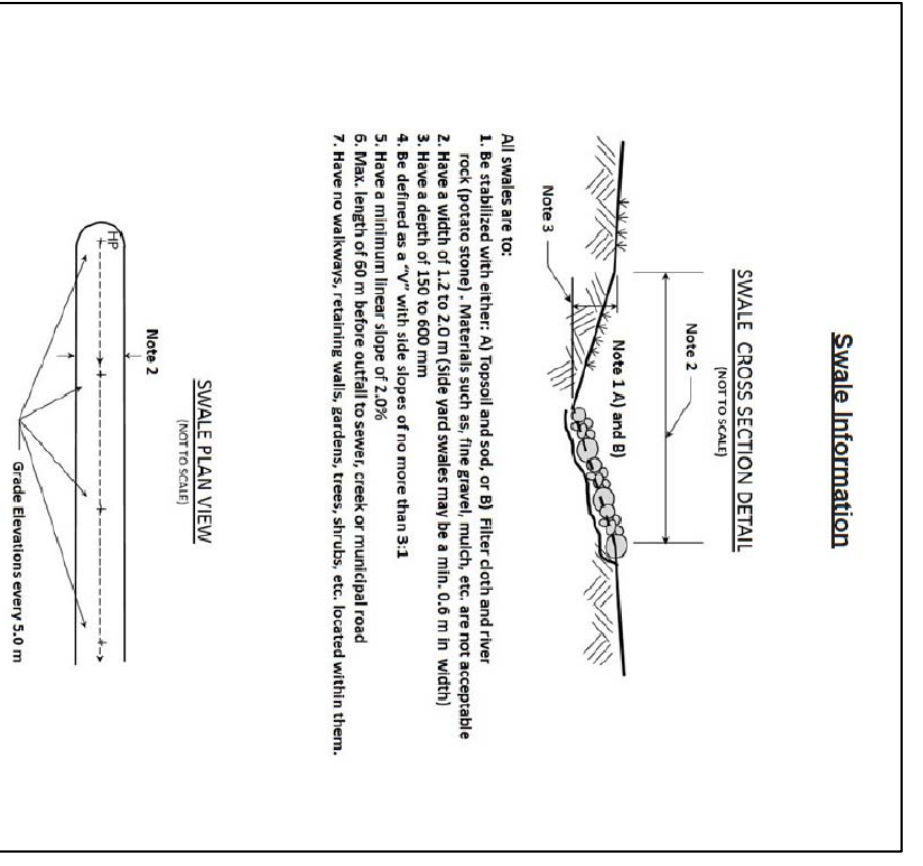
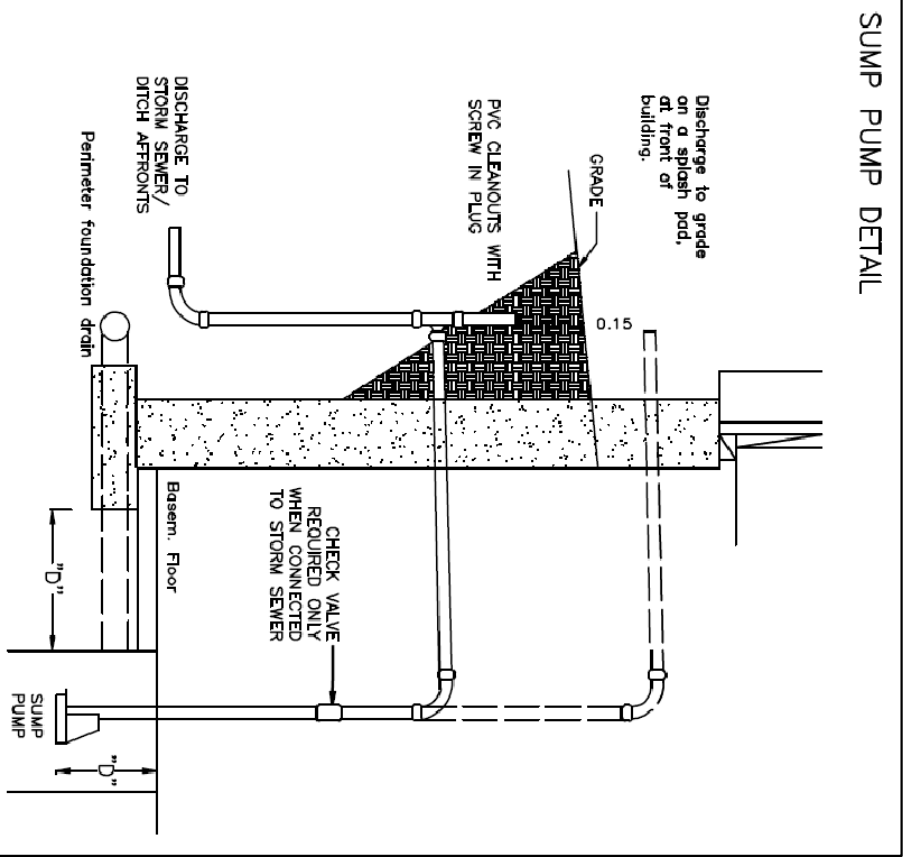
REGIONAL APPROVAL  
REGIONAL DESIGN OF WATER AND/OR WASTEWATER SERVICES REGION SUBJECT TO DETAILED CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREAS MUNICIPALITY.

SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_

The approval of the local authority or public authority, as the responsibility of the local authority, is required for the approval of the design of the water and/or wastewater services. The approval of the local authority or public authority shall be obtained before the water services can be installed.

## (C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. SERVICE CONNECTIONS TO BE 250mm DIA. TYPE 'K' SOFT COPPER TUBING.
2. WATER: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE DISCHARGE FACILITIES.



NOTE: ALL NEW WATER AND SANITARY MAIN LINES TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

NOTE: DOWN SPURT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SLAG-LAY PADS.

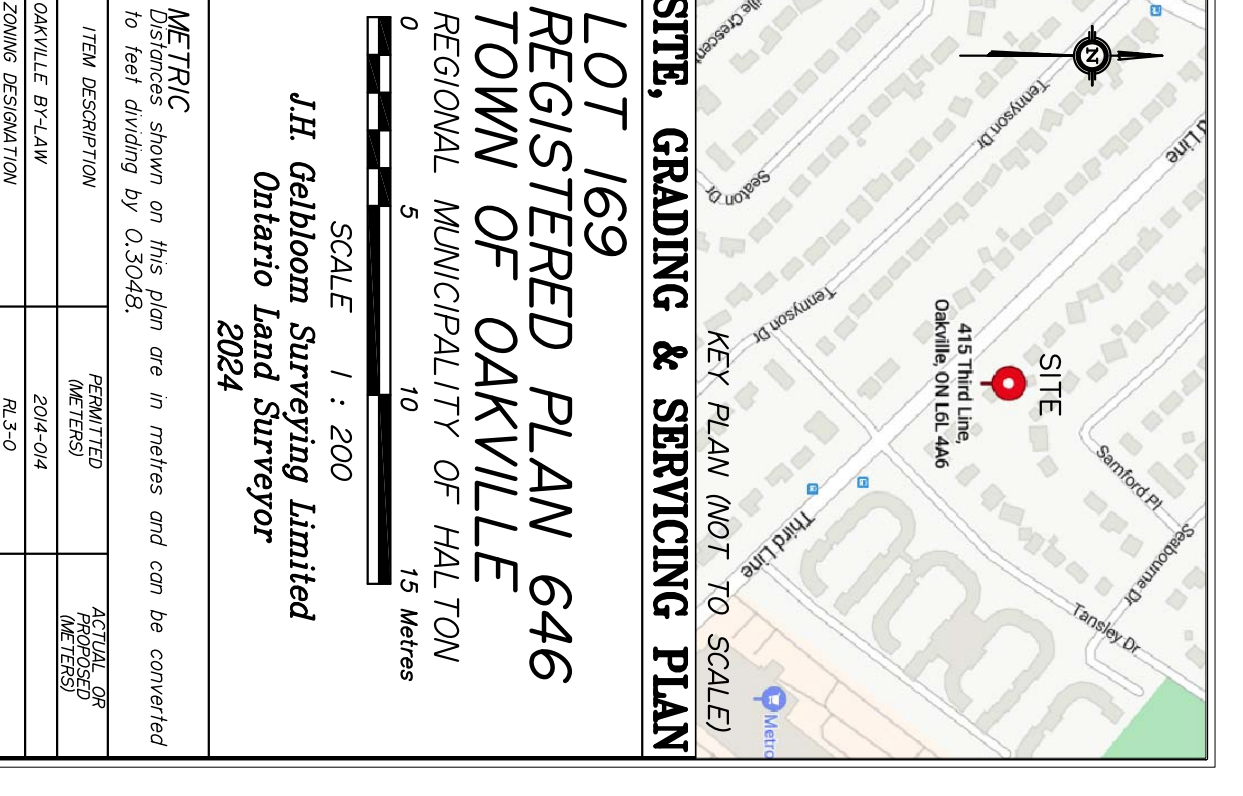
NOTE: CONTRACTOR TO USE EXISTING SERVICES.

NOTE: THE EXISTING SANITARY SERVICE LATERAL IS USED. IT MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR, AND BELIEVED TO BE IN PROPER WORKING ORDER BY REGIONAL FORCES PRIOR TO CONNECTION.

NOTE: THIS LOT REQUIRES A SLUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO AN ON SITE CATCH BASIN, COMPLETE WITH BACKFLOW PREVENTER.

NOTE: SERVICE SIZES, METRS AND TYPES ARE DERIVED FROM THE REGION OF HALTON ENGINEERING DEPARTMENT DWG. NO. 0-11336. THE CONTRACTOR MUST VERIFY INVERTS.

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
478 Borden Road, Unit 102, Oakville, Ont. L6K 3M4  
Office: (905) 336-8210  
Phone: (905) 336-8210



SURVEYOR'S CERTIFICATE  
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 415 THIRD LINE, AND HAVE PREPARED THE PLAN HEREON AND EXISTING MANICUAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL MAINTAIN SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECT. Y. SHAW

AS PER ORG. 94641(1), I CERTIFY THAT THE BUILDING WILL BE LOCATED ON THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

August 15, 2024  
DATE  
Project: 415 THIRD LINE  
Down By: A.M.  
Party Chief: \_\_\_\_\_

REGISTRATION TAKEN FROM A SURVEY PREPARED BY  
DATED: FEBRUARY 15, 2020

BENCHMARK: Error bars are Refered to the Town of Oakville Benchmark No. 34 having an Elevation of 542.520 m.

REVISIONS

No.	Date	Description	By
1	FEB 27, 2024	SITE PLAN	N.A.
2	MAR 11, 2024	ABORTIST & DRY WELL	N.A.
3	MAY 13, 2024	NEW WATER SERVICE	N.A.
4	MAY 16, 2024	UPDATED ABORTIST	N.A.
5	AUG 12, 2024	REAR PORCH	N.A.



FRONT ELEVATION

**huis design studio**  
 CUSTOM HOME DESIGN

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**QUALIFICATION INFORMATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**REGISTRATION INFORMATION**

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE.

NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

REVISION LIST	
1	ISSUED FOR CLIENT REVIEW 07.11.2023
2	ISSUED FOR C&A 09.09.2023
3	ISSUED FOR PERMIT 03.02.2024
4	ISSUED FOR C&A (REAR PORCH) 08.06.2024
5	MM/DD/YYYY

REVISION LIST	
1	REVISED AS PER TOWN COMMENTS 04.19.2024
2	AS PER OWNER P ENGINEER 07.31.2024
3	MM/DD/YYYY
4	MM/DD/YYYY
5	MM/DD/YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
 DRAWN BY: J.H. CHECKED BY: K.V.K.  
 PROJECT ADDRESS: 415 THIRD LINE  
 PROJECT NO: 2023.052 SCALE: 1/8" = 1'-0"  
 SHEET NO. **A201**



RIGHT ELEVATION

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 CUSTOM HOME DESIGN  
 HUIS DESIGN STUDIO LTD.  
 CUSTOM HOME DESIGN  
 1A COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5  
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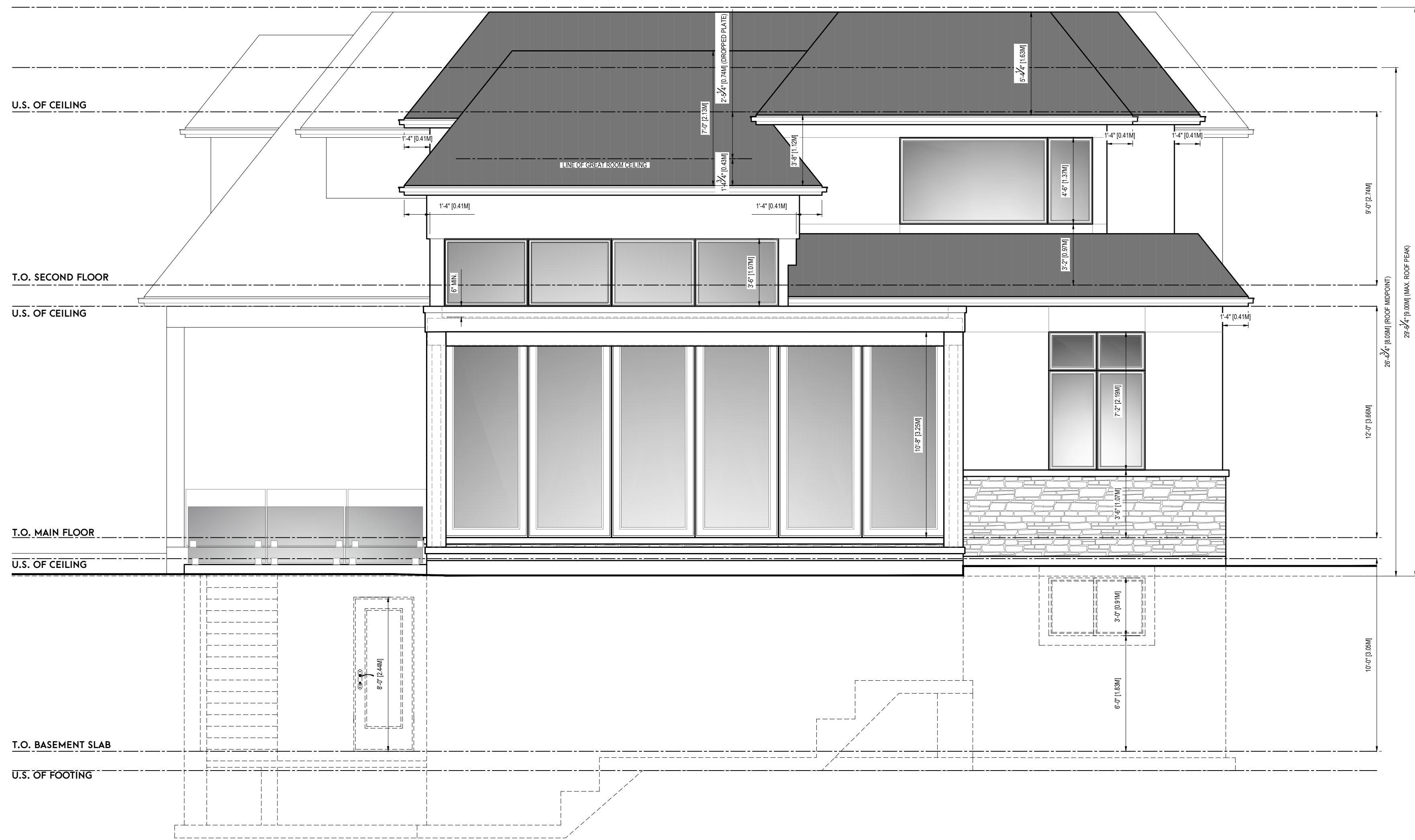
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5	MW.DD.YYYY

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2	AS PER OWNER ENGINEER 07.31.2024
3	MW.DD.YYYY
4	MW.DD.YYYY
5	MW.DD.YYYY

**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 415 THIRD LINE  
**PROJECT NO.:** 2023.052 **SCALE:** 1/8" = 1'-0"  
**SHEET NO.:** **A202**



REAR ELEVATION

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3	MV.DD.YYYY
4	MV.DD.YYYY
5	MV.DD.YYYY

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**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 415 THIRD LINE  
**PROJECT NO.:** 2023.052 **SCALE:** 1/8" = 1'-0"  
**SHEET NO.:** **A203**



LEFT ELEVATION

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2	AS PER OWNER P ENGINEER 07.31.2024	DRAWN BY:	J.H. CHECKED BY:
3			K.V.K.
4		PROJECT ADDRESS:	415 THIRD LINE
5		PROJECT NO:	2023-052
		SHEET NO:	

NOTE:  
SHADED AREA DENOTES FLAT ROOF PORTION 1/8" SLOPE MIN.

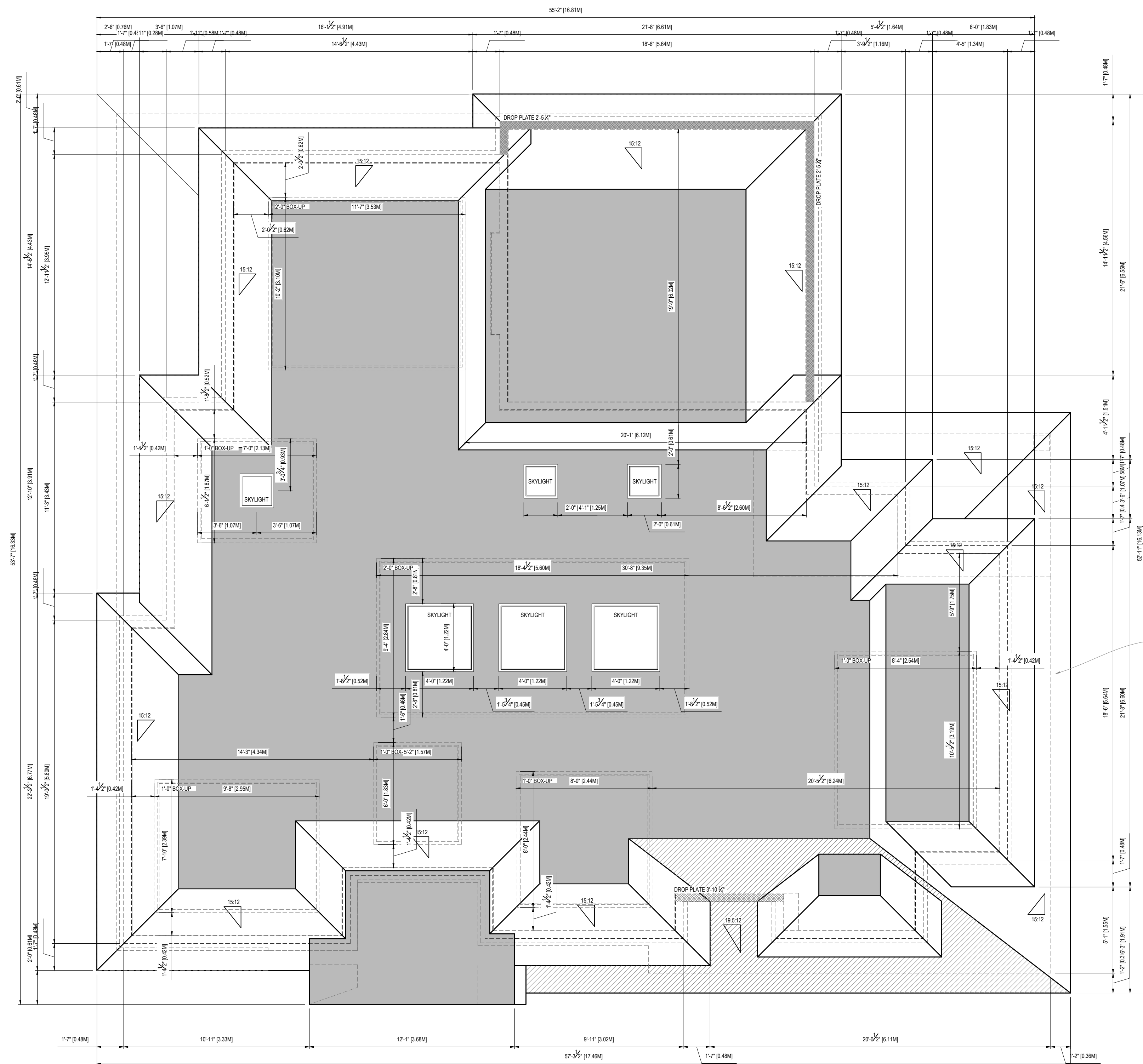
**TRUSSES & FLOORS:**

ROOF TRUSS AND FLOOR FRAMING SHOP DRAWINGS AND ENGINEERING CALCULATIONS TO BE PROVIDED TO THE PROJECT DESIGNER AND STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

ROOF TRUSS AND FLOOR FRAMING SHOP DRAWINGS AND ENGINEERING CALCULATIONS MUST ALSO BE PROVIDED TO THE MUNICIPAL BUILDING INSPECTIONS DEPARTMENT FOR CONFIRMATION PRIOR TO INSPECTION.

CONTRACTOR TO ENSURE THAT THERE ARE SUPPORT POSTS AS PER TABLE A.3.4.3.2 OF THE O.B.C. AT THE ENDS OF GIRDER TRUSSES AND SUPPORTING LINTELS.

DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.



REFER TO BUILDING SECTION ON A301 FOR ADDITIONAL CONVENTIONAL FRAMING INFORMATION

**ROOF PLAN**

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FIRM NAME: B.C.I.N.

REVISION LIST		ISSUE LIST	
1	REVISED AS PER TOWN COMMENTS	04.19.2024	
2	AS PER OWNER P. ENGINEER	07.31.2024	
3	-	MM/DD/YYYY	
4	-	MM/DD/YYYY	
5	-	MM/DD/YYYY	

**PROJECT NORTH**    **TRUE NORTH**

**DRAWING TITLE:** ROOF PLAN  
**DRAWN BY:** J.H.    **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 415 THIRD LINE  
**PROJECT NO.:** 2023-052    **SCALE:** 1/8" = 1'-0"  
**SHEET NO.:** A104